



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

**CULTURAL RESOURCES OFFICE
PRESERVATION BOARD
REGULAR MEETING
MONDAY JANUARY 23, 2012
1015 LOCUST ST. #1200
4:00 P.M.**

www.stlouis.missouri.org/citygov/planning/heritage

Approval of December 19, 2011 minutes
Approval of the current agenda

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SPECIAL AGENDA ITEMS

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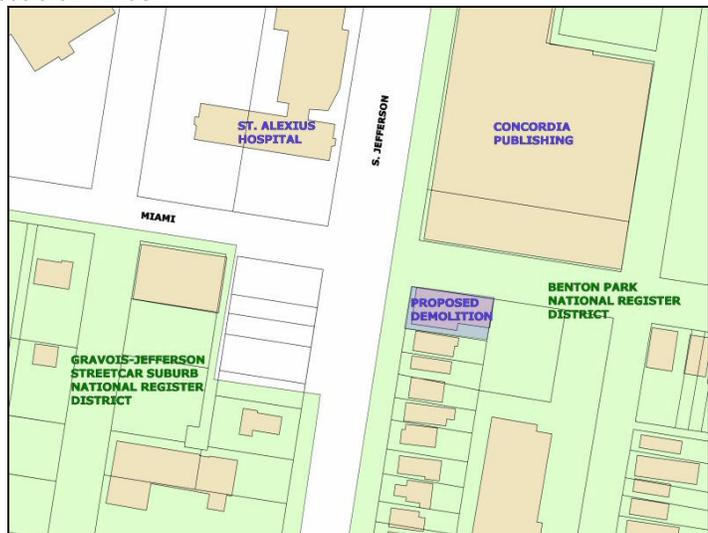
CITY OF ST. LOUIS
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 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

A.

DATE: January 23, 2012
FROM: Betsy Bradley, Director, Cultural Resources Office
SUBJECT: Preliminary review of demolition
ADDRESS: 3600 S. Jefferson Avenue
JURISDICTION: Preservation Review District, National Register of Historic Place
 Historic District — Ward 20



3600 S. JEFFERSON



OWNER: Jeff Enderle

APPLICANT: Concordia Publishing House

RECOMMENDATION:
 That the Preservation Board not approve
 the demolition of the property.

BACKGROUND:

Jeff Enderle, current owner of the property, purchased the building in 2004 as an investment property, intending to rehabilitate it. A rehabilitation project was terminated after work was started on the third story. 3600 S. Jefferson has been on the market since 2006.

In April 2011 the Division of Building and Inspection condemned the property, noting cracked, bulging, shifting and collapsed walls, as well as a defective and leaking roof. The Cultural Resources Office Director objected to resolution of the condemnation by demolition. In November 2011 a car pushed over the brick wall extending from the rear of the building.

Concordia Publishing House, which occupies the block to the north, proposes to acquire the building and demolish it to make the neighborhood a safer place. At this time, Concordia intends to seed the lot and maintain it in that condition as part of its complex. Concordia indicates that it would consider a Phase 2 project for the property when funds are available.

Alderman Schmidt and the Cultural Resources Office Director visited the property and saw the interior on January 9, 2012 as the condition of the building is an important factor in this evaluation. The photographs in this document were taken by the Cultural Resources Office Director during that visit.



S. JEFFERSON FAÇADE



MIAMI (NORTH) FAÇADE



EAST (REAR) WALL



SETBACK PORTION OF SOUTH WALL, PART OF SOUTH WALL

CONDITIONS NOTED IN CONDEMNATION NOTICE

RELEVANT LEGISLATION:

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

3600 S. Jefferson is a contributing building in the Benton Park Historic District listed in the National Register of Historic Places in 1985.

3600 S. Jefferson is included in a Preservation Review District.

St. Louis City Ordinance #64832

SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

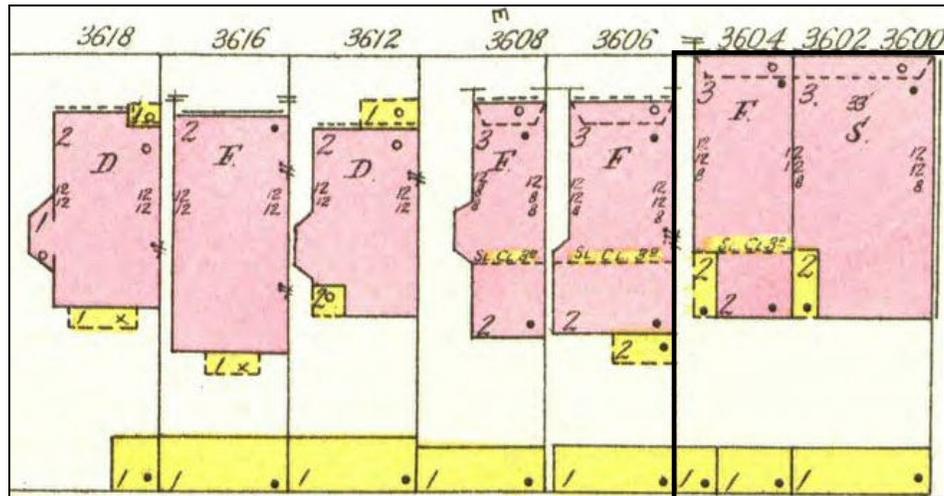
- A. *Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.*

Not applicable.

- B. *Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.*

3600 S. Jefferson is a two-part circa 1885 corner building with a brick fire wall dividing it into two sections. The northern portion is a commercial block with residential use above the commercial space on the ground floor. A storefront fills the S. Jefferson façade adjacent to the corner entrance. The southern portion, which has its own entrance on S. Jefferson, consists of three flats. The all-brick building is unified in design with a wood cornice that spans the S. Jefferson façade and returns on both side façades. The historic mansard roof has been removed and a new roof structure now has a Mansard slope and several dormer windows facing S. Jefferson.

This building is considered to be a “Merit” building as it is a contributing resource in the Benton Park National Register District. It not distinctive enough architecturally to be considered to be a “High Merit” structure, one that would be deemed a major structure in the historic district or one that is individually eligible for listing in the National Register. No evidence has been found to suggest that it has individual historic significance.



3600 S. JEFFERSON IN BOX AT RIGHT IN CONTEXT OF PARTIAL BLOCKFRONT SOUTH OF MIAMI

C. *Condition.* The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.

In terms of the ordinance definition of soundness, the ability to remain standing for one year, 3600 S. Jefferson meets that definition.

2. Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.

Not applicable.

D. *Neighborhood Effect and Reuse Potential.*

1. *Neighborhood Potential:* Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The portion of S. Jefferson where this property is located is varied in its built form and use and is an area where vibrant modern entities stand

near historic housing. Concordia Publishing House occupies the block north of Miami. The St. Alexius Hospital and the Lutheran School of Nursing are located on the block diagonally across Jefferson from the property. The last remaining building of the Concordia Theological Seminary, now used for storage, occupies the southern portion of the block opposite the property on the west and is in the Gravois-Jefferson Streetcar Suburb National Register District. A commercial block directly opposite S. Jefferson from the property was demolished in 1990 and with the adjacent vacant lots, is a large vacant corner property.

The blockfront of S. Jefferson, between Miami on the north and Winnebago on the south, was developed with the intact grouping of residential buildings extending south from 3600 S. Jefferson. City records show that all but one of the residential buildings south of 3600 are stable properties. A review of building permits issued for these properties indicates that new fences and garages have been erected, but no extensive rehabilitation project has been completed.

The neighborhood offers no deterrent to reuse of this building in terms of the presence of vacant, vandalized, or general disrepair in the vicinity. Nevertheless, the building is not located on a block or in a portion of the historic district undergoing upgrading rehabilitation projects.

- 2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.*

The reuse potential of this property was strong when acquired for rehabilitation in 2004. As a contributing building in a National Register historic district, it was eligible to be a rehabilitation tax credit project.

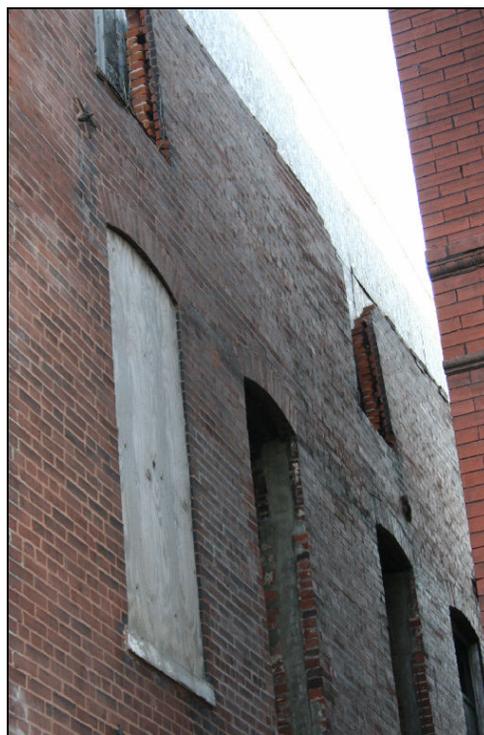
Jeff Enderle, the current owner of the building, entered into a business arrangement with Doug Hartmann (DHP Investments), who served as contractor on a rehabilitation of this building. In order to raise the ceiling height of the third floor Hartmann removed the existing roof and its framing, thereby leaving the third-floor brick walls unattached to and unsupported by the roof framing. The new wall and roof structure was positioned within the brick walls, and the approximately 6-inch space between the brick walls and the interior wood structure was left unfinished. Two areas of brick appear to have been removed at that time, the front portion of north wall and in the area of a porch near the southeast corner of the building. Consequently, precipitation has been entering areas of brick walls with no coping and the space between the new structure and the brick walls. Since the project was stopped, the

work that had been undertaken has caused deterioration and makes rehabilitation in the future more costly.

The work done at the top of the building – removal of the roof and insertion of the new wood structure unconnected to the brick walls of the third floor – has allowed six years of precipitation to enter the building and damage the brick walls. In addition to the collapse of a portion of the east (rear) third-story wall, a significant amount of mortar has been washed out of the wall. The failure of the lintel and sill of the window opening at the south bay of the second story, indicate further damage. Step cracks and loss of bricks at the corner of the set-back portion of the rear wall reveal an additional problem area.

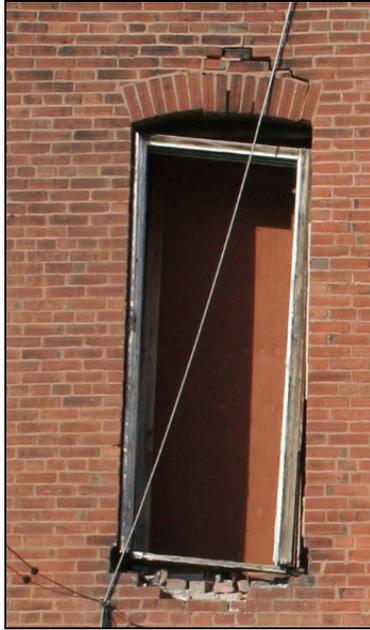


**EAST WALL COLLAPSE AT THIRD STORY;
WALL DAMAGED BY CAR ACCIDENT ON RIGHT**



**UPPER PORTION OF SOUTH WALL SHOWING
WATER-DAMAGED BRICK**

CONDITIONS NOTED IN CONDEMNATION NOTICE



SECOND STORY, MAIN PORTION OF EAST WALL

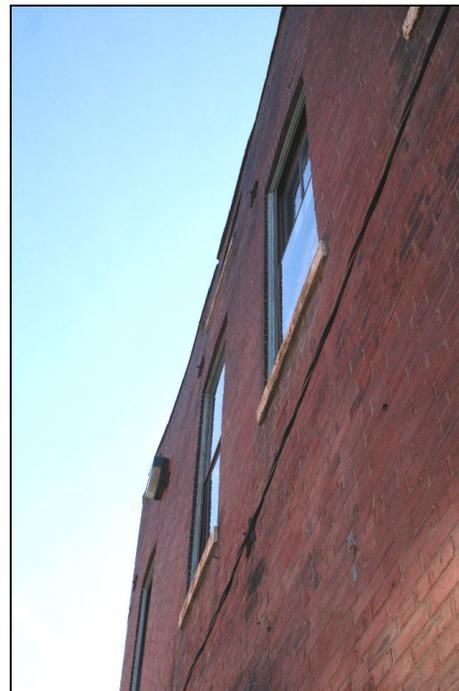


SOUTH BAY, SET-BACK PORTION OF EAST WALL

The unsupported top portions of the north and south walls are a concern. During the six years they have been unsupported by roof framing, they have leaned inward. From the interior of the third floor, it is possible to see this lean of the walls and that they now rest on the framing of the wood structure. The deflection of the upper portion of the north wall is visible from the street.



NORTH WALL OF THIRD FLOOR LEANING ON INTERIOR FRAMING AT ARROW



EXTERIOR OF SAME AREA OF THE WALL LEANING INWARD



THIRD FLOOR OPEN TO THE ELEMENTS

The S. Jefferson façade is in better condition than the others. Although the wood cornice is in poor condition and only partially intact, it was left in place, as was the brick knee wall above it, and these two elements have kept water out of the S. Jefferson façade.



S. JEFFERSON FAÇADE UPPER WALL AND DORMERS



NORTHWEST CORNER

There is no doubt that the expense of the rehabilitation of this property has increased significantly during the last few years. It is likely that the upper portions of three exterior walls will have to be rebuilt to some extent. Yet, because the damage has occurred at the top, rather than at the foundation level, the building can be repaired in this way.

Many commercial block and flats properties have been successfully rehabilitated. This one has a history and condition that makes it more challenging. Historic tax credits would presumably be available to a new owner who was not involved with the previous work as the building is still considered to be a contributing one to the Benton Park Historic District.

- 3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

No evidence of economic hardship in terms of the rehabilitation of this building has been submitted as the application is for demolition.

E. Urban Design. The Office shall evaluate the following urban design factors:

- 1. The effect of a proposed partial demolition on attached or row buildings.*
Not applicable.
- 2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.*

The property is at the north end of a block front that has 11 properties, including the corner building, that are contributing properties in the historic district, without any missing buildings or vacant lots interrupting the streetscape. The loss of the corner building would impact the continuity and rhythm of the structures by shortening the row and leaving the corner vacant.

- 3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.*

This building represents a common pattern in St. Louis in that it is a larger corner building, a commercial block with commercial use on the ground floor and a corner entrance. These larger buildings that provided for neighborhood commerce are urban design elements that

create literal and visual bookend-like “weight” for the ends of block fronts.

The corner building adds to the character of the block and to intersection of S. Jefferson and Miami and its loss would reduce the integrity of the block, in its density and balance.

4. *The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.*

Not applicable.

- F. *Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:*

1. *The applicant has demonstrated site control by ownership or an option contract;*

The applicant has applied for a preliminary review of demolition before acquiring the property.

2. *The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;*

At this time, Concordia Publishing House is proposing no new construction. It would seed the property, which will have the appearance of a vacant lot.

3. *The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;*

Not applicable.

4. *The proposed use complies with current zoning requirements;*

There is no proposed use. The property is in a Neighborhood Preservation Strategic Land Use area and is zoned “J,” an industrial category that allows for a variety of uses.

5. *The proposed new construction would commence within twelve (12) months from the application date.*

Not applicable.

- G. *Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse*

proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

Concordia Publishing House is located to the north across Miami, and owns a parking lot east of the property under consideration. No expansion of the business or parking is proposed for this site, and Concordia wishes only to remove a nuisance property. Therefore, this criterion is not applicable.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

The building is not categorized as an accessory structure.

COMMENTS:

There are several reasons to prefer that 3600 Jefferson remain standing. The property is a Merit building in the Benton Park National Register Historic District. It is a combined commercial block and flats building, similar to properties that have been rehabilitated successfully recently in St. Louis. The condition of the immediate vicinity presents no deterrent to reuse of the property, although it is not one currently experiencing upgrading rehabilitation projects. The building has a role in urban design in that it is the larger corner building of an intact group of 11 contributing buildings in the historic district. It has not been identified as a site desired for Concordia Publishing House's expansion of its operation.

The prospects for the rehabilitation of 3600 S. Jefferson, once bright, are now more challenging. For various reasons, the current owner has not corrected the work that was done and has not indicated that he made attempts to stabilize the building. Now, the critical question is whether any developer would find it economically feasible to rehabilitate this property. The fact that it has been on the market for several years and has not been purchased is to some extent a reflection of the economic situation of the last half of that time period. No doubt, its deteriorated condition and higher cost of rehabilitation have also contributed to the lack of a sale. The site visit that Alderman Schmidt and the Cultural Resources Office Director made to the building revealed the poor condition of upper portion of the building and the elevated costs of any rehabilitation project. Yet the lower portions of the building are in reasonable condition and the site visit did not indicate that rehabilitation was infeasible.

The Cultural Resources Office, after gathering information about this property, making a site visit, and assessing its current condition, finds that the rehabilitation of this building would be challenging, but not out of the question. The lower story of the building is

sound, the condition of the brick walls at the second story varies, and the top story is where the deterioration is most evident. The possibility of removing the top floor is an alternative and the use of rehabilitation tax credits should still be considered as part of the financial plan for a rehabilitation project. Patience has shown to be rewarded in many areas of the city and perhaps the time is not yet right for the reinvestment needed in this building. Stopping the continuing deterioration of the building through the construction of a new roof structure, the removal of the most unstable portions of the brick walls above the third floor level, and stabilizing the brick walls that remain are the next steps needed for this building.

COMMUNITY CONSULTATION:

Alderman Craig Schmidt has asked the applicant to consult with five neighborhood organizations that have interests in the vicinity of 3600 S. Jefferson, as well as to provide a brick pier and iron fence similar to that which encloses the adjacent parking lot within one year of the demolition. The property is located in the Marine Villa neighborhood; the Marine Villa Neighborhood requests that the demolition of the building be denied. The Benton Park Neighborhood Association also opposes demolition and urges that the owners be held accountable for the building and be required to stabilize it. The property is across the street from the Gravois Park neighborhood and the Gravois Park Neighborhood Association has indicated that it supports demolition. The Chippewa-Broadway Business Association, whose service area includes the property, is also in favor of demolition with the condition that the lot be landscaped or developed in the future. The Dutchtown South Community Corporation would like to see a feasibility study or engineer's report before making a decision about the desirability of demolition, but adds that if demolition would be recommended, that the lot be improved with a brick column and iron fencing similar to that around Concordia's parking lots.

The Cultural Resources Office has received a letter from the emails from the Landmarks Association of St. Louis sent a letter expressing opposition to demolition and emails from Shawn Williams, Imran Hanafi, Jeff Vines, and Rene Saller that express the same position.

CONCLUSION:

Since rehabilitation of the building would be the preferred outcome due to its location in a National Register historic district and because of its role in urban design, and as the sound building could be stabilized and eventually rehabilitated, the Cultural Resources Office recommends that the Preservation Board deny the demolition of the property.

CONTACT:

Betsy Bradley

Planning and Urban Design, Cultural Resources Office

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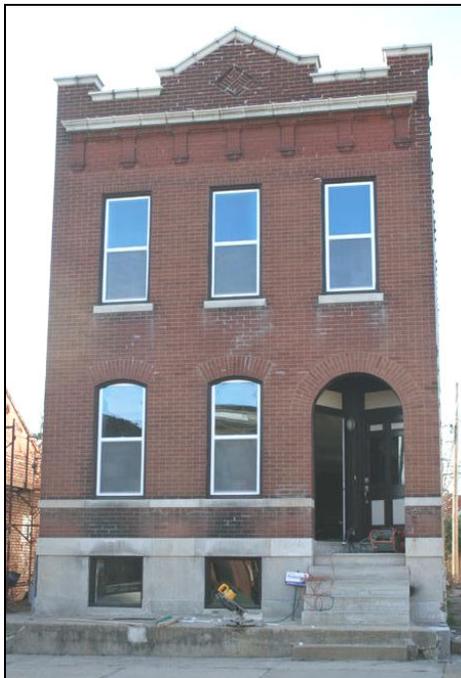
bradleyb@stlouiscity.com



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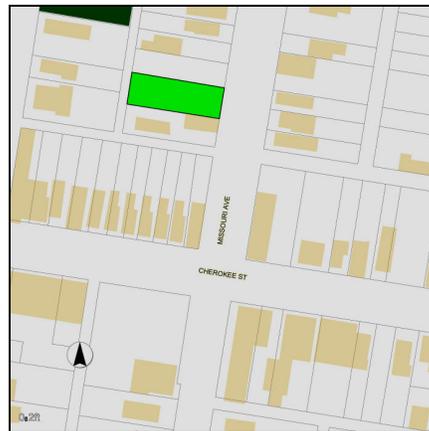
DATE: January 23, 2012
FROM: Bob Bettis, Cultural Resources Office
SUBJECT: Appeal of Denial to retain five non-compliant vinyl windows
ADDRESS: 3337 Missouri Ave.
JURISDICTION: Benton Park Certified Local Historic District — Ward 9



3337 MISSOURI

OWNER/APPLICANT:
Orlando Askins

RECOMMENDATION:
That the Preservation Board uphold the staff denial as the completed work is not in compliance with the Benton Park Local Historic District Standards.



BACKGROUND:

The Cultural Resources Office received a Citizens Service Bureau Complaint on November 30, 2011 for windows being installed without a permit at 3337 Missouri Ave. in the Benton Park Local Historic District. Upon inspection, it was noted that non-complaint vinyl windows had been installed. A permit for interior and exterior rehabilitation was approved by the Cultural Resources Office on August 3, 2011, but the permit did not include replacement of the front windows. The owner was notified and applied for a permit to replace the windows on January 13, 2012 with the intent to try to secure a variance from the Preservation Board to retain the installed windows. The application was denied on January 17, 2012 and the owner appealed the denial.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

RESIDENTIAL APPEARANCE AND USE STANDARDS

203 WINDOWS:

Comment: Windows of historic buildings are a very important part of a buildings historic character.

203.1 Windows at a Public Facade

1. Window at a Public Façade shall be one of the following:

1. The original window repaired and retained.
2. A replacement window which duplicates the original and meets the following requirements.
 1. Replacement windows or sashes shall be made of wood or finished aluminum.

Does not comply. The windows are vinyl.

2. The profiles of muntins, sashes, frames and moldings match the original elements in dimension and configuration.

Does not comply. None of the elements of the replacement sash match those of the original wood windows.

3. The number of lights, their arrangement, size and proportion shall match the original or be based on a Model Example.

Does not comply. The installed windows do not replicate the proportions and details of historic wood windows. No Model Example has been submitted, and none could be provided for these windows, as they are entirely contemporary in appearance.

COMMUNITY CONSULTATION:

The Cultural Resources Office has not received any comments from the neighborhood or Alderman regarding the application. The owner has stated that he would contact the neighborhood.

COMMENTS:

3337 Missouri, constructed in 1912, sustained a fire within the past few years in which all the windows were destroyed. The owner began rehabilitation of the building and installed new windows without applying for the required permit. Had he consulted the Cultural Resources Office, we would have provided him with an approved list of replacement windows with a number of appropriate choices.

The installed windows do not replicate either the proportion, profiles or dimensions of historic windows. They are flat, with no perceivable off-set: on historic doublehung windows, the lower sash is recessed below the upper sash. The windows have very narrow head and lift rails, but a taller meeting rail: in historic windows, the head and meeting rails are of similar dimension, while the lower rail is considerably heavier. In addition, the new windows are glazed with low-E glass that has a distinct blue tint and reflective quality. The replacement windows on the first story are even more unfortunate. The original windows had semi-circular arched glazing fitted within the rectangular upper sash. Vinyl window manufacturers cannot reproduce this detail, so regular flat-head windows were installed in the openings, exposing the head rail at the center and obscuring it at the sides. (Please refer to the photos that follow).

The owner has stated that he cannot afford to incur the cost of installing the proper windows and that he will provide additional evidence of financial hardship at the meeting.



FIRST FLOOR WJNDOWS



EXAMPLE OF HISTORIC ARCHED WINDOW REPLACEMENT



SECOND FLOOR WINDOWS



EXAMPLE OF APPROPRIATE HISTORIC REPLACEMENTS

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board uphold the denial as the completed work is not in compliance with the Benton Park historic district standards.

CONTACT:

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FRANCIS G. SLAY, Mayor

E.

DATE: January 23, 2012
FROM: Bob Bettis, Cultural Resources Office
SUBJECT: Appeal of Denial to retain artificial stonework installed without a permit
ADDRESS: 4224 Flad Ave.
JURISDICTION: Shaw Certified Local Historic District — Ward 8



4224 FLAD

OWNER/APPLICANT:
Roosevelt Chambers

RECOMMENDATION:
That the Preservation Board uphold the denial as the completed and proposed work is not in compliance with the Shaw Local Historic District Standards.





DETAIL OF PARAPET

BACKGROUND:

The Cultural Resources Office received a Citizens Service Bureau Complaint on November 30, 2011 for exterior masonry work being completed without a permit at 4224 Flad Avenue, in the Shaw Local Historic District. Upon inspection, it was noted that the parapet and front porch columns were being covered in an artificial stone. A stop work order was placed at the residence, and the owner was informed that the work that was underway was not compliant with the Shaw neighborhood standards. The owner applied for a permit on November 30, 2011 with the intent to try to secure a variance from the Preservation Board to retain the stone that was installed.

RELEVANT LEGISLATION:

Excerpt from Ordinance #59400, the Shaw Historic District:

RESIDENTIAL APPEARANCE AND USE STANDARDS

6. STRUCTURES:

C. Exterior Materials

Exterior materials on the fronts or other portions of new or renovated buildings visible from the street and on corner properties, those sides of the building exposed to the street are to be compatible with predominant original building materials: wood, brick, stone. Artificial masonry or Z-brick is not allowed. Stucco material is not allowed unless where stucco was the original building material cotta and wood used for trim and other architectural features.

Does not comply. The owner has installed a textured artificial stone at the parapet and porch columns that is not compatible with the original building materials.

D. Details

Architectural details on existing structures such as columns dormers, porches and bay windows, should be maintained in their original form, if at all possible.....Mortar must be of a color compatible with the original mortar of the building

Does not comply. The owner has installed artificial stone veneer on the columns and parapet and thereby altered the original appearance of the residence. The house originally had a brick parapet and wooden or brick porch columns.



PORCH

COMMUNITY CONSULTATION:

The Cultural Resources Office has not received any comments from the Alderman or the neighborhood regarding the application.

COMMENTS:

4224 Flad, constructed in 1910, has had several alterations in its history. At some point the parapet had been rebuilt and covered with a stucco parging. The front porch columns, which were most likely originally wood, were replaced with ornamental cast-iron columns. Although the parapet and columns were not in their original condition, the installed artificial stone is not compatible with the architecture of the home or surrounding neighborhood, which has brick parapets or false gables, and the porch columns, which would have been wood or brick. The artificial stone on the front façade has severely altered the appearance of the house and does not conform to the Shaw Historic District standards.



HOUSE PRIOR TO CURRENT ALTERATIONS

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board uphold the denial as the completed and proposed work does not comply with the Shaw Neighborhood Local Historic District standards.

CONTACT:

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CITY OF ST. LOUIS
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CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

F.

DATE: January 23, 2012
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office
SUBJECT: Nomination to the National Register for the Scudder Motor Truck Company Building
ADDRESS: 3942-62 Laclede Avenue
WARD: 17



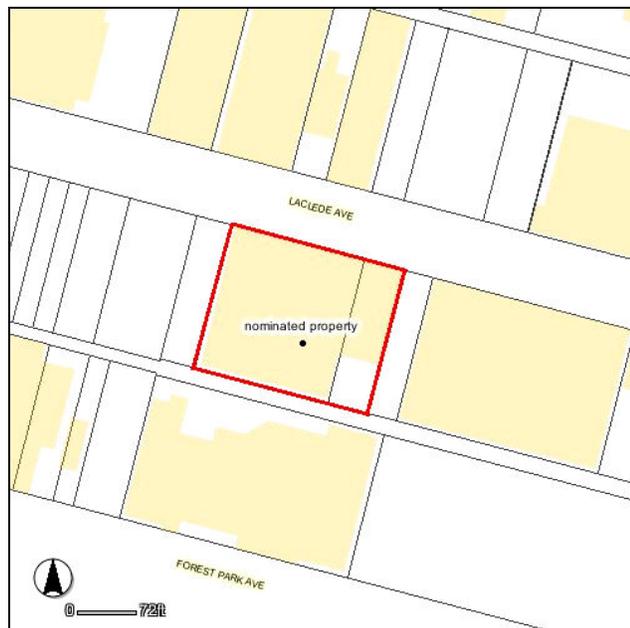
3942-62 LACLEDE AVE.

PREPARER:

Preservation Research Office
Michael Allen

RECOMMENDATION:

The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the district meets the requirements of National Register Criterion A for Commerce.



PROPOSAL:

The Scudder Motor Truck Company Building is in the process of being nominated to the National Register of Historic Places (NRHP). The State Historic Preservation Office is required under the National Historic Preservation Act to submit all nominations for buildings within the City to the Preservation Board for review and comment, prior to presenting them before the Missouri Advisory Council and the Department of the Interior.



DETAIL AT PARAPET



1947 MACHINE SHOP ADDITION

RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The Scudder Motor Truck Company Building is eligible for listing in the National Register under Criterion A for Commerce, and meets the registration requirements for “Automotive Dealerships and Retail Businesses” and for “Service Stations” established in the Multiple Property Documentation Form (MPDF) *Historic Auto-Related Resources of*

the St. Louis, Missouri. Built in 1908, the building is significant for housing the Scudder Motor Truck Company starting in 1918, and later the Falstaff Brewing Company Garage.

CONTACT:

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

G.

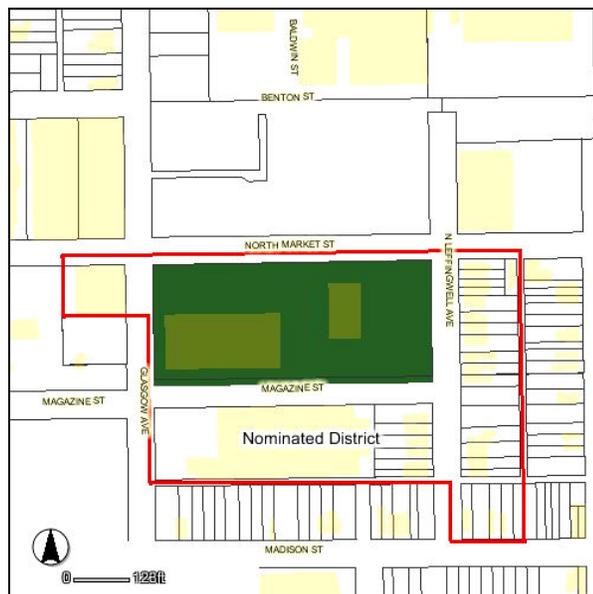
DATE: January 23, 2012
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office
SUBJECT: Nomination to the National Register for the Yeatman Square Historic District
ADDRESS: Bounded by parts of Glasgow, Leffingwell, Madison, Magazine and North Market
WARD: 3



BLOCKFRONT ON LEFFINGWELL

PREPARER:
Preservation Research Office
Michael Allen and Carla Bruni

RECOMMENDATION:
The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the district meets the requirements of National Register Criterion C for Community Planning and Development.



PROPOSAL:

The Yeatman Square Historic District is in the process of being nominated to the National Register of Historic Places (NRHP). The State Historic Preservation Office is required under the National Historic Preservation Act to submit all nominations for buildings within the City to the Preservation Board for review and comment, prior to presenting them before the Missouri Advisory Council and the Department of the Interior.



YEATMAN SQUARE LOOKING EAST FROM THE CORNER OF NORTH MARKET & GLASGOW

RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

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SOUTH SIDE OF MAGAZINE FROM GLASGOW



INDUSTRIAL BUILDING AT SOUTHWEST CORNER OF NORTH MARKET & GLASGOW



BUILDINGS ON WEST SIDE OF LEFFINGWELL SOUTH OF YEATMAN SQUARE



BUILDINGS ON MADISON JUST EAST OF LEFFINGWELL

PROPERTY SUMMARY:

The Yeatman Square Historic District is nominated for listing in the National Register under Criterion C for Community Planning and Development. The nomination asserts that Yeatman Square symbolizes St. Louis' promotion of City Beautiful ideas in park planning, and that it is further significant due to its association with the well-known St. Louis landscape architects and planners Henry Wright and George Kessler. Yeatman Square Park is the sole surviving park of a group established at the same time in its original location and size. The district would embody both the promise of early progressive planning projects in the city as well as the reality of rapid twentieth century changes in older neighborhoods in the eastern part of the city. The proposed district includes part of what was originally the dense residential neighborhood for which the park was designed to serve, and examples of the later industrial development that took place in the vicinity.

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