



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY JANUARY 26, 2015 — 4:00 P.M.
 1520 MARKET ST. #2000
 ST. LOUIS, MISSOURI 63103
www.stlouis-mo.gov/cultural-resources**

Roll call. Approval of the December 15, 2014 minutes. Approval of the Agenda.

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CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

A.

DATE: January 26, 2015
 SUBJECT: Preliminary Review to construct a new classroom building
 ADDRESSES: 3972 Shaw Boulevard
 JURISDICTION: Shaw Neighborhood Certified Local Historic District — Ward 8
 STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



3972 SHAW BLVD.

OWNER:
 Saint Margaret of Scotland School

APPLICANT: The Lawrence Group
 Jim Shearer

RECOMMENDATIONS:
 That the Preservation Board grant preliminary approval to this proposal with the condition that the design be developed as proposed and that design details will be reviewed and approved by the Cultural Resources.



RELEVANT LEGISLATION:

Excerpt from Ordinance #59400, the Shaw Historic District:

Commercial and Non-Residential Uses

1. Use:

A building or premises shall be utilized only for the uses permitted in the zoning district within which the building or premises is located, except none of the following uses shall be permitted: drive-in restaurants, car lots, trucking lots and gas stations.

Complies.

2. Structures:

New construction or alterations to existing structures: Restrictions set forth below apply only to fronts and other portions of the building visible from the street and on corner properties (excluding garages), those sides exposed to the street.

A. Height:

- a. On blocks where buildings are the same height, new or renovated structures are to be equal to that height.
- b. On blocks with varying heights, new or renovated structures should be compatible with these heights.
- c. No building shall be less than 2 stories.

Does not comply. The proposed building is one story. The scale of the proposed building reflects the programmatic needs of the school. The overall design is compatible with the area and does not stand out or detract from the overall streetscape of Shaw Blvd.

B. Location, Spacing, Width and Setback:

Location, spacing, and width of new buildings should be consistent with existing patterns of the block. If there is a uniform setback on a block, new buildings should be positioned accordingly.

Complies.

C. Exterior Materials:

Materials for new or renovated structures are to be compatible with the predominant original building materials and texture of these materials and shall include wood, brick and natural stone. The use of any concrete block and imitation, artificial or simulated materials is not acceptable. Aluminum or other types of siding are only acceptable when they are to be used in the place of wood siding and are the approximate same gauge as original wood siding. Raw aluminum or steel are not acceptable. All building material samples including mortar, shall be submitted prior to approval.

Complies. All portions of the building visible from the street will be clad in red brick.

D. Details:

Architectural details on structures shall be maintained in similar size, detail and material. Architectural details on new or renovated buildings shall be compatible with existing details in terms of design, materials and scale. Doors, windows and other openings on both new and renovated structures should be in the same horizontal and vertical proportions and style as in the original structures. Both new or replacement windows and door frames shall be limited to wood or color finished aluminum. Raw or unfinished aluminum is not acceptable for storm doors and windows. Awnings are to be of canvas or canvas-like only. Shutters on new or renovated buildings should be made of wood and be the same size as the windows. Gutters should be of color finished aluminum, sheet metal or other non-corrosive metal. Gutters shall not be made of raw or unfinished aluminum or steel. Balconies and porches on new or renovated structures should be compatible with original balconies and porches. Existing storefronts should maintain original size, details and materials. New storefronts are to be compatible with the existing storefronts relative to size, materials and details.

Complies. The building's fenestration pattern and brick detailing are based on the original historic school building. In addition, the building has a cornice-like element that is a reference to the terra-cotta and metal cornices seen throughout the Shaw neighborhood.

E. Roof Shapes:

On blocks where a roof shape and lines are dominant, new or renovated structures should have the same roof shape and lines. On blocks where there are different roof shapes and designs, new or renovated structures should have roof shapes and lines that are compatible to the existing. Materials for new or renovated structures are to be compatible with the predominant original materials in the neighborhood. Aluminum or plastic siding, corrugated sheet metal, tar-paper and bright colored asphalt shingles on mansard roofs are not acceptable where visible from the street. A consistent material should be used on any given roof.

Complies. The building will have a flat roof.

F. Walls. Fences and Enclosures:

Materials and construction of new or renovated fences, when visible from the street, should be compatible with the character of the neighborhood. Materials shall include wood, stone, brick, wrought iron or evergreen hedge. Chain link or wire fabrics are not recommended when visible from the street. If used, painting them black or dark green is then recommended. Height of fences should not exceed six feet. Barbed wire is not allowed.

Complies. The proposed fencing will be metal/wrought iron.

G. Landscaping:

If there is a predominance of particular types or qualities of landscaping materials, any new planting should be compatible by considering massing and continuity. The installation of street trees is encouraged and in some instances may be required.

H. Paving or Ground Cover Material:

Where there is a predominant use of a particular ground cover or paving, any new or added material should be compatible with the streetscape. Asphalt paving, loose rock or crushed gravel and large expanses of untreated concrete are not acceptable.

Complies.

I. Street Furniture and Utilities:

Street furniture for new or existing commercial structures should be compatible with the character of the neighborhood. Where possible, all existing and new utility lines should be placed underground or in the alleys.

Complies.

J. Parking and Loading Docks:

Parking for commercial use should be either behind the structure or along the side and shall be screened from the street(s), alley and any adjacent residential use. Loading docks are to be placed on the alley side of the building unless access is impossible and must be placed on the street side of the building.

Complies. Existing parking spaces will be utilized for the new building.

K. Signs

Not Applicable. Signage is not being proposed at this time.

L. Landscaping.

If there is a predominance of particular types or qualities of landscape materials, any new planting should be compatible by considering massing and continuity. The installation of street trees by request to the City is encouraged and in some instances will be required for all new developments.

Complies.

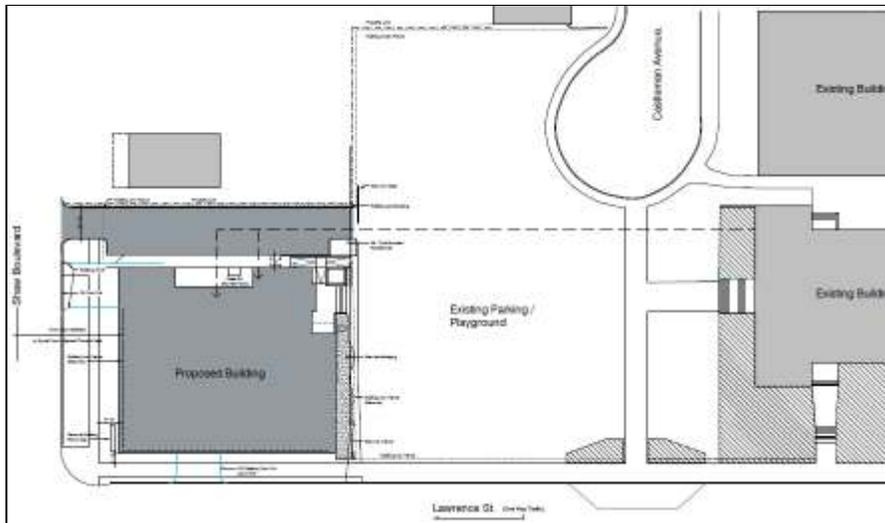
PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for exterior alterations led to these preliminary findings:

- 3972 Shaw is located in the Shaw Local Historic District.
- The proposed project generally complies with the historic district standards.
- The building will be clad in red brick, a common historic material in the district.
- The proposed building will be one story in height to meet the programmatic needs of the school and will be perceived as part of the school campus.

- As the design meets all standards for new construction except height, it will not detract from the historic streetscape.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the proposed new construction, with the stipulation that final plans and exterior details will be reviewed and approved by the Cultural Resources Office to ensure compliance with the district standards.



SITE PLAN



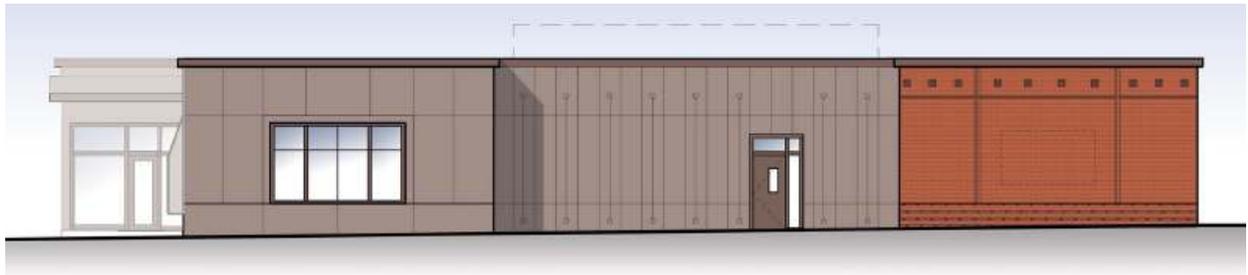
NORTH ELEVATION



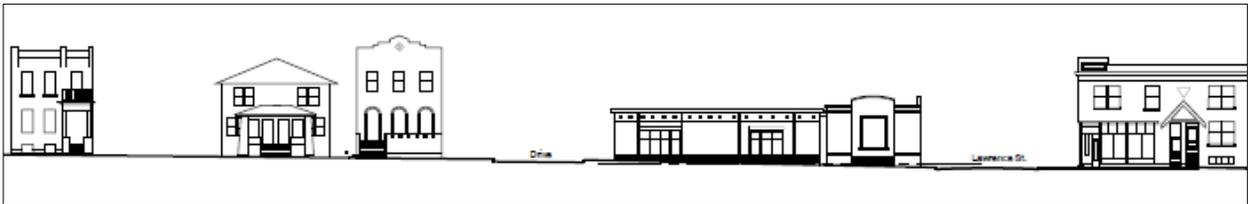
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



STREETSCAPE LOOKING SOUTH



STREETSCAPE LOOKING EAST



B.

DATE: January 26, 2015
ADDRESS: 2739 Allen Avenue
ITEM: Preliminary Review to construct an addition
JURISDICTION: Fox Park Certified Local Historic District — Ward 6
STAFF: Bob Bettis, Cultural Resources Office



2739 ALLEN

OWNER AND APPLICANT

Dana Mills

RECOMMENDATION:

That the Preservation Board grant preliminary approval if it concludes that an addition to the house and provision of a garage on the property would likely not comply with the Fox Park district standards and this proposal is an appropriate solution for this site.



THE PROJECT:

The applicant proposes to rehabilitate a small single-family house, construct a single-story addition at the side and rear of it, and include a garage on the property. The applicant has worked with staff to revise an initial proposal, which, while it has a less prominent presence, does not meet the historic district standards for an addition. Staff feels that this project merits consideration of property-specific factors that make the historic district standards for an addition difficult to comply with.

RELEVANT LEGISLATION:

Excerpt from Ordinance #66098, the Fox Park Historic District:

209 New Additions to Existing Buildings

No new additions shall be made to the Public or Semi-Public Facade(s) except that additions may be made to Semi-Public Facades occurring at the rear of buildings that predate 1929.

New additions constructed at Private Facades or at Semi-Public Facades at the rear of structures predating 1929 are subject to New Construction Standards for like facades.

Comment: New additions constructed at Private Facades may lengthen an adjacent Public or Semi-Public Facade.

Does not comply. The proposed addition would extend from the rear of a Semi-Public façade.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

Does not comply. The proposed addition is not based on a Model Example. There are few other existing frame buildings extant within the Fox Park district. Finding a suitable Model Example will be a challenge, given the age, size and site issues associated with this project.

301.1 Site

A site plan shall describe the following:

Alignment

New buildings shall have their Public Facade parallel to the Public Facade of the adjacent buildings.

If a new building is to be located between two existing buildings with different alignments to the street or in the event that there are no adjacent buildings, the building alignment shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the alignment shall be that which is most dominant within the adjacent blocks or across the street.

Setback

New buildings shall have the same setback as adjacent buildings.

If a new building is to be located between two existing buildings with different setbacks to the street, or in the event that there are no adjacent buildings, then the building setback shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the setback which is most dominant within adjacent blocks or across the street shall be used.

Setback may be based on a Model Example.

The proposed addition would be at the rear of the Semi-Public façade and to the rear of the existing building. It would not establish a new alignment or setback if perceived as an addition.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

It is not possible for the house and an addition to be comparable to the massing of nearby brick residences. Nevertheless, the massing should be appropriate in terms of the combination original house and addition. The addition would have a larger footprint than the original historic house, yet its depth will minimize that fact when considered from the street.

301.3 Scale

Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e. g., the size of a door relative to a window).

A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.

If a new building is to be located between two existing buildings with different scales, or in the event that there are no adjacent buildings, then the building scale shall be that which is more dominant within that block on the same side of the street.

If the new building is on a block which is completely empty, then the building scale shall be similar to that of buildings in adjacent blocks.

Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building; to the crown molding on a building with a mansard; to the roof ridge on a building with a sloping roof.

When several buildings, or a long building containing several units, are constructed on a sloping street, the building(s) shall step down the slope in order to maintain the prescribed height. The step shall occur at a natural break between units or firewalls.

Complies in height. The addition would have a roof ridge that is the same height of that of the existing building. The scale of the footprint of the addition is minimized by its location in terms of the house and its location on the lot.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings. If there are no buildings on the block then the proportions shall be comparable to those of adjacent blocks.

The existing building does not have the scale and proportions of the rest of the buildings on the block and therefore this standard is difficult to apply. As it would be perceived from the street, the height, scale and proportions of the addition would not draw attention as being out of proportion for the property.

301.5 Ratio of Solid to Void

The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.

The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.

The height of a window in the Public Facade shall be between twice and three times the width.

The ratio of solid to void may be based on a Model Example.

Complies. The ratio of solid to void is acceptable.

301.6 Facade Material and Material Color

Finish materials shall be one of the following:

For walls:

Kiln-fired brick (2-1/3" by 8" by 3-5/8")

Comment: Brick within the Fox Park Historic District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove. Most brick within the Fox Park Historic District is red or orange with only minor variations in coloration.

Stone common to the Fox Park Historic District.

Scored stucco and sandstone.

4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

For foundations:

Stone, new or reused, which matches that used in the Fox Park Historic District;

Cast-in-place concrete with a stone veneer; or

Cast-in-place concrete, painted.

Finished facade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

Glazing shall be clear, uncolored glass or based on a Model Example.

Complies. The proposed addition will have 4" wood or Hardie Board lap siding similar to that of the original house.

302 Private Facade of New Construction

Materials at private Facades of new construction shall be one of those listed in 301.6(1)(1) except that wood or vinyl siding need not be based on a Model Example.

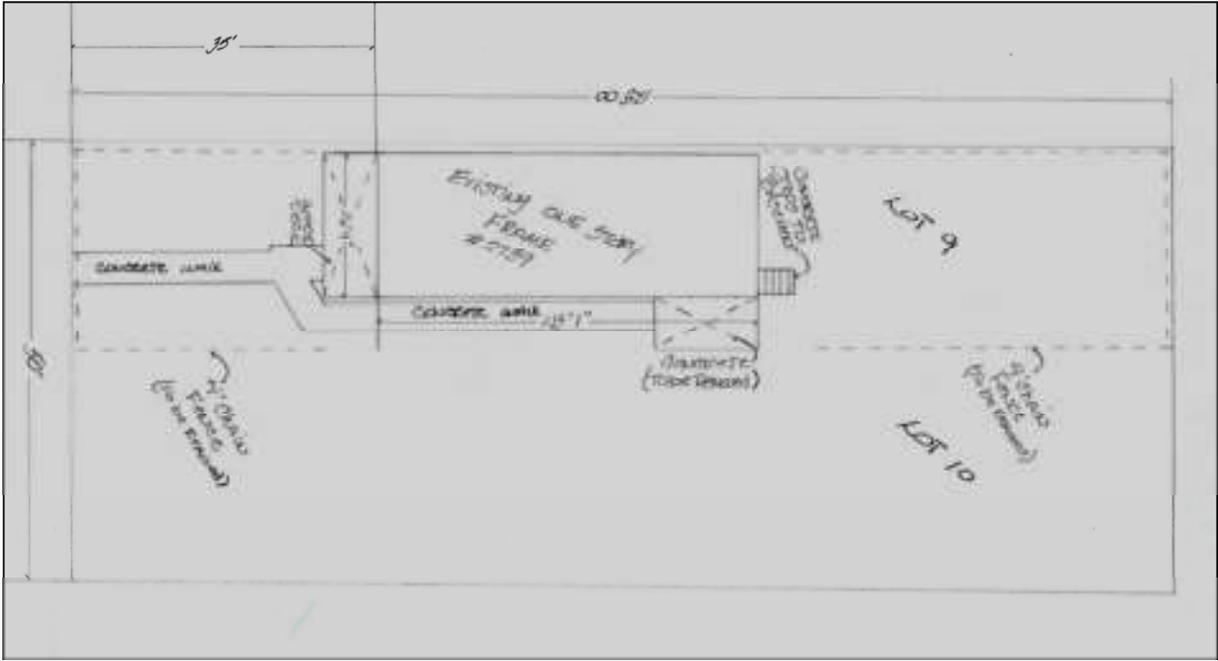
Complies.

PRELIMINARY FINDINGS AND CONCLUSION:

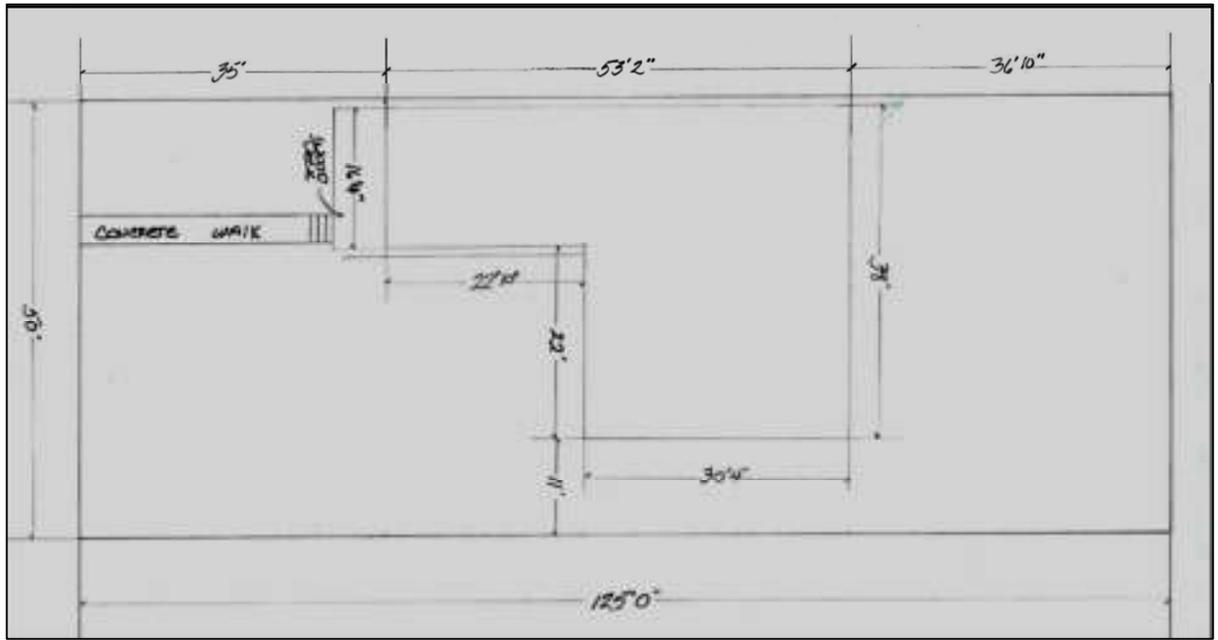
The Cultural Resources Office consideration of the criteria for new construction in the Fox Park Historic District led to these preliminary findings:

- 2739 Allen is located in the Fox Park Historic District.
- The very small house does not meet contemporary standards for most would-be occupants of a single-family dwelling; the concept of an addition and the provision of a garage on the property are acceptable.
- Many of the standards for an addition are difficult to apply to the small wood-frame house that is quite different in scale and other factors from most of the buildings in the historic district.
- The positioning of the addition at the rear of the Semi-Public façade would maintain the perception of the historic house and the addition would be perceived as an addition.
- The location of the addition so far back on the lot would make it visible only from directly in front of the property and would not significantly alter the perception of the siting and setback of the historic house or buildings in the streetscape.
- The project does not meet the Fox Park Historic District standards, some of which are difficult to apply to this property. The small size of the original house and proposed addition may warrant an exception to the standards for additions, with the focus of the review on the scale, position, design and materials of the addition in relationship to the house.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval if it concludes that an addition to the house and provision of a garage on the property would likely not comply with the Fox Park district standards and that this proposal is an appropriate solution for this site.



EXISTING SITE PLAN WITH ALLEN AVENUE ON LEFT AND ALLEY ON RIGHT



PROPOSED SITE PLAN WITH SIDE YARD ADDITION



PROPOSED FRONT ELEVATION



SITE LOOKING NORTHWEST



LOOKING SOUTHWEST



SITE LOOKING NORTHWEST FROM STREET



SITE LOOKING NORTHEAST FROM STREET



C.

DATE: January 26, 2015
ADDRESS: 1219 Dolman Street
ITEM: Preliminary Review: Second submission, new construction, single-family house
JURISDICTION: Lafayette Square Certified Local Historic District — Ward 6
STAFF: Jan Cameron, Cultural Resources Office



1219 DOLMAN

OWNER:
Michael Quinn

APPLICANT:
Diversified Real Estate Group
John Muller

RECOMMENDATION:
That the Preservation Board grant preliminary approval to the proposed new construction as the revised drawings meet the Lafayette Square Historic District Standards.



THE PROPOSAL:

The preliminary review application to construct a new single-family, detached house at 1219 Dolman was heard by the Preservation Board at its December meeting. As the Board determined that the design failed to fully comply with the requirements of the Lafayette Square Historic District Standards to follow a Historic Model Example, the Preservation Board voted to withhold preliminary approval of the application and requested that appropriate revisions be made and submitted for Board again for a Preliminary Review. Changes have been made to the original proposal that comply with the standards.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

ARTICLE 3: NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS

303 NEW RESIDENTIAL CONSTRUCTION BASED ON AN HISTORIC MODEL XAMPLE

303.1 Historic Model Example

In order to be consistent with the historic character of the district, each new residential building shall be based on an Historic Model Example (HME). This is understood to be one specific historic building and the design for a new building cannot draw upon elements from several buildings. The HME selected should be located in close proximity to the site of the new construction and represent a common property type. The property owner shall obtain concurrence from the Cultural Resources Office that the HME is appropriate for the site.

The applicant is proposing to use the same HME previously used in several locations in the Square and the Cultural Resources Office has approved it as an appropriate HME. Revisions to the original submission have now followed the HME more closely.

303.2 Site Planning

A] Alignment and Setback

- 1) New construction and additions shall have primary façades parallel to such façades of adjacent buildings and have the same setback from the street curb.
- 2) In the event that new construction or addition is to be located between two existing buildings with different alignments to the street or with different setbacks, or in the event that there are no adjacent buildings, then the building alignment and setback that is more prevalent within the block front, or an adjacent block front, shall be used.
- 3) New residential buildings in an area with no existing historic buildings shall have a common alignment based on the historic pattern of that block front or an adjacent block front.
- 4) The existing grades of a site may not be altered beyond minor grading to affect water runoff.
- 5) The setback requirements are not intended to disallow construction of alley or carriage house type new construction.
- 6) Ancillary buildings shall be placed to be the least visible from public streets.
- 7) There shall be a sidewalk along all public streets. The sidewalk shall align with adjacent sidewalks in terms of distance from the curb. New and refurbished public sidewalks

must be a minimum of 4 feet wide where possible and have a cross slope that provides an accessible route.

- 8) No new curb cuts for vehicles shall be allowed. Abandoned curb cuts will not be reutilized. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed.

The site plan meets the standards for alignment and setback.

303.3 Massing and Scale

- A) The massing of new construction shall be based on that of the HME selected to be comparable to that of the adjacent buildings or to the common overall building mass within the block front. This massing is typically relatively tall, narrow, and deep.

The massing will be tall, narrow and deep, as appropriate for a single-family house in the Square, and two stories in height, as are most of the new houses on Dolman Street.

- B) The HME and new building shall have a foundation raised above grade as a means to maintain compatibility in overall height with adjacent historic buildings.

The foundation will be raised to reflect the height of that of the HME.

- C) The HME and new building shall appear to be the same number of stories as other buildings within the block front. Interior floor levels of new construction shall appear to be at levels similar to those of adjacent buildings.

Complies.

- D) The height of the HME and new construction shall be within two feet above or below that the average height within the block. Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the façade cornice on a Mansard roofed building, or to the roof eave on a building with a sloping roof.

The height of the new house will replicate that of the HME.

- E) The floor-to-ceiling height of the first floor of HME and new construction shall be a minimum ten feet, and the second floor floor-to-ceiling height shall be a minimum of nine feet.

The design complies with these requirements.

303.4 Proportions and Solid to Void Ratio

- A) The proportions of the HME and new construction shall be comparable to those of the HME and adjacent buildings. The proportional heights and widths of windows and doors must match those of the HME, which should be 1:2 or 1:3, the height being at least twice the width, on the primary façades.

- B) The total area of windows and doors in the primary facade of new construction shall be within 10 percent of that of the HME.

- C) The proportions of smaller elements, including cornices and their constituent components, of the HME will be replicated in the new construction.

Complies with all requirements.

303.5 Exterior Materials and Color

- A] Exposed foundations must be scored or cast to simulate load-bearing masonry mortar joints, or be faced with stone laid in a load-bearing pattern.

One change agreed to by the owner that is not reflected in the revised drawings is that the front foundation will be veneered with rusticated stone in place of the simulated stone originally proposed.

- B] As in the HME, there shall be a differentiation in all façades near the level of the first floor that defines the foundation as a base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that façade.

Complies.

- C] The exterior wall materials of HMEs are a combination of stone and brick or all brick. Typically the primary façade material is different from the single material used for the side and rear walls.

All exterior walls of the proposed house will be brick above the concrete foundation.

- D] The materials of the primary façade of new construction shall replicate the stone or brick of the HME.

- 1) A stone façade shall use the stone of the HME. It shall have smoothly dressed stone cut into blocks with the same proportion as that of the HME, be laid with the same pattern, and have the same dimension of mortar joints. The stone façade shall have the same depth of return on the secondary façades as the HME.

The HME has a brick front; details will be duplicated in the new construction.

- 2) The use of scored stucco and cementitious materials to replicate the stone of the façade of the HME is permitted. As for stone façades, the return at the secondary façades shall replicate that of the HME.
- (a) Brick shall replicate that of the HME as a pressed face brick with a smooth finish and a dark red color with only minor variations in color. Brick shall have these dimensions, 2 2/3" x 8" x 4", or be based on an HME. No brick façade will display re-used brick of varying colors and shades.
- (b) Brick will be laid as in the HME, generally in a running bond, and its mortar joints will replicate, by type of façade, that of the HME in color, or be dark red or gray.
- (c) Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels shall be based on the HME. Window sills on brick primary façades shall be stone or pre-cast replica stone, based on the HME.

Brick will be used on side and rear walls. Window heads and sills will replicate those of the HME.

- E] The HME shall determine the choice of the material used on the secondary and rear façades of a new residential building. Typically, common brick side and rear walls were combined with a face brick or stone street façade. Materials permitted for use on secondary and rear façades, therefore, shall be brick of suitable color, texture, and bond, and be pointed with mortar appropriate in color, texture and joint profile.

All exterior walls will be brick.

F] Siding of vinyl, aluminum, fiber cement, or wood of any type, style, or color is prohibited on any façade because of the requirement for an HME for new residential construction.

None of these materials are proposed.

G] The materials identified above may be combined with modern construction techniques in the following ways:

- 1) The appearance of stone on a raised foundation may be created using stone veneer, parging with joint lines to replicate a load-bearing masonry pattern, or poured concrete that has the pattern of load-bearing masonry.
- 2) Brick, stone, and stucco scored to appear as stone may be installed as a veneer on exterior walls.

The proposed house will be wood-framed with brick installed as a veneer.

303.6 Windows

A] Windows in the HME and their sash will be the model for windows in new residential construction. The size and location of window openings in the HME will be replicated on the primary façade.

Windows of the front and south elevations will match those of the HME.

B] The profiles of the window framing elements – i.e. frames, sills, heads, jambs, and brick molds – will match the dimensions and positions of those in the HME.

C] Window Sash

- 1) Window sash shall match that of the HME in terms of operation, configuration (number of lights), and dimensions of all elements. The method of a window's operation may be modified on the interior in a way that does not change the exterior appearance and provides for accessibility.

D] Materials

- 1) Wood windows manufactured to match the characteristics of the HME are preferred on the primary façade. Any window sash that must be replaced in non-historic residential buildings constructed under these standards, or previous ones, shall meet these standards.
- 2) Factory-painted, metal clad wood and composite or fiberglass windows are acceptable for the primary façade if they meet the above requirements and are acceptable for secondary and rear façades.
- 3) Vinyl sash is prohibited.
- 4) All glazing will be non-reflective glass.
- 5) Windows may have double-glazed, low-solar-gain, Low-E glazing sash; tinted Low-E glazing is not permitted.

The windows to be used on the façades will have arched heads: semi-circular on the first story, and segmental on the second, following the HME. The windows will be approved by the CRO as to materials, dimensions and profiles similar to those of the HME, and have the correct brick mold.

F] Windows in secondary and rear façades that do not face the street should have the proportions and size based on the HME. The operation of the window sash and material is not regulated, other than not being vinyl.

Some variance from a strict replication of side fenestration of the HME has been accepted on most of the approved infill buildings on Dolman Street, limited primarily to the rear half of the building. This design proposes paired windows at the rear and a smaller bathroom window on the south elevation.

G] Bathroom windows in private secondary and rear façades may have frosted glass. Historical examples include glue chip and machine textured glass.

H] Storm Windows and screens, as on historic buildings, are allowed on the interior of primary public façade windows and on the exterior and interior of other façade windows. Other stipulations in Sections 203.1(D) and 203.2(D) apply here as well.

The windows will comply with material standards.

303.7 Doors

A] Doors on the primary and secondary street façades must be based on the HME and meet these requirements:

- 1) Be a minimum of 7 feet in height.
- 2) If the front entry door of the HME is set back from the façade, new construction must replicate this condition and replicate any panel reveals of the HME.
- 3) All entry doors on street façades must have a transom, transom bar and transom sash, based on the HME.
- 4) Slight modifications to the entrance design of the HME may be acceptable to provide 32-inch-wide openings, flush thresholds, and the use of swing clear hinges.

Complies. Revisions have been made to the recessed entry to more closely follow the HME.

B] Clear and non-reflective glazing shall be used in street façade doors and transom sash.
Complies.

C] Accessibility to residential buildings is encouraged and can be obtained through the selection of an HME, entrance design, the placement of actual floor levels, and other design choices.

Not applicable.

303.8 Cornices

A] The design of a primary façade cornice and all its elements shall be based on the HME. In the event that the measurements of the HME are not readily attainable, the following will be used:

- 1) Crown molding, if used must be a minimum of five and one quarter inches (5 ¼") in height.
- 2) Dentil molding, if used must be a minimum of four inches (4") in height.

- 3) Decorative panels or other moldings may be used between brackets or corbels only to replicate the selected HME.
- B] The space between brackets or corbels, and their height and proportions, shall replicate that of the HME.
The cornice of the HME will be replicated in scale and design and profile, including a return on the sides. Additional detail and a mock-up of the proposed cornice have been submitted.

303.9 Roofs

- A] The form of the roof must replicate the HME.
- B] Visible roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, solar panels, etc.
- C] Roofing Materials
 - 1) Visible roofing material shall be limited to the following:
 - (a) Slate,
 - (b) Synthetic slate where slate is used on the HME,
 - (c) Asphalt or fiberglass shingles, standard three tab design of 23 pounds per square minimum construction,
 - (d) Standing seam, copper or refinished sheet metal roofing only as gutters and ridges; all metal roofs are not allowed,
 - (e) Plate or structural glass on an appendage.
 - 2) Visible roofing material not permitted includes the following:
 - (a) Wood shingles, or composition shingles resembling wood shingles or shakes
 - (b) Roll roofing or roofing felts
 - (c) Metal roofing
 - (d) Vinyl or other polymeric roofing
- D] Gutters and Downspouts
 - 1) Gutters on the primary public façade must be incorporated into a cornice design based on an HME to the extent that the gutter is not visible as a separate element. No gutters can be placed across the primary public façade as individual elements. Gutters and downspouts shall be of one of the following materials:
 - (a) Copper; painted or allowed to oxidize.
 - (b) Galvanized metal, painted.
 - (c) Aluminum; finished as a non-reflective factory-finish**Complies with all requirements.**

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

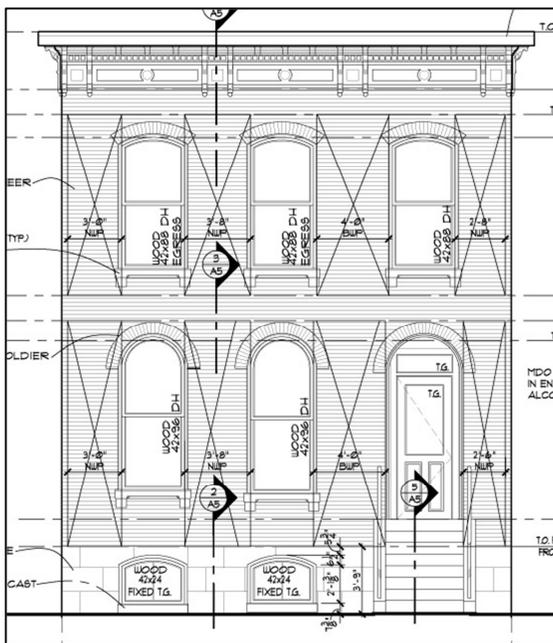
- The proposed site for construction, 1219 Dolman Street, is located in the Lafayette Square Local Historic District.

- The applicants have proposed a Historic Model Example for the new house which has been approved by the Cultural Resources Office.
- The revised plans submitted follow the HME more closely than the original submission, in particular at the recessed entry and front cornice detailing.

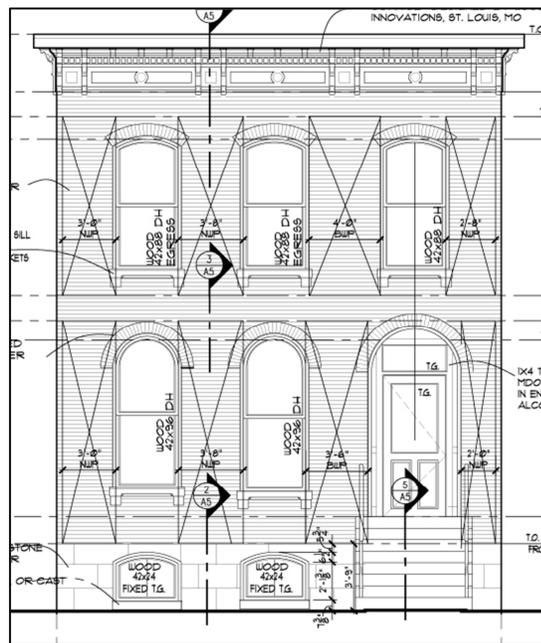
Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the revised design, with the stipulation that final plans and exterior materials are reviewed and approved by the Cultural Resources Office.



HISTORIC MODEL EXAMPLE



ORIGINAL SUBMISSION



REVISED ELEVATION



D.

DATE: January 26, 2015
 Address: 2617 Shenandoah Avenue
 ITEM: Preliminary Review Application for rehabilitation of the Emmaus Lutheran School
 JURISDICTION: Fox Park Local Historic District — Ward 7
 STAFF: Andrea Gagen, Cultural Resources Office



2617 SHENANDOAH

OWNER:
 Emmaus Evangelical Lutheran Church

APPLICANT:
 Matthew A. Mano for Eagle College Prep

RECOMMENDATION:
 That the Preservation Board withhold preliminary approval unless the applicant agrees to stipulations that would bring the Public Façade and two-bay returns into compliance with the intent of the Fox Park Historic District standards



THE PROJECT:

The applicant is preparing the 1926 school building to be occupied as a charter school for the 2015-16 school year. The work includes roofing, an accessibility ramp on the Public Façade, replacement of all doors and windows in the Public, Semi-Public and Private Façades, and fencing.

RELEVANT LEGISLATION:

Excerpt from Fox Park Historic District Ordinance #66098:

201.5 Roofing Materials on Mansard Roofs

Roofing materials on mansard roofs shall be one of the following:

Materials which can be documented as being original to the building;

Slate shingles;

Synthetic slate shingles of a cementitious composition and reinforced with fiberglass;

Composition shingles which replicate the proportions of slate shingles.

Comment: GAF Slateline or an equivalent fulfills this requirement.

Asphalt or fiberglass composition shingles; standard 3 tab design of 235 lb. per square minimum construction.

Slate or synthetic slate shall be used to replace missing or damaged shingles on mansard roofs where more than 50% of the original slate shingles are in existence.

Comment: Mansard roofs with composition shingles existing at the time of implementation of these Standards may continue to be covered with new composition shingles though slate or synthetic slate shingles are more compatible with the original character of the building.

Complies. The new shingles will be asphalt composition shingles to match the existing shingles on the building.

203.1 Windows at Public Façades

Windows in Public Façades shall be one of the following:

The existing window repaired and retained.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lites, their arrangement and proportion shall match the original or be based on a Model Example.

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Reconstructed windows and sashes in a Public Facade shall be based on the following;
An adjacent existing window in the same facade which is original; or

If all windows on a facade are being replaced than they shall be based on a Model Example or the window detailed in Figure S.

Glass Types at a Public Facade

Glass in historic windows on a Public Facade shall be one of the following:

Clear glass or other original glazing;

Glass based on a Model Example; or

Insulated glass with its exterior face set 3/8" back from the exterior face of the sash.

The following glass types are prohibited in Public Facades:

Tinted glass;

Reflective glass;

Glass block; and

Plastic (plexiglass) except Lexan or an equivalent.

Most aspects of the proposed windows for the Public Façade do not comply. As the proposed storefront windows replicate the non-historic windows currently in the building, the new windows do not follow a Model Example as required. The low-e coating also appears to give the glass a greenish hue, making it a tinted glass that is not allowed. The translucent panels proposed for the basement level openings are counter to the intent of the standards. The finished aluminum material of the windows complies with the standards, as does the retention of the leaded glass window above the entrance meets the standards.

203.2 Windows at Semi-Public Façades

Windows at Semi-Public Façades shall comply with all of the restrictions outlined in Section 203.1 except as noted herein.

Replacement Windows in a Semi-Public Facade

Materials

Replacement windows may be constructed of the following materials:

Wood;

Vinyl-coated wood; or

Finished (painted or otherwise coated with color) aluminum. Clear anodized aluminum is prohibited.

Configuration

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lites may be reduced to one over one.

Square head replacement windows may replace original arched-head windows where the apex of the arch is less than 6" above its base. However, the arch shall be maintained with a decorative element of wood, finished metal, or plastic which appears as wood.

Brick Molding

In all cases, the original brick molding shall be retained or duplicated.

Infilling Windows in a Semi-Public Facade

Windows which are to be abandoned on the interior shall be infilled as follows:

Close the window with wooden shutters set 1-1/2" back from the face of the wall with the window opening left intact including the frame, sash, sub-sill and lintel.

Brick in the opening with brick set 1-1/2" to 2" back from the face of the wall with the window opening left intact including the sub-sill and lintel. The infill brick shall match the surrounding brick in size, color, texture, coursing and mortar composition, color, texture and tooling.

Does not comply. In regards to the windows on the highly-visible two-bay returns at the front of the building, the staff believes that the windows should comply with the historic district standards. Although the rest of the side facades are somewhat visible, they are less articulated and visually separate from the front portion. Due to the size and number of windows, the staff believes some flexibility can be allowed, including the use of translucent panels for the large gymnasium openings.

203.3 Windows at Private Facades

Windows at Private Facades shall comply with all of the restrictions outlined in Section 203.1 except as amended in Section 203.2 and herein.

New Window openings in Private Facades:

New openings where no window existed before, or where existing windows are to be made shorter or longer, shall meet the following;

The proportion of the opening shall be the same as the adjacent openings;

The masonry jambs shall be toothed-In, not saw-cut; and

Sills and lintels shall match those adjacent.

Glass types and materials on Private Facades are not regulated by these Standards.

Complies.

204 Doors

Comment: Doors, like windows, are an integral part of a building's street facade. Primary entrance doors are one of the strongest first impressions of a building. Door types found in the Fox Park Historic District are limited to a few different types. Doors of earlier Federal style buildings are solid, simple in construction and without ornament except for four or

six panels. Victorian doors are much more ornate, often with elaborate carvings, recessed panels or other architectural detailing and typically have a glazed area in the upper half to three quarters of the door (See Figure I). Glass in a Victorian door is typically etched, beveled or leaded. Stormer doors often accompany Victorian doors and are of similar design though without any glazed area. As used herein the term "doors" includes stormer doors (see Section 101.21).

Doors shall be one of the following:

The original wood door restored;

A new wood door which replicates the original;

A finished metal door of a style which replicates the original; or

Based on a Model Example.

The following types of doors are prohibited:

Flush, hollow-core doors with or without applied moldings,

Flush doors of any material.

Doors shall have one of the following finishes:

Paint

When hardwood, a natural finish.

Stormers

Stormer doors shall not be replaced with any other type of enclosure.

Does not comply. While the doors themselves make an attempt to mimic the interior entry doors, the transom and surround have been divided up in a way that neither follows the current configuration, nor replicates the historic interior entry. The current door and surround configuration, while not historic, is a minimal visual element and is considered to be a better solution.

206.2 New Appendages to Public Facades

New Appendages to Public Facades are prohibited.

Does not comply. The ramp will require removal of a portion of the east stair wall. However, this appears to be the only possible location for an accessibility ramp. In addition, its design and materials are appropriate for a school building.

403.2 High Fences

High fences are fences taller than 48", but less than 72" in height when measured from the ground.

Comment: Fences higher than 72" are prohibited by City Building Codes.

High fences are restricted to the following locations:

At or behind the building line of a Public Facade.

Private or Semi-Public Facades

High fences shall be one of the following types:

Boards placed vertically (See Figure W), if the structure of the fence will not be visible from the Public Façade.

Lattice of one consistent design, either placed at a 45 or 90 degree angle (See Figure W). The lattice shall be completely within a frame constructed of posts and rails.

Wrought or cast iron.

Stone or brick pillars in combination with one of the above when based on a Model Example.

A reconstructed fence based on a Model Example.

Complies. Fencing will be wrought-iron

PRELIMINARY FINDINGS AND CONCLUSIONS:

The Cultural Resource Office's consideration of the criteria for exterior alterations in the Fox Park historic district standards led to these preliminary findings:

- 2617 Shenandoah is located in the Fox Park Local Historic District.
- The Fox Park standards require that new windows in Public Façades and Semi-Public Façades follow a Model Example when there are no historic windows remaining in the building on which to base them. Since the current windows are not historic, they do not constitute a Model Example.
- The proposed storefront windows, translucent panels and entryway on the Public Façade and the two-bay side returns do not meet the Fox Park Historic District standards. These changes would reduce the historic character of the building—and particularly in the case of the entry enclosure and the translucent panels—would take the building even further from its historic appearance.
- The use of double-glazed, undivided aluminum windows that appear to be double-hung and are operable, with no low-e coating, on the Public Façade and returns would evoke what the original configuration of the windows might have been, address concerns about cost, and come closer to the intent of the standards.
- The use of a more simplified enclosure for the front entry without horizontal mullions, and fully glazed doors with no muntins would maintain a storm-enclosure feeling for the entrance, avoid introducing new design elements, and come closer to the intent of the standards.
- The owner is concerned about maintenance, security and the cost of the numerous large windows on the building. Due to these concerns, the staff believes that some flexibility on the Semi-Public Façades behind the two-bay returns and the Private Façade is warranted.
- The translucent panels would best be used only on the large gymnasium windows.
- Although under the standards, appendages to a Public Façade are not allowed, accessibility must be provided. There does not appear to be another location for an accessibility ramp and its design is appropriate for its location and use.

- The proposed fencing and handrails comply with the historic district standards.

RECOMMENDATION:

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board should withhold preliminary approval of the project unless the applicant agrees to the stipulations in the Preliminary Findings that would bring the Public Façade and two-bay returns into compliance with the intent of the Fox Park Historic District standards.



SEMI-PUBLIC SIDE FACADES



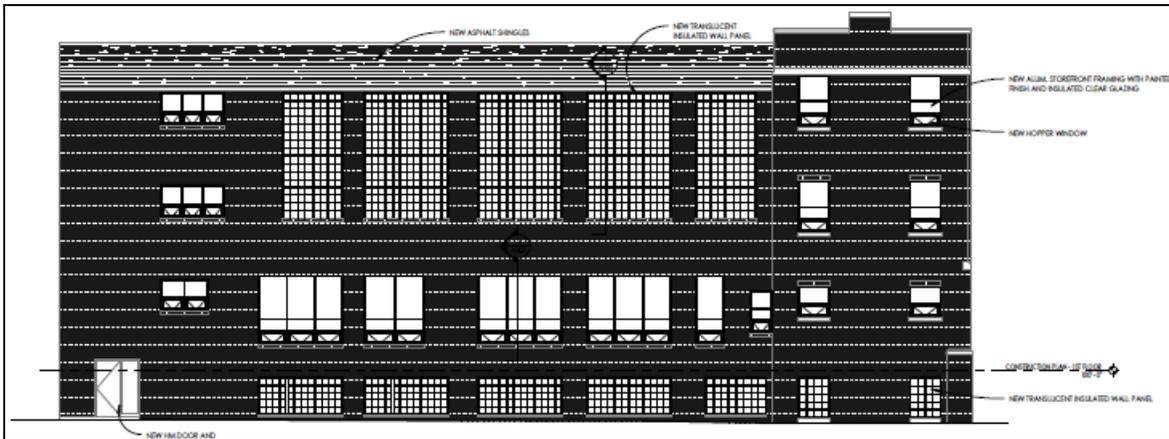
REAR ELEVATION (PRIVATE FAÇADE)



EXISTING ENTRY



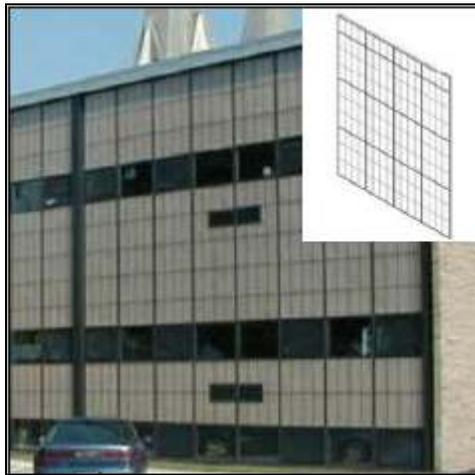
FRONT ELEVATION DRAWING



TYPICAL SIDE ELEVATION



EXAMPLE OF PROPOSED HOPPER WINDOWS



EXAMPLE OF PROPOSED TRANSLUCENT PANELS



PROPOSED LOW-E GLASS



PROPOSED DOORS



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**

Cultural Resources Department

E.

DATE: January 26, 2015
 ADDRESS: 245 Union Boulevard
 ITEM: New Application: Erect one monument sign
 JURISDICTION: Central West End Historic District — Ward 28
 STAFF: Jan Cameron, Cultural Resources Office



245 UNION — SIGN TO BE PLACED AT ENTRY TO PARKING

OWNER/APPLICANT:

Village Green Associates
 Jennifer Roth

STAFF RECOMMENDATION:

That the Preservation Board grant approval for the proposed sign with the condition that the total height of the sign be limited to no more than 10 feet above grade, and subject to review of final drawings by the Cultural Resources Office.



THE PROJECT

The proposed sign will identify an apartment building complex along this block of Union Boulevard, which includes the Congress, Senate and Westmoreland historic apartment buildings, and the new building constructed behind the Senate. It will be located at the Union Boulevard entry to a shared parking lot behind the historic buildings. The design is intended to coordinate with existing signs at each building entry.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, the Central West End Historic District Standards:

IV. COMMERCIAL BUILDING DESIGN STANDARDS

Repairs and Rehabilitation in Historic Commercial Buildings

F. Signs

Signs on commercial buildings shall be in accordance with applicable provisions of the zoning ordinance.

Does not comply. The application is for a monument sign 16 feet in height and a total of 400 square feet. Current zoning allows a maximum 6-foot height and total 40 square feet, to include all signs on the property. The owner requested a variance from the Board of Adjustment, which has granted a variance for the sign as proposed.

Signs are further restricted below:

The following are not allowed:

1. Non-appurtenant advertising signs.
2. Pylon signs.
3. Wall signs above the second floor window sill level.
4. Roof-top signs.
5. Projecting signs that obstruct the view of adjacent signs, obstruct windows or other architectural elements, or extend above the second floor window will level.
6. Signs with flashing or moving elements.

Only one projecting sign is permitted for each establishment, unless it occupies a corner storefront; in this case, two signs are permitted, one on each façade.

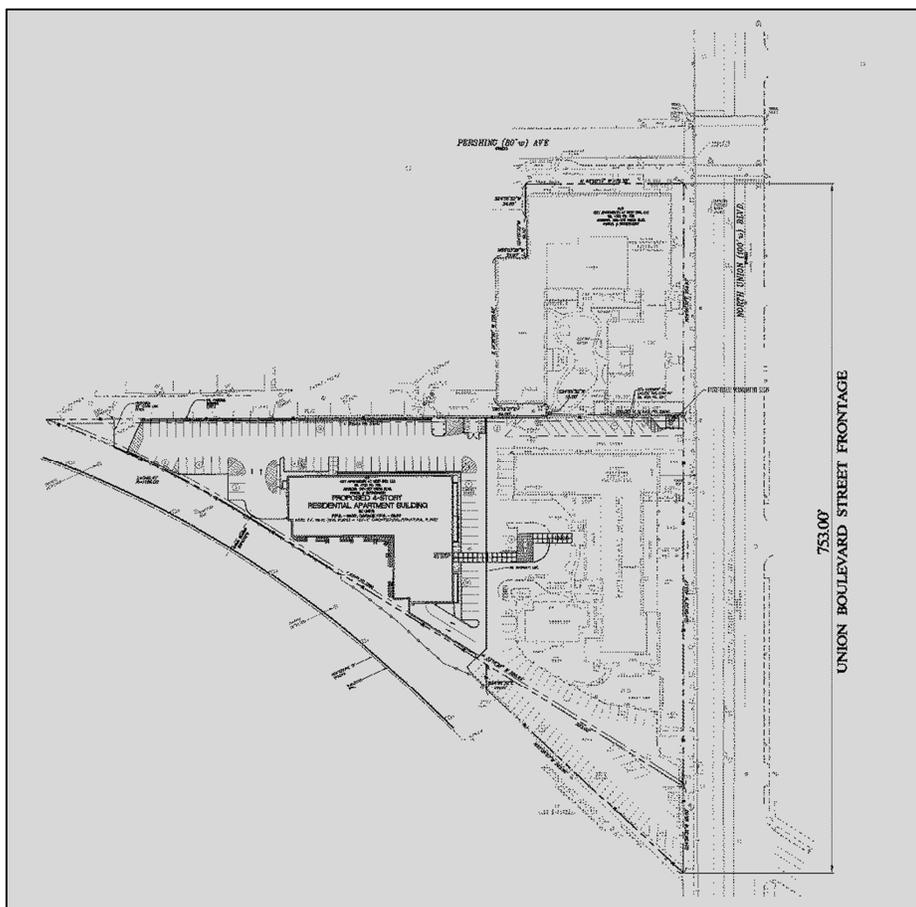
Complies. The sign will be the only monument sign for the complex, which includes four large apartment buildings.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office’s consideration of the criteria for signs for existing commercial buildings in the Central West End Historic District Standards led to these findings:

- The design of the sign is intended to coordinate with the contemporary signs placed at each building entry, which are cut stainless steel letters in an Art Deco font.
- The CWE standards do not address the materials or the design of commercial signs. The proposed sign will be stainless steel and white acrylic with edge-lit letters.
- The proposed height of 16 feet is considerably taller than allowed by zoning and the sign would have the effect of towering over pedestrians. A maximum height of 10 feet would be more in scale with the pedestrian realm but provide visibility.
- While the sign is large, the complex has approximately 700 feet of street frontage. This will be the only monument sign to identify four large multi-story apartment buildings.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant approval for the a sign to be erected as proposed, with the condition that the total height be a maximum 10 feet above grade, and subject to review of final details and materials by the Cultural Resources Office.



SITE PLAN SHOWING APPROXIMATE LOCATION OF SIGN



F.

DATE: January 26, 2015
ADDRESS: 2215-17 Indiana Avenue
ITEM: Appeal of Director's Denial to install fourteen vinyl windows and retain a non-compliant front door on the Public Façade
JURISDICTION: McKinley Heights Local Historic District — Ward 7
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



2215-17 INDIANA

OWNER/APPLICANT
Donald & Virginia Graham

RECOMMENDATION:
That the Preservation Board uphold the Director's Denial, as the proposed vinyl windows and installed front door do not comply with the McKinley Heights District Standards.



THE CURRENT WORK:

The applicant has installed one non-compliant door on the Public Façade without a permit. In addition, the owner wishes to install fourteen vinyl windows on the Public Façade. The installation of the door and issuance of the violation occurred after the owner was told that he would need a building permit for the installation of the vinyl windows.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, the McKinley Heights Historic District:

203 WINDOWS

Windows are crucial to a building's historic character.

203.1 Windows at Public Facades:

1) Windows in Public Facades shall be one of the following:

- a. The existing window repaired and retained;
- b. Replacement window, duplicating the original, which meets the following requirements;
 - i. Replacement windows or sashes shall be made of wood or finished aluminum,
 - ii. The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.
 - iii. The number, arrangement and proportion of lights shall match the original or be based on a Model Example.
 - iv. The method of opening shall be the same as the original.

Does not comply. The proposed windows on the Public Façade are made of vinyl, a material that does not comply with the standards. The windows will not replicate the original as the sashes have uniform- sized rails and do not replicate the dimensions of historic wood windows. The new windows will present a flat appearance and do not convey the depth shown in the offset sashes of historic windows.

204 Doors

Doors are an integral part of a building's Public Façade. Primary entrance doors are one of the strongest first impressions of a building.

Doors shall be one of the following:

The original wood door restored;

A new wood door which replicates the original;

A finished metal door of a style which replicates the original; or

Based on a Model Example.

When more than one primary entrance door exists, all primary entrance doors must be identical and of the same color.

Does not comply. The installed door is contemporary and not based on a Model Example as required by the standards. The original entry and door

had been previously modified with a non-compliant door prior to the neighborhood becoming a local historic district. However, the new door that was installed without a permit needed to comply with the district standards regardless of the previous condition.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the McKinley Heights District standards and the specific criteria windows on public façades led to these preliminary findings:

- 2215-17 Indiana is located in the McKinley Heights Local Historic District.
- A non-compliant door was installed without a permit on the front façade.
- The proposed windows are vinyl; do not replicate the appearance of historic wood sash; and do not conform to the McKinley Heights Local Historic District standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as the door and vinyl windows do not comply with the McKinley Heights Historic District standards.



EXISTING WINDOW DETAIL



REPLACEMENT DOOR DETAIL WITH ADJACENT EXISTING HISTORIC DOOR



PROPERTY IN JULY OF 2011 (GOOGLE MAPS)



G.

DATE: January 26, 2014
 ADDRESS: 700-728 South Euclid Avenue & 4565 Clayton Avenue— WARD: 17
 ITEM: Nomination to the National Register of Shriners’ Hospital for Crippled Children
 STAFF: Betsy Bradley, Cultural Resources Office



700-728 SOUTH EUCLID AVENUE

PREPARER:
 Lafser & Associates, Inc.
 Matt Bivens

RECOMMENDATION:
 The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the property meets the requirements of National Register Criterion A.



RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The Shriners' Hospital for Crippled Children was constructed in 1924 and expanded in 1928 with wings to house a nurses' residence and a classroom. Developed as one of the first Shriners' Hospitals in the country, the centrally-located facility was the largest in the Shriners' hospital system and a major center for the treatment of crippled children and the training of nurses to work in the field. The medical "firsts" at the hospital include a successful operation to lengthen a leg in 1924 and the innovation of using skeletal traction to correct congenital dislocation of the hip in 1930.

The hospital is nominated under Criterion A in the areas of health and medicine, and also education. The period of significance begins with the completion of the original hospital unit in 1924 and extends to 1963 when the hospital was closed and all patient care was transferred to the Shriners' Hospital on South Lindberg in St. Louis County. The Cultural Resources Office concurs that this property is eligible for listing in the National Register under Criterion A.



H.

DATE: January 26, 2015
ADDRESS: 1221 Locust Street— WARD: 5
ITEM: Nomination to the National Register of The Shell Building
STAFF: Lorraine Nunley, Cultural Resources Office



1221 Locust Street

PREPARER:
Space, LLC.
Jeremy Clagett

RECOMMENDATION:
The Preservation Board should direct the staff to prepare a report for the State Historic Preservation Office that the property meets the requirements of National Register Criteria A and C.



RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The nomination states that The Shell Building, completed in 1926, is one of the first major examples of Art Deco design combined with Late Gothic Revival elements in St. Louis. Designed by the prominent St. Louis architectural firm of Jamieson & Spearl, the primary building structure is reinforced concrete. Cut limestone and glass are the primary elements of the building façade and sleek granite cladding accentuates the large arcade windows of the first floor. The twelve story building housed the corporate headquarters for Roxana Petroleum Company (known as The Shell Petroleum Corporation after 1928). The building documents the role of St. Louis in the rise of the petroleum industry. Overlooking Lucas Park, The Shell Building embraces the curved corner site and harmonizes its own characteristics with surrounding Revival Style buildings.

The Shell Building is nominated under Criterion A for “commerce” and Criterion C for “architecture.” During its period of significance, from 1926-1940, the Shell Building was one of the most modern buildings in Downtown St. Louis in style and modern construction techniques. The Cultural Resources Offices concurs that this property is eligible for listing in the National Register under Criteria A and C.