



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY OCTOBER 27, 2014 — 4:00 P.M.
 1520 MARKET ST. #2000
 ST. LOUIS, MISSOURI 63103
www.stlouis-mo.gov/cultural-resources**

Roll call - Approval of the July 28, and September 22, 2014 minutes - Approval of the Agenda.
 Reschedule December 2014 meeting to December 15.

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

A.

DATE: October 27, 2014
ADDRESS: 4167 McRee Avenue
ITEM: New construction of a single-family residence
JURISDICTION: North I-44 Certified Local Historic District — Ward 17
STAFF: Betsy Bradley, Cultural Resources Office



4167 MCREE

OWNER/APPLICANT:
Botanical Heights Homes, LLC

RECOMMENDATION:
That the Preservation Board withhold preliminary approval and consider directing the applicant to address the use of materials and the setback line of the building so that a building permit application can be approved.



THE PROJECT

The applicant has applied for a building permit application to construct a detached two-story, single-family house in the North I-44 Local Historic District.

RELEVANT LEGISLATION:

Excerpt from Ordinance #60370, North I-44 Local Historic District Use, Construction and Restoration Standards:

1. Exterior Materials:

Exterior Materials shall be generally consistent over the entire block face and shall be limited to materials that were originally used to construct residences in the neighborhood. Such materials may be integral with the building's structure, a surface or enclosure, or an ornament on the building. The dominant facade material over the entire area is red brick. There are very few buildings with stone facades, some yellow brick buildings, and a few wood frame structures.

New construction shall be of exterior materials similar to those already in use on the street, such as brick, wood trim, and glass. Any additions or alterations to primary facades or to prominently-visible secondary facades shall conform to the historic character of the building. The use of imitation, artificial or simulated exterior materials is prohibited, except when such materials serve to replicate original architectural elements which have been lost or destroyed.

APPROVED: Brick
 Glass
 Aluminum or steel gutters (color-clad and complementary to the building)
 Stone
 Wood (for unenclosed rear porches, decorative trim surrounding windows and doors, and replacement of original wood treatment)(Painted or stained with opaque stain)...

PROHIBITED: Permastone
 Stucco
 Aluminum or T-111 Siding
 Expanded metal screens
 Raw aluminum or galvanized steel
 Porcelainized metal panels...

a. Color:

There shall be no painting of unpainted masonry buildings. Previously painted buildings, if changed, must be either chemically cleaned or repainted a brick red color.

The range of colors used on facades should unify the area while emphasizing the distinct qualities of each building. The dominant color applied to the building shall be a background somewhat neutral in color, and shall approach the value and intensity of natural materials, such as brick and stone. Brighter complementary colors shall be limited to the trim.

Brick complies. A dark red brick is proposed for approximately one half of the front façade. The district standards emphasize the importance of the use of existing materials for new construction and the need for the color of materials to unify the area.

Cement board siding does not comply. The material has been accepted as a substitute for wood siding, although it appears in a much larger extent than the standards allow for the use of wood. Lapped cement board with a four-inch reveal will clad approximately one-half of the façade and the street-facing portion of the side wing. The material is proposed in two colors, a dark gray on the street-facing wall of the wing, comparable in color saturation to the red brick, as well as its entire volume. A light neutral color will sheath the top portion of the façade; the material and color are used on the side and rear façades as well. The combination of color and materials do not comply with the standards.

2. Height and Location:

a. Height:

On blocks where buildings are generally the same height, new or renovated residential structures are to be within 15% of the average height of existing buildings on the block. Commercial structures may be one-story in height. On blocks with varying heights, new or renovated residential buildings shall fit within the overall pattern of the block.

Somewhat complies. The height of the building is taller than the residence to the west as the main block of the house has a third story. The height of the single-pitch roof is comparable to that of the gable roof of the residence to the east. The lower height of the east side wing introduces a new form into the streetscape: a residential building without a uniform height.

b. Location, spacing, width and setback:

Location and spacing of new residential buildings shall be consistent with existing patterns on the block and the width of such buildings shall be consistent with existing building widths. If there is an existing uniform setback for residences on the block, new buildings shall maintain that setback. Commercial structures may adhere to additional setbacks, if necessary, in order to provide parking for their business use.

Width complies. The proposed house has a wider than usual footprint for a single-family dwelling but its width is within the common dimensions for the multi-family units nearby. The visual effect of this is minimized to some extent by the subordinate form of the side wing.

Setback and Spacing do not comply. Although the setback of the buildings on the north side of the block is varied, the location of the proposed house is perceived primarily in relationship to the house to the west, as the east side yard is very wide. Although the porch occupies the setback position of the neighboring porch, the recessed form of the porch means that the house rises above the porch and is noticeably in front of the main façade of adjacent house and those to the west. The wide side-by-side yards between the proposed house and the one to the east reduce the relationship of the set-back position with that property. The spacing of the proposed house with a wide side yard disrupts the street's pattern of closely-spaced residences.

3. Details:

- a. Original details, such as cornices, roof brackets, etc., shall be maintained, repaired or replaced as close to the original features as possible. Architectural details on new structures shall be compatible with details on existing buildings in terms of design, materials and scale.
Does not comply. The contemporary design does not include any details that are compatible with those on existing buildings. The form and articulation of the recessed porch, rooftop deck open to the front façade, and termination of the single-pitch roof visible on the east side are elements of the contemporary design that are not found in historic buildings in the district.
- b. Primary (front) doors must be of wood. If modern storm doors are used, they must be of color-clad material and full-light. Flush doors are prohibited. Flush doors with novelty treatments are also prohibited.
Does not comply as the applicant proposes to use steel Thermatru doors as it has done on other properties in the historic district.
- c. On each elevation, window patterns shall reflect the original configuration. Windows, as well as doors and other openings on both new and renovated structures shall be in the same horizontal and vertical size and style as in the original buildings in the area. Both new and replacement windows shall be limited to wood or color-finished metal. Raw or uncolored aluminum is prohibited for storm windows or prime replacement windows. If used, storm windows must be mounted to or fit between the blind stops of the existing window.
Does not comply. Neither the fenestration pattern nor the size of most windows is comparable to windows in the historic residences in the district. Any alignments with window openings of historic buildings are overshadowed by the varied shapes, sizes and positions of the windows. The material of the windows is compliant, color-finished aluminum-clad wood.
- e. Roofs:
Any change to roof materials require a building permit. On blocks where a roof line and shape is dominant, new or renovated structures shall have the same roof shape and lines. On blocks where there are different roof shapes and designs, new or renovated structures shall have roof shapes and lines compatible with adjacent buildings. Materials for new or renovated roofs shall be compatible with the original materials in the neighborhood.
Does not comply. The single-pitch roof of the main portion of the façade is not a roof form or pitch found on the block. Flat roofs predominate on the block and the building to the east has a more steeply-pitched gable roof. The roof material will be architectural shingles in a dark grey color.

4. Site Improvements:

a. Walls and Fences:

1. Residential:

Materials and construction of new or renovated fences, when visible from the street, shall be compatible with the character of the neighborhood. Materials shall include wood, stone, brick, wrought iron or evergreen hedge. Unpainted chain link and wire fabric are prohibited.

If used it is required that such materials be painted or coated in black, dark green or some other appropriate color. Height and fences shall not exceed 6 feet in the rear yard, 42 inches at the building line. Fences are prohibited in front of the building line. A side yard fence on a corner lot may not extend beyond the face of the main wall of the building, or in front of the building line of the interior lots of the cross street, whichever is least restrictive.

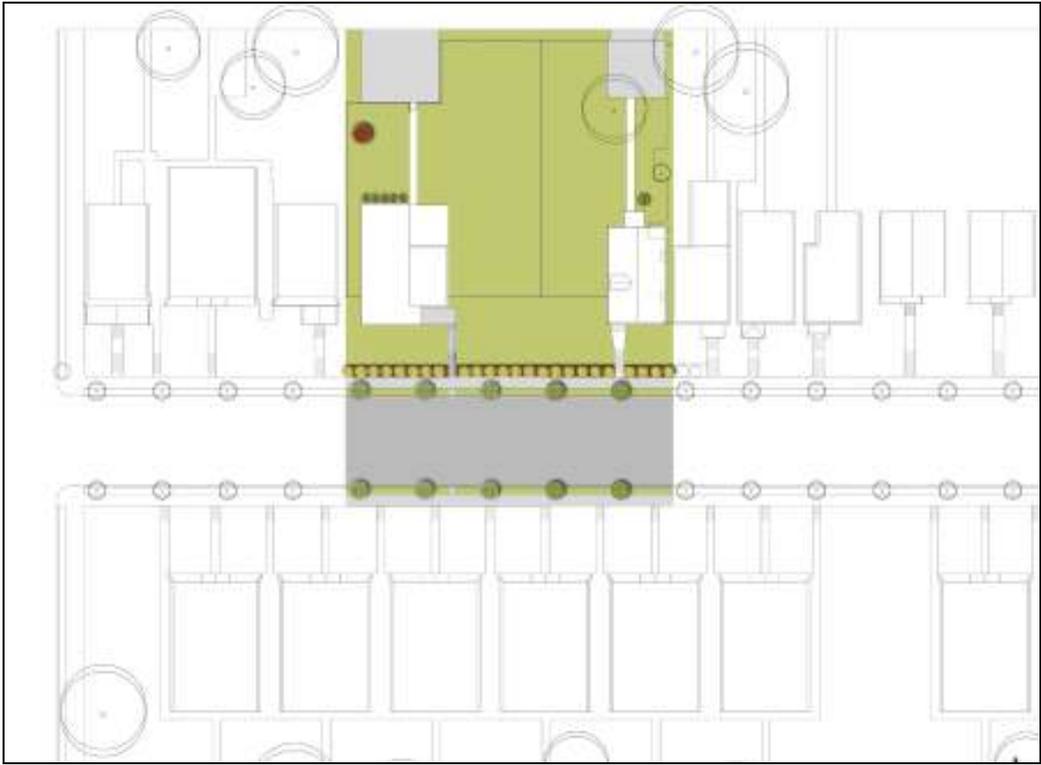
A wood privacy fence is proposed to enclose the side yard east of the house and to close the gangway west of the house.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the North I-44 Historic District Standards led to these preliminary findings:

- The proposed site for construction, 4167 McRee, is located in the North I-44 Local Historic District. The design is proposed for only this location.
- The applicant proposes to construct one multi-story house in a contemporary design on a large property with a wide side yard to the east, a condition that makes the east side of the house highly visible.
- A dark red brick, the dominant material in the district, is proposed for half of the street-facing portion of the house. This material and its color comply with the district standards.
- The proportion of cement board siding, comprising the other half of the front façade, is certainly greater than the standards suggest wood should be used on visible elevations in the district. The highly-visible east side of the proposed house will be entirely sided. This expanse of material does not comply with the district standards.
- The contemporary design of the building does not comply with most of the other standards for new construction and does not meet a “first glance” visual compatibility test that the standards are worded to support. The standards do not address the desirability of contemporary design and certainly the new buildings erected in the district have reinvented the porch, used small areas of accent materials and colors, and have expanded the notion of visual compatibility.
- Positioning the house further back so that its main façade is in the same plane as the house to the west would allow it to meet the standard for setback.
- The design could comply with exterior material requirements of the standards with the use of brick, which would thereby noticeably improve the house’s visual compatibility. The more extensive use of red brick on the façade and the highly-visible east façade would make the building considerably more compatible in the streetscape, the understood goal of the more specific standards for new construction.
- No minor changes can bring the house into compliance with the majority of the standards. The lack of compliance is sufficient to support withholding preliminary approval of the project and consistent with the Preservation Board’s adherence to the use of compliant materials on new construction in this district.

Based on the preliminary findings, the Cultural Resources Office recommends that the Preservation Board withhold preliminary approval at this time, and indicate to the applicant that if brick is used as the exterior building material for the entire street-facing façade and highly visible side wing; and if the building is aligned with the main façade of the building to the west, the changes would be sufficient to enable the Cultural Resources Office Director to approve a building permit application.



SITE PLAN SHOWING BLOCK SETBACKS



PROPOSED CONSTRUCTION IN PORTION OF BLOCKFRONT



FRONT ELEVATION



EXPOSED EAST ELEVATION



WEST ELEVATION



REAR ELEVATION



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

B.

DATE: October 27, 2014
ADDRESS: 4056 Russell Boulevard
ITEM: Preliminary Review: Redesign of vacant service station and conversion to single-family house
JURISDICTION: Shaw Certified Local Historic District — Ward 8
STAFF: Jan Cameron, Cultural Resources Office



4066 RUSSELL BOULEVARD

OWNER/APPLICANTS:

William & Maureen McCuen

RECOMMENDATION:

That the Preservation Board grant preliminary approval to the project with the stipulation that final drawings and exterior material finishes are reviewed and approved by the Cultural Resources Office Staff.



THE CURRENT WORK:

At the August 2014 Preservation Board meeting, the applicants presented a plan to convert a two-story, 1960 service station at 4066 Russell, a non-contributing resource to the Shaw Neighborhood historic district, into a single-family house. The applicants have recently acquired an adjacent one-story concrete block commercial building, 4056 Russell, constructed in 1965. A modest, undistinguished example of Mid-century Modern commercial building, 4056 Russell is also a non-contributing resource to the district. The applicants plan to rehabilitate the building for commercial use.

Because the proposed redesign would make significant alterations to the exterior of this property, the Cultural Resources Office considered the project's compliance with the historic district standards as if it were a new infill building to the historic district.

RELEVANT LEGISLATION:

Excerpt from Shaw Historic District Ordinance #59400:

Residential Appearance and Use Standards

6. Structures:

New construction or alterations to existing structures: All designs for new construction or major alterations to the front of the buildings that require a building permit must be approved by the Heritage and Urban Design Commission, as well as by the existing approving agencies, as required by City Ordinances. Standards that do not require building permits serve as guidelines within the district. Restrictions set forth below apply only to fronts and other portions of the building visible from the street and on corner properties (excluding garages), those sides exposed to the street.

A. Height:

New buildings or altered existing buildings, including all appurtenances, must be constructed within 15% of the average height of existing residential buildings on the block. Wherever feasible, floor to floor heights should approximate the existing building in the block. When feasible, new residential structures shall have their first floor elevation approximately the same distance above the front grade as the existing buildings in the block.

Complies. The building remains at its one-story height.

B. Location:

Location and spacing of new buildings should be consistent with existing patterns on the block. Width of new buildings should be consistent with existing buildings. New buildings should be positioned to conform to the existing uniform set back.

Complies. The existing building is sited at building line along Russell. All residential properties on the block align their front facades with this building line, and all have open porches which encroach upon it. The redesign proposes to duplicate the feeling of a porch with a small projecting vertical element at the new entry, a projecting metal cornice, and an accessibility ramp running the width of the front

façade. All these elements will be well within the setbacks of porches along the street.

C. Exterior Materials:

Materials on the fronts and other portions of new or renovated buildings visible from the street and on corner properties, those sides of the building exposed to the street (excluding garages) are to be compatible with the predominant original building materials: wood, brick, stone. Aluminum steel, any type of siding, and artificial masonry such as PermaStone or Z-Brick, are not allowed. Stucco material is not allowed except where the stucco was the original building material.

Partly complies. The exterior materials proposed will be similar to those previously approved by the Preservation Board for the rehabilitation of 4066 Russell. The majority of the building, currently concrete block, will be faced in smooth-finished stucco, a material which was used for front façades on buildings in the district, although the majority of those in the immediate vicinity of the site have brick fronts. Many of these have been painted in light colors and now present a uniform appearance that is similar to the proposed wall treatment. Trim for panel insets is proposed to be a horizontal cement board siding that, while not lap siding, does reflect a traditional material used for bays, porches and other secondary elements on historic buildings. The building currently has a deteriorated metal fascia and coping set at the front and side parapets. On the new design, a metal projecting cornice will extend across the front façade and return along the western elevation.

D. Details:

Architectural details on existing structures, such as columns, dormer, porches and bay windows, should be maintained in their original form, if at all possible. Architectural details on new buildings shall be compatible with existing details in terms of design and scale. Doors, dormers, windows and the openings on both new and renovated structures should be in the same vertical and horizontal proportions and style as in the original structures. Both new or replacement windows and door frames shall be limited to wood or color-finished aluminum. Glass blocks are not permitted. Raw or unfinished aluminum is not acceptable for storm doors and windows. Iron bars or other types of protective devices covering doors or windows (excluding basement windows) are not permitted. Gutters should be made of color-finished aluminum, sheet metal or other non-corrosive material. Gutters should not be made of raw or unfinished aluminum or steel. Mortar must be of a color compatible with the original mortar of the building. Aluminum or metal awnings visible from the street are not permitted. Canvas or canvas type awnings are permitted. Previously unpainted masonry shall not be painted.

Partly complies. While the proposed details are strongly contemporary in character, they reference materials and some details present in the district's historic buildings, such as the open front porch at the main entry, a raised front parapet, and projecting cornices.

E. Roof Shapes:

When there is a strong or dominant roof shape in a block, proposed new construction or alterations shall be compatible with existing buildings.

Complies. The flat roof of the existing building will be retained.

F. Roof Materials:

Roof materials should be of slate, tile, copper, or asphalt shingles where the roof is visible from the street (brightly colored asphalt shingles are not acceptable). Design of skylights or solar panels, satellite receiving units, where prominently visible from the street should be compatible with existing building design.

Complies. The flat roof will be edged by a metal capped parapet.

G. Walls, Fences, and Enclosures:

Yard dividers, walls, enclosures, or fences in front of building line are not permitted. Fences or walls on or behind the building line, when prominently visible from the street, should be of wood, stone, brick, brick-faced concrete, ornamental iron or dark painted chain link. All side fences shall be limited to six feet in height.

Partly complies. While the project will extend an 8-foot tall wall that was approved by the Board for 4066 Russell, the applicants now propose to have the eastern portion of the wall constructed of wood, which is in compliance with this Standard.

H. Landscaping:

The installation of street trees is encouraged. In front of new buildings, street trees may be required. Front lawn hedges shall not exceed four feet in height along public sidewalks. If there is a predominance of particular types or qualities of landscaping materials, any new plantings should be compatible considering mass and continuity.

Appears to comply. No formal landscape plan has been submitted.

I. Paving and Ground Cover Material:

Where there is a predominant use of a particular ground cover (such as grass) or paving material, any new or added material should be compatible with the streetscape. Loose rock and asphalt are not acceptable for public walkways (sidewalks) nor for ground cover bordering public walkways (sidewalks).

Complies.

J. Street Furniture and Utilities:

Street furniture for new or existing residential structures should be compatible with the character of the neighborhood. Where possible, all new utility lines shall be underground.

Unable to determine at this time.

K. Off-street parking should be provided for new or renovated properties when feasible at an amount of one parking space per unit. Parking to be provided in rear of property when possible. If parking is visible from street, it must be screened with appropriate material as described in section 2G.

Complies. Parking for the commercial building will utilize the existing parking lot at 4066 Russell, which will be considerably smaller in size. Approximately one-quarter to one-third of the current paved area will be green space.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office’s consideration of the criteria for new residential construction in the Shaw Neighborhood Historic District led to these preliminary findings:

- The proposed site for construction, 4056 Russell Boulevard, is located in the Shaw Local Historic District but is a non-contributing resource to that district.
- Proposed rehabilitations to 4056 Russell are similar in style, materials and feeling to the design approved by the Preservation Board for the conversion and rehabilitation of the adjacent service station at 4066 Russell.
- The commercial property, a one-story concrete block structure, is of different mass, scale and materials to the surrounding historic buildings and therefore creates conditions that limit the property's ability to be compatible with nearby properties.
- The proposed exterior materials are generally in compliance with the Shaw Historic District Standards.
- The proposed redesign of the building, while thoroughly contemporary, does to some extent reference historic materials and elements found within the historic district and the Standards do not prohibit contemporary design that is deemed compatible with historic buildings.

Based on the Preliminary Findings, the Cultural Resources Office recommends that the Preservation Board approve the proposed redesign project on a preliminary basis, with the stipulation that final exterior materials and finishes are approved by the Cultural Resources Office staff.



EXISTING FRONT (NORTH) ELEVATION



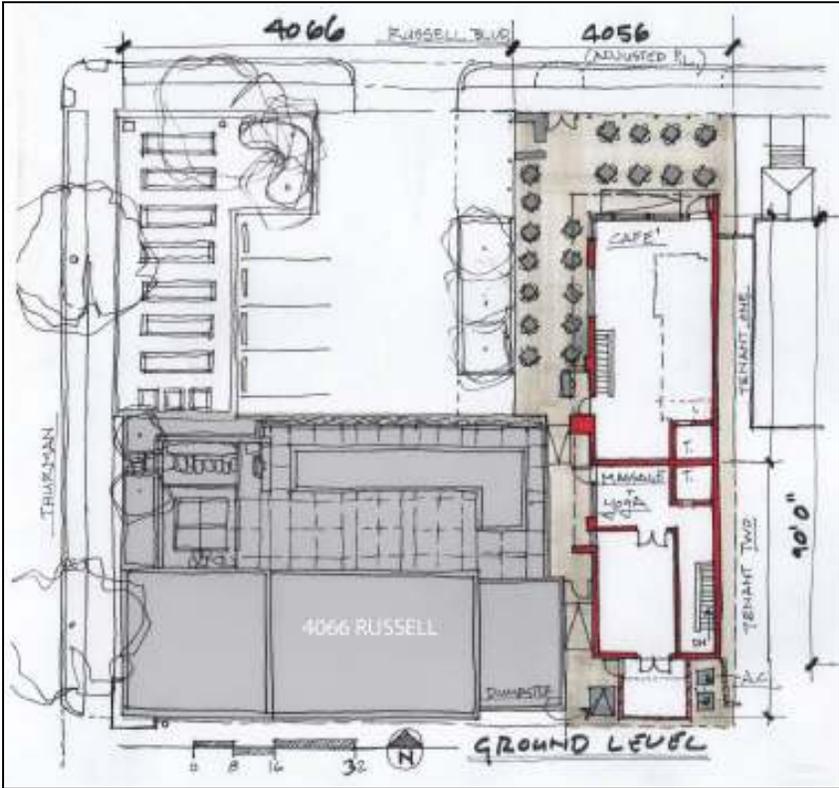
PROPOSED REHABILITATION



EXISTING WEST (THURMAN) ELEVATION



PROPOSED WEST ELEVATION



PROPOSED SITE PLAN WITH 4066 RUSSELL (SHADED)



C.

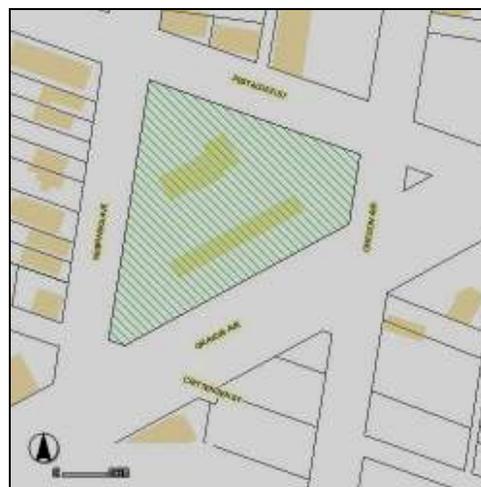
DATE: October 27, 2014
ADDRESS: 2851 Gravois Avenue
ITEM: Preliminary Review to construct a gas station and convenience store building and pump canopy
JURISDICTION: Fox Park Certified Local Historic District — Ward 6
STAFF: Bob Bettis, Cultural Resources Office



2851 GRAVOIS

OWNER, REPRESENTATIVE
QuikTrip/Gwen Keen

RECOMMENDATION:
That the Preservation Board grant preliminary approval for the proposed new construction with the stipulation that final plans and design details will be approved by the Cultural Resources Office for compliance with the district standards.



THE CURRENT WORK:

The applicant proposes to construct a single-story commercial gas station and pump canopy at 2851 Gravois in the Fox Park Historic District. The proposed building will replace an existing gas and convenience store.

RELEVANT LEGISLATION:

Excerpt from Ordinance #66098, the Fox Park Historic District:

207.7 Signs

Commercial signs at structures serving a commercial purpose at the time of adoption of these Standards shall not exceed 40 square feet on each public facade or 10 percent of the area of each public facade, whichever is smaller. Each side of a protruding sign counts toward the 40 square feet so they may not be more than 20 square feet or 5 percent of the surface area whichever is smaller.

Signs must be compatible with existing architectural details.

Signs shall be restricted to those identifying the names and/or businesses and principal products of the person or entity occupying the structure.

Signs may not be placed in the following locations:

- On a mansard;

- On a parapet;

- On a rooftop;

- On the slope of an awning;

- In a location which obscures significant architectural details such as cornices, windows, sills, or doors;

- On a pole; or

- On any site separate from the building.

Signs may only be lit by fixed steady front lighting. Back lighting is prohibited.

Signs must be fixed and silent.

Signs painted on windows and interior signs, including those inside windows, are not regulated by these Standards.

Partially complies. Although the sign on the building meets the required size requirements, the sign will be backlit and therefore noncompliant. The proposed monument sign will have the same design but be slightly taller. It replaces the existing sign in the same location.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

Does not comply. The proposed building is the latest prototype QuikTrip design and is not based on a Model Example.

301.1 Site

A site plan shall describe the following:

Alignment

New buildings shall have their Public Facade parallel to the Public Facade of the adjacent buildings.

If a new building is to be located between two existing buildings with different alignments to the street or in the event that there are no adjacent buildings, the building alignment shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the alignment shall be that which is most dominant within the adjacent blocks or across the street.

Does not comply due to the nature of a gas station facility. The proposed building's Public Façade will not be parallel to Gravois as most of the buildings along the north side of Gravois are. The proposed building is positioned several feet from the street and faces the gas pumps and canopy that are adjacent to Gravois. While the existing QuikTrip building faces Gravois, that relationship to the street is diluted by the presence of the pump canopy closer to Gravois.

Setback

New buildings shall have the same setback as adjacent buildings.

If a new building is to be located between two existing buildings with different setbacks to the street, or in the event that there are no adjacent buildings, then the building setback shall be the same as that which is more dominant within that block on the same side of the street.

If a new building is to be located on a block which is completely empty, then the setback which is most dominant within adjacent blocks or across the street shall be used.

Setback may be based on a Model Example.

Does not comply. The proposed facility will occupy the entirety of a small, irregular block. The position of the building will not match the setbacks of existing historic buildings along the northwest side of Gravois. The side of the building faces Gravois and is several feet from of the sidewalk. However, the immediate context includes a parking lot to the northeast. The QuikTrip is somewhat removed from the historic buildings at the edge of Gravois to the southwest by the angled intersection of Nebraska. For these reasons, the

positioning of the building and pump canopy on the property are not as disruptive as they would be in another setting.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Does not comply. The proposed buildings mass does not match the predominantly two-story height, width or depth of historic buildings on adjacent blocks.

301.3 Scale

Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e. g., the size of a door relative to a window).

A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.

If a new building is to be located between two existing buildings with different scales, or in the event that there are no adjacent buildings, then the building scale shall be that which is more dominant within that block on the same side of the street.

If the new building is on a block which is completely empty, then the building scale shall be similar to that of buildings in adjacent blocks.

Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building; to the crown molding on a building with a mansard; to the roof ridge on a building with a sloping roof.

When several buildings, or a long building containing several units, are constructed on a sloping street, the building(s) shall step down the slope in order to maintain the prescribed height. The step shall occur at a natural break between units or firewalls.

Partly complies. There are a series of one-story buildings standing on the block to the southwest of the proposed new construction. However, the majority of the extant historic buildings along Gravois and within the historic district are two- and three-stories in height.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings. If there are no buildings on the block then the proportions shall be comparable to those of adjacent blocks.

Does not comply. The proportions of the proposed new construction are different from all the existing historic buildings along this stretch of Gravois.

301.5 Ratio of Solid to Void

The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.

The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.

The height of a window in the Public Facade shall be between twice and three times the width.

The ratio of solid to void may be based on a Model Example.

Complies. The ratio of solid to void is acceptable.

301.6 Facade Material and Material Color

Finish materials shall be one of the following:

For walls:

Kiln-fired brick (2-1/3" by 8" by 3-5/8")

Comment: Brick within the Fox Park Historic District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove. Most brick within the Fox Park Historic District is red or orange with only minor variations in coloration.

Stone common to the Fox Park Historic District.

Scored stucco and sandstone.

4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

For foundations:

Stone, new or reused, which matches that used in the Fox Park Historic District;

Cast-in-place concrete with a stone veneer; or

Cast-in-place concrete, painted.

Finished facade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

Glazing shall be clear, uncolored glass or based on a Model Example.

Partly Complies. The majority of the building will be clad in brick. The columns will have a synthetic black "tile" that does not conform to the Standards. In addition, there will be extensive use of brushed metal as an accent material that also does not comply with the Standards.

302 Private Facade of New Construction

Materials at private Facades of new construction shall be one of those listed in 301.6(1)(1) except that wood or vinyl siding need not be based on a Model Example.

Complies.

402.1 Retaining Walls on Public Facades

New and reconstructed retaining walls shall be based on a Model Example.

Comment: New and reconstructed retaining walls shall replicate the appearance of an historic wall. Thus stone or brick may be applied as a veneer to a concrete wall as long as the outward appearance meets the visual qualities of the Model Example.

The following types of retaining walls are prohibited on Public Facades:

- A. Railroad ties;
- B. Landscape timbers;
- C. Concrete block of any type;
- D. Exposed cast-in-place or precast concrete;

Does not comply: The owner is working with Cultural Resources Office staff to redesign the retaining wall to be of cast stone, have a vertical plane, and a cap so that the wall is closer to meeting the intent of the standard.

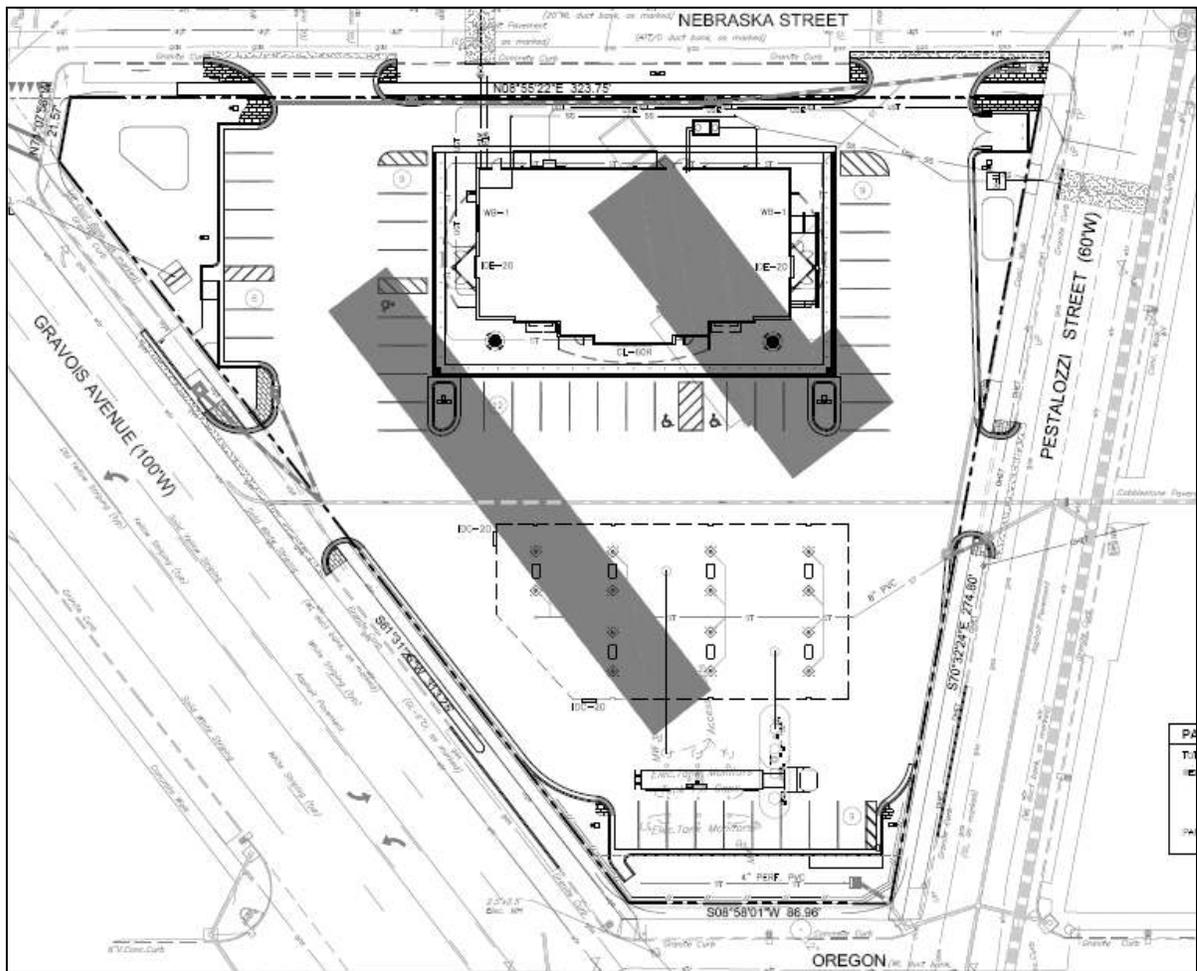
PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new construction in the Fox Park Historic District led to these preliminary findings:

- 2851 Gravois is located in the Fox Park Neighborhood Local Historic District; it is at the southern tip of the district.
- The proposal is to replace the existing facility with the latest prototype QuikTrip design.
- The new construction standards, and the requirement for a Model Example for proposed new construction, do not appear to have been adopted with the construction of a QuikTrip in mind. There is considerable rationale for the replacement QuikTrip facility, located on a primarily commercial street, to have the appearance of a standard QuikTrip.
- The facts that the facility is a replacement one and occupies the entirety of a small, irregularly-shaped block at the edge of the historic district were considered in the review of the design. In this case, placement of the building and pump canopy on the property, use of materials, and extent of landscaping and signage has been of concern even if the final proposal does not meet all standards for new construction.
- The design, mass, scale, proportions, ratio of solid-to-void, and façade materials are that of a modern gas station and convenience market facility and partially comply with the Fox Park Historic District standards.
- The building is proposed to be set at the western edge of the lot where the relationship of the building wall to the sidewalk will be urban in character. Given the use and location within the district the fact that it does not hold the building line with buildings on adjacent blocks is deemed appropriate.

- The monument sign is slightly taller than the original but will be the same design and in the same location as the existing.
- The retaining wall does not meet the requirement for a Model Example but will have the form of an historic wall.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the proposed new construction with the stipulation that final plans and design details will be approved by the Cultural Resources Office for compliance with the district standards.



PROPOSED SITE PLAN



EAST FACADE



WEST ELEVATION



PROPOSED RETAINING WALL



NORTH ELEVATION



SOUTH ELEVATION



D.

DATE: October 27, 2014
ADDRESSES: 634 S. Broadway
ITEM: Preliminary Review: Construction of an addition to the Field House
JURISDICTION: Eugene Field House, City Landmark # 4 — Ward 7
STAFF: Betsy Bradley, Cultural Resources Office

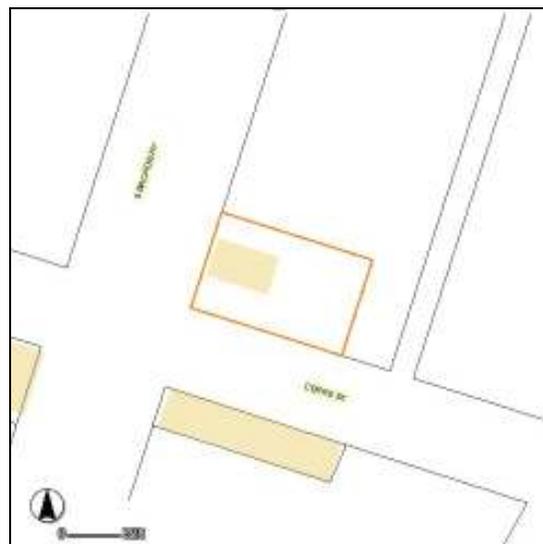


634 S BROADWAY

OWNER:
The Eugene Field House
Foundation

APPLICANT:
Dennis G. Tacchi

STAFF RECOMMENDATION:
That the Preservation Board grant preliminary approval to the project with the stipulation that final drawings and exterior material finishes are reviewed and approved by the Cultural Resources Office Staff.



THE PROPOSAL

The applicant proposes to construct a museum addition and connection to the Eugene Field House and St. Louis Toy Museum.

RELEVANT LEGISLATION:

Excerpt from Ordinance #64689, Enabling Legislation:

PART III, GENERAL PROVISIONS

Section Ten. Existing historic districts and landmarks.

- C. All Landmarks designated as such pursuant to Ordinance 57986 or any other previous ordinance of the City and existing within the City on the effective date of this ordinance shall from such effective date be deemed to be Landmarks under this ordinance and shall be subject to the controls and provisions of this ordinance....Until Landmark standards have been approved for a particular Landmark, all applications for permits pursuant to Sections Thirty-Nine through Fifty with respect to such Landmark shall be automatically referred to the Cultural Resources Director for review by the Preservation Board or the Cultural Resources Director (as provided by the rules of the Preservation Board); in reviewing the application, the Preservation Board or the Cultural Resources Director shall consider whether the proposed work would adversely affect the characteristics of the Landmark which were the basis for its designation as a Landmark, whether there have been changes in the circumstances or conditions in or affecting the Landmark since its designation, and other relevant considerations, such as the availability of economically feasible alternatives to the proposed work.**

The Landmarks and Urban Design Commission of the City of St. Louis (a predecessor of the current Preservation Board) designated the Eugene Field House as a City Landmark in 1971. Documents in the Landmark file recognized the property as a Greek Revival rowhouse, once part of Walsh's Row, and notes that Roswell Field was a lawyer in the Dred Scott Case. The property is a National Historic Landmark due to the importance of Roswell Field.

The landmark property is identified by address, 634 S. Broadway. This parcel contains the site that is enclosed by a brick wall and therefore is the area that the City has jurisdiction over as a City Landmark. Consequently, the City will be assessing primarily how the proposed connecting bridge, which would be mostly located on the Landmark site, would affect the Field House.

The 2007 National Historic Landmark nomination form includes the most complete assessment of the property's physical character and integrity, noting that the building " ... [can] convey its sense as an 1850s urban dwelling of a person of means."

Both the City's Landmark Designation and the National Historic Landmark Designation highlight the residential qualities of the rowhouse. This, then, is the "characteristic of the Landmark" that must not be compromised as the Museum plans to complete an addition.

Another consideration is the fact that the rowhouse stands alone in a setting that provides

very little historic context, an immediate setting that has not changed since the 1930s. By that time, the rest of the rowhouses in “Walsh’s Row” had been demolished. When an historic setting is compromised, the extent to which a context provided by new construction enhances the property or detracts from its presence is a key factor.

Underlying premises that have guided the Cultural Resources Office’s comments on the project to date include:

1. The long-term sustainability of the Field House museum operation is desirable as a means of maintaining the Field House as a historic property, both physically and as one that can be visited and appreciated, and therefore valued.
2. An addition and the provision for accessibility of the main level of the Field House is aligned with accessibility goals in general and can be completed without diminishing the historic integrity of the Field House.
3. Due to the small size of the Field House, an addition that is smaller in scale than the historic resource is not a feasible project; therefore other criteria must be used to assess the appropriateness of an addition to the property.
4. The historic context of the Field House is so non-existent that the addition will establish a new context for the house that can be appropriate and not overwhelming.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office’s consideration of the proposed addition and connecting bridge to the Eugene Field House led to these preliminary findings:

- The Eugene Field House at 634 S. Broadway is City Landmark #4.
- The designation of the City landmark and subsequent National Historic Landmark nomination emphasize the importance of the property’s ability to convey what the Field family rowhouse was like even though the rest of Walsh’s Row is no longer intact.
- The proposed addition would increase the functionality and accessibility of the Field House as a museum and thereby supports the long-term preservation and use of the property in that capacity.
- Only the bridge connecting the addition to the Field House is located on the Landmark Site. Cultural Resources Office staff members have participated as stakeholders in the review of the design and the conversations about the effect of the entire addition on the context of the Field House.
- The addition north of the Field House recalls the long group of rowhouses of Walsh’s Row in that the modules of the S. Broadway façade echo the width and depth of the Field House. The brick walls of the one-story addition have windows and a series of stone lintels and sills that refer to the openings in the main floor of the Field House.

- The connecting bridge is raised above the grade of the yard to meet the main floor level and is set back from the street façade. The glazed passageway is minimal in presence and an appropriate means to connect the addition to the rowhouse while leaving the volume and form of the rowhouse unaltered.
- The need to convert one window created in the north wall during the 1930s to a door for access from the bridge is a minimal change in an already altered portion of the Landmark. The impact on a portion of the brick wall is also acceptable in the effort to afford accessibility to the main floor of the Field House.
- The design of the museum addition relates to and complements the Eugene Field House and establishes an appropriate physical context for the Landmark.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board approve the proposed project on a preliminary basis, with the stipulation that final exterior materials and finishes are approved by the Cultural Resources Office staff.



S BROADWAY ELEVATION SHOWING PROPOSED ADDITION



WALL AFFECTED BY BRIDGE



WINDOW TO BE CONVERTED TO DOOR



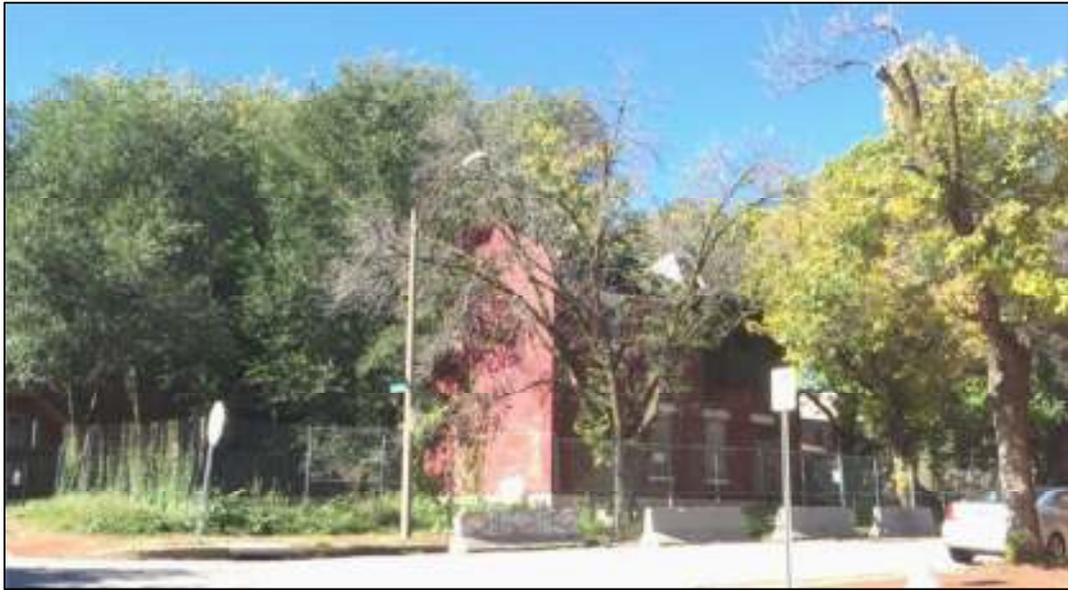
FLOOR PLAN SHOWING FIELD HOUSE, BRIDGE AND ADDITION



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

E.

DATE: October 27, 2014
FROM: Jan Cameron, Preservation Administrator
SUBJECT: Preliminary Review: to rehabilitate an existing four-family building and construct additions to each side elevation
ADDRESS: 1923-25 S. 10th Street
JURISDICTION: Soulard Historic District – Ward 7



1923-25 S. 10TH STREET

Applicant:
Maureen McMillan, Historic Consultant

Architect:
Chris Gainey

Owner:
Renovations Unlimited

Recommendation:
That the Preservation Board grant preliminary approval with the stipulation that additions are sited at the building line and final construction documents and exterior materials are reviewed and approved by the Cultural Resources Office staff.



THE PROPOSAL:

The applicant proposes to rehabilitate 1923-25 S. 10th Street, a severely deteriorated four-family building on a large parcel at the corner of 10th Street and Allen Avenue. The applicant plans to convert the building to two attached townhouses, and in order to provide sufficient living space, proposes to construct a 2-story addition to each side elevation.

RELEVANT LEGISLATION:

Per the Soulard Historic District Ordinance:

ARTICLE 1: DEFINITIONS

101 Definitions

101.14 Model Example

A building or element(s) of a single building type or style constructed prior to 1929 and:

Existing or once existing within:

The Soulard Historic District; or

The City of St. Louis...and

Offered to prove that:...

A design proposed for constructing a new building will result in a building compatible with its architectural environment; and

Of a comparable form, architectural style and use as:...

The building to be constructed.

The applicant has not submitted specific Model Examples for the additions, which are intended to appear as historic row houses, similar to those that once occupied the property. However, the design of each addition follows common mid-to-late-19th-century buildings in the district.

101.17 Public, Semi-Public, and Private Facades...

1925 S. 10th has a single Public Facade facing 10th Street; its north and south elevations are Semi-Public facades; its rear elevation is a Private Façade.

ARTICLE 2: EXISTING BUILDINGS

The rehabilitation of the existing building at 1923-25 S. 10th Street conforms to all requirements of this Article, with the exception of Section 209, as discussed below.

209 New Additions to Existing Buildings

No new additions shall be made to the Public or Semi-Public Facade(s) except that additions may be made to Semi-Public Facades occurring at the rear of buildings that predate 1929.

Does not comply. The project proposes additions to both the north and south facades, which are Semi-Public Facades. The Cultural Resources Office staff is in support of allowing these additions because of special conditions as follows:

- 1. 1923-25 S. 10th Street is one of the oldest extant buildings in the historic district; its structural condition has deterred many developers and the building has been threatened with demolition for years;**

2. **Because of the condition of the building, rehabilitation as a single-family is not economically viable due to an unusually high cost per square foot;**
3. **The existing building is narrow and does not provide sufficient square footage to accommodate two marketable units;**
4. **The additions are designed to appear as distinct houses to either side of 1923-25, which historically was flanked by other residential buildings. The additions will therefore help to return a portion of the original block face.**

New additions constructed at Private Facades or at Semi-Public Facades at the rear of structures predating 1929 are subject to **[Article 3] New Construction Standards** for like facades.

Comment: New additions constructed at Private Facades may lengthen an adjacent Public or Semi-Public Facade.

The following comments address the two proposed additions.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

301.1 Site

A site plan shall describe the following:

Alignment

New buildings shall have their Public Facades parallel to the Public Façade of the adjacent buildings...

Complies.

Setback

New buildings shall have the same setback as adjacent buildings...

Complies. The additions will conform to the building line at the street.

301.2 Mass

Mass is the visual displacement of space based on a building's height, width and depth. The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, an on the same side of the street.

Complies.

301.3 Scale

Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements...

Complies.

301.4 Proportion

Proportion is the system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings...

Complies. The proposal adheres to the typical proportions of historic examples.

301.5 Ratio of Solid to Void

The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.

The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.

Complies. The percentage of openings on the primary elevations comply with this requirement.

The height of a window in the Public Facade shall be between twice and three times the width...

Complies. Window proportions are approximately 2-1/2 to 6, and replicate that of the windows on historic houses.

301.6 Facade Material and Material Color

Finish materials shall be one of the following:

For walls:

- Kiln-fired brick (2-1/3" by 8" by 3-5/8")...
- Stone common to the Soulard Historic District.
- Scored stucco and sandstone.
- 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

Complies. All façades of the two additions will be brick; the primary facades will have corbelled brick cornices.

For foundations:

- Stone, new or used, which matches that used in the Soulard Historic District;
- Cast-in-place concrete with a stone veneer; or
- Cast-in-place concrete, painted.
- 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

Complies. The foundations of the additions will be limestone or cast limestone veneer.

Finished façade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

Complies.

Glazing shall be clear, uncolored glass or based on a Model Example.

Complies.

303 Garages and Carports in New Construction

Garages and carports are not regulated except as follows:

Vehicular access shall only be from the alley.

Garage doors shall be parallel to, and face, the alley.

Construction requirements per form:

Garages shall be sided with

- 4" cover siding of wood, vinyl or finished aluminum, 4" beaded tongue and groove siding, brick or brick veneer. Unfinished siding is prohibited.
- Based on a Model Example.

Complies. The proposed detached garage ports adhere to these requirements.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Souldard Historic District standards and the specific criteria concerning rehabilitation and additions to existing buildings led to these preliminary findings:

- 1923-25 S. 10th Street is located in the Souldard Local and National Register Historic District.
- While the rehabilitation of the project complies with the Standards, the two planned additions to Semi-Public Facades do not, but can be supported in this instance.
- The structural condition of the building is such that without the additions allowing it to be marketed as a 2-family, rehabilitation would not be viable.
- The additions comply with the requirements for New Construction, and sited at the building line, will partly restore the block's massing lost through demolition.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the project, with the stipulation that both additions align with the existing building line on S. 10th Street; and with the condition that final construction documents and exterior materials will be reviewed and approved by the Cultural Resources Office.



1923-25 S 10th STREET



1923-25 S 10th STREET (CENTER) AND ADJACENT HISTORIC STRUCTURES IN 1974



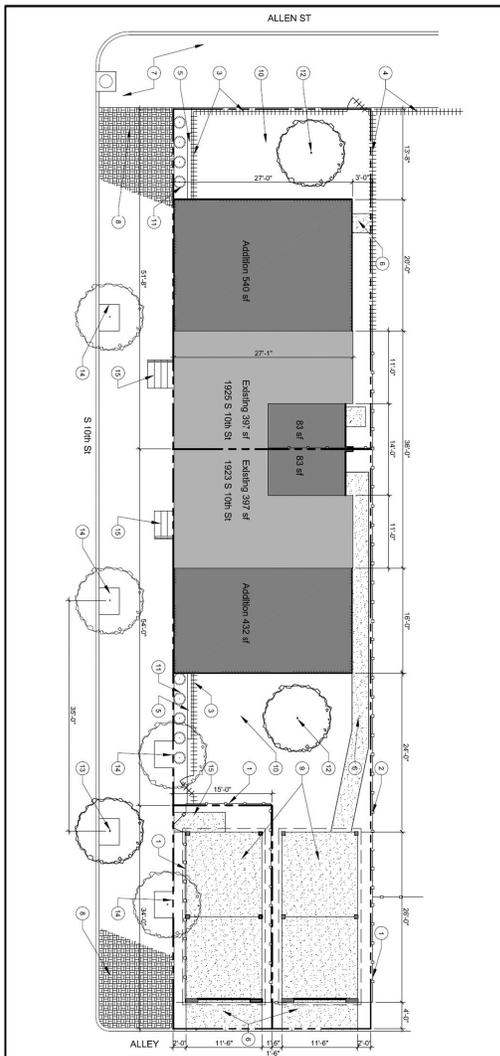
SOUTH ELEVATION



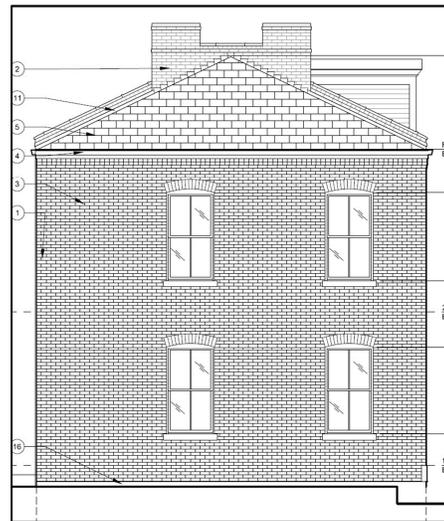
NORTH ELEVATION



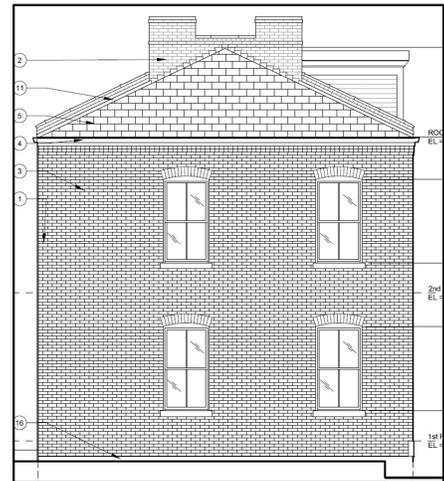
PROPOSED FRONT ELEVATION



SITE PLAN



NORTH ELEVATION



SOUTH ELEVATION



REAR ELEVATION



F.

DATE: October 27, 2014
ADDRESSES: 2225 Chippewa Street
ITEM: Demolition of a residential building: deferred consideration
JURISDICTION: The Marine Villa Neighborhood National Register Historic District,
Preservation Review District — Ward 20
STAFF: Betsy Bradley, Cultural Resources Office



2225 CHIPPEWA

OWNER AND APPELLANT:

Y. Abigail Willis

RECOMMENDATION:

That the Preservation Board uphold the Director's Denial of the demolition application for 2225 Chippewa Street and recommend that appropriate steps be taken to stabilize and preserve the building.



THE PROPOSAL:

The owner of 2225 Chippewa Street, located in the Marine Villa Neighborhood National Register Historic District wishes to demolish a 1-1/2 story brick residential building, constructed c. 1875, after a fire that occurred in the first months of 2014.

JULY 28, 2014 BOARD ACTION:

The Preservation Board found that:

2225 Chippewa is a contributing resource to the Marine Villa Neighborhood National Register Historic District and is located in a Preservation Review District; it is a Merit building under the definition of Ordinance #64689;

Ordinance #64689 states that the demolition of Merit or Qualifying Structures shall not be approved except in unusual circumstances;

The lower story and brick walls of the second story portion of 2225 Chippewa appear to be in sound condition.

The economic feasibility and hardship associated with this property must consider several factors, including costs, the likelihood of financing, and the availability of state and/or federal historic tax credits;

The location of the building between two other historic, but vacant, buildings highlights its importance in the historic streetscape and district, but adds to the challenge of the economics of the recovery of the building; and that

The property owner requested on the record that the Board defer voting on this matter to allow the Applicant time to discuss the proposed demolition with the Marine Villa Neighborhood Association and to market the building for sale. The Board agreed to defer the matter for 3 months and allow the Applicant to supplement the record at that time with any additional information in support of her case that she wishes to introduce.

The Preservation Board voted to defer consideration of the appeal of the Director's denial of a demolition permit for a three-month period. During this continuance, the property owner is to assemble additional documentation, including insurance information; request that the Marine-Villa Neighborhood Association review and consider the demolition request; and offer the building for sale. The motion was made by Alderman Craig Schmid and seconded by Mr. Visintainer. The motion carried with none opposing.

RECOMMENDATION:

The Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the demolition application for 2225 Chippewa and recommend that appropriate steps be taken to stabilize and preserve the building.



FRONT & WEST ELEVATIONS



FRONT & EAST ELEVATION



DETAIL OF FRONT DORMER



DETAIL OF WEST UPPER STORY WINDOWS



REAR ELEVATION



WEST ELEVATION FROM ALLEY SHOWING ROOF DAMAGE



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

G.

DATE: October 27, 2014
ADDRESS: 2861 Missouri
ITEM: Appeal of Director's Denial to retain vinyl windows
JURISDICTION: Benton Park Local Historic District — Ward 9
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2861 MISSOURI

OWNER/APPLICANT:

STL Real Estate Properties LLC/Brett
Johnson

RECOMMENDATION:

That the Preservation Board uphold the
Director's denial, as the vinyl windows do
not comply with the Benton Park Historic
District Standards.



THE CURRENT WORK:

The applicant has applied for a building permit to retain vinyl windows that were installed without a permit. The applicant replaced thirteen windows on the side and front of the building with vinyl replacement windows. After receiving a citation, the applicant replaced the five front-facing vinyl windows with appropriate historic replacement windows without a permit. The current application has been denied as the applicant wishes to retain the eight vinyl windows on the south elevation, a Semi-Public façade.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

203.2 Windows at Semi-Public Facades

1. Windows at Semi-Public Facades shall comply with all of the restrictions outlined in 203.1 except as noted herein.

2. Replacement Windows in a Semi-Public Facade

1. Materials:

Replacement windows may be constructed of the following materials:

1. Wood;
 2. Vinyl-coated wood; or
 3. Finished (painted or otherwise coated with color) aluminum. Clear anodized aluminum is prohibited.

Does not comply. Replacement windows are vinyl, which is not an approved material.

2. Configuration

1. The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.
 2. The number of lights may be reduced to one-over-one.
 3. Square head replacement windows may replace original arched head windows where the apex of the arch is less than 6" above its base. However, the arch shall be maintained with a decorative element of wood, finished metal or plastic which appears as wood.

Does not comply. The profiles of the windows do not match historic window profiles.

3. Brick Molding

In all cases, the original brick molding shall be retained or duplicated.

Complies. Existing brickmold was retained.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Benton Park District standards and the specific criteria for windows on a Semi-Public facade led to these preliminary findings.

- 2861 Missouri is located in the Benton Park Local Historic District.
- The windows are considered to be on a Semi-Public façade, as the building stands seventeen (17) feet away from the building to the south. Under the standards, a façade is considered a Semi-Public façade if it is 15 or more feet from the neighboring structure.
- The distance in the definition relates to the visibility of elements on the Semi-Public façade. As the house is positioned quite near the public sidewalk, the Semi-Public façade and its materials and design details are readily discernible.
- An application to retain vinyl windows on a Semi-Public façade could not be approved because the vinyl windows are not an acceptable material.
- Moreover, the vinyl windows do not meet the historic district standards as their profiles do not replicate those of an historic window in the following manner:
 - The jambs of the installed vinyl window are wider than in an historic window;
 - The lift rail is considerably lower;
 - The meeting rail is too narrow;
 - The total glass size is reduced;
 - The window has a flattened appearance.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Benton Park Local Historic District standards.

VINYL WINDOWS ON THE SEMI-PUBLIC FACADE





CLOSE-UP OF VINYL WINDOW

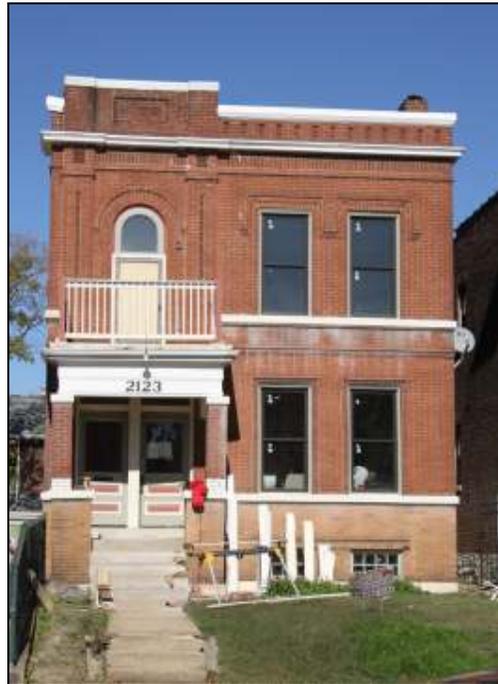


DETAIL OF JAMBS AND LIFT RAIL



H.

DATE: October 27, 2014
ADDRESS: 2123 Ann Avenue
ITEM: Appeal of Director's Denial to retain non-conforming windows
JURISDICTION: McKinley Heights Local Historic District — Ward 7
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2123 ANN AVENUE

OWNER/APPLICANT:
Timothy W. Miles

RECOMMENDATION:
That the Preservation Board uphold the Director's Denial, as the metal windows do not comply with the McKinley Heights Historic District Standards.



THE CURRENT WORK:

The applicant has a building permit application to retain metal windows that were installed without a permit. The applicant replaced ten windows on the side and front of the building with non-compliant metal replacement windows. The application was denied and the applicant subsequently applied for and received a permit to replace the four front windows with approved wood historic replacement windows. The applicant has appealed the remaining six windows on the alley side of the building which is considered a Semi-Public Façade.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, McKinley Heights Historic District:

203.2 Windows on Semi-Public Facades:

Windows at Semi-Public Facades shall comply with all of the restrictions outlined in Section 203.1 except:

1) Replacement Windows in a Semi-Public Facade

a. Replacement windows may be constructed of the following materials.

i. Wood;

ii. Vinyl-coated wood; or

iii. Finished (painted or otherwise coated with color) aluminum;

b. Clear anodized aluminum is prohibited.

Complies. Windows are color-finished aluminum.

2) Configuration

a. The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.

b. The number of lights may be reduced to one over one.

c. Square head replacement windows may replace original arched-bead windows where the apex of the arch is less than 6" above its base.

However, the arch shall be maintained with a decorative element of wood, finished metal, or plastic which appears as wood.

Does not comply. The profiles of the frames and sashes do not match the original elements in dimension and configuration.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the McKinley Heights standards and the specific criteria for windows on a Semi-Public facade led to these preliminary findings.

- 2123 Ann is located in the McKinley Heights Local Historic District.
- The windows are considered to be on a Semi-Public façade, as the building is adjacent to an alley and is 15 or more feet from the neighboring structure. The Semi-Public façade is visible for some distance due to the presence of the grass field across the alley.

- An application to retain aluminum windows on a Semi-Public façade could not be approved as the aluminum windows do not meet the historic district standards. The window profiles do not replicate an historic window profile in the following manner:
 - The jambs of the installed aluminum window are wider than in an historic window;
 - The lift rail is considerably lower;
 - There is a visible flange beneath the meeting rail;
 - The total glass size is reduced;
 - The window has a flattened appearance due to the lack of a “putty” line.
- The brickmold was previously wrapped with aluminum coil stock and storm window frames remained on the side windows. The applicant has removed these elements.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as it does not comply with the McKinley Heights Local Historic District standards.



SIDE ELEVATION ALONG ALLEY



NON-CONFORMING ALUMINUM WINDOW



CLOSE-UP OF WINDOW



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

I.

DATE: October 27, 2014
ADDRESS: 1917 Rutger Street
ITEM: Appeal of Director's Denial of External Alterations
JURISDICTION: Lafayette Square Local Historic District — Ward 6
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



1917 RUTGER STREET

OWNER/APPLICANT:
JLSK Properties LLC/Leonard Adewunmi

RECOMMENDATION:
That the Preservation Board uphold the Director's denial, as the alterations do not comply with the Lafayette Square Historic District Standards.



THE CURRENT WORK:

The applicant has a building permit application for interior and exterior alterations to convert a warehouse to residential and commercial use. The application includes changes to the existing openings, infill of windows, and changes to the parking lot that did not meet the Lafayette Square Historic District standards. The application was denied, and the owner has appealed.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69112, the Lafayette Square Historic District:

202 WINDOWS

Comment: Windows of historic buildings are a very important part of a building's historic character. They are integral to a building's exterior and interior design, and are a critical element of the building's weather protection system. The character of a window is determined by its size, operation, sash material, configuration of muntins, and frame and frame moldings. The material – as in a paintable one like wood – also establishes the character.

203.2 Windows at Secondary and Rear Façades

A] Infilling Windows (See figure 16)

- 1) Windows that are to be abandoned on the interior shall be in-filled as follows:
 - (a) The window opening shall be closed with wooden shutters set within brick mold framing the opening, approximately 1 inches to 2 inches back from the face of the wall with the masonry opening left intact including the brick mold, sill and lintel;
 - (b) The window opening shall be bricked-in with brick set 2 inches to 3 inches back from the face of the wall with the masonry opening left intact including the sill and lintel. The infill brick should match the surrounding brick in size, color, texture, coursing and mortar composition, color, texture and tooling.
 - (c) The window may remain with the addition of an interior window treatment to obscure the fact that it has been abandoned on the interior. The window shall remain operable to provide access to interior window treatment for repair or replacement.

Does not comply. Windows to be closed will be covered by corrugated metal, which is not an appropriate window closure method under the standards.

D] New Window Openings:

- 1) New openings where no window existed before or existing windows to be made shorter or longer, shall meet the following:
 - (a) The existing window opening shall not be widened or narrowed.

- (b) The width of new openings shall be the same as another original window opening existing on the same elevation of the building.
- (c) Masonry jambs shall be toothed-in, not saw-cut.
- (d) New lintels shall align with adjacent lintels.
- (e) Sills and lintels shall match the appearance and configuration of the original materials of the adjacent sills and/or lintels.

204 DOORS

Comment: Doors, like windows, are an integral part of a building's Primary Public Facade. Primary entrance doors are one of the strongest first impressions of a building.

Comment: Door types found in the district are limited to a few different types. Doors of earlier Federal style buildings are simple in construction and without ornament save for four or six panels. Victorian doors are much more ornate, often with elaborate carvings, recessed panels or other architectural detailing and typically have a glazed area in the upper half to three quarters of the door. Glass in a Victorian door is typically etched, beveled or leaded. Stormer doors often accompany Victorian doors and are of similar design though usually without any glazed area.

204.1 Doors at Public Façades (See figure 14)

Comment: As used herein the term "doors" includes stormer doors.

- A] Doors shall be one of the following for the front entrance.
 - 1) The original wood door restored, or;
 - 2) A new wood door that replicates the original, or;
 - 3) A new wood door based on an HME of the same size as the historic one.
- B] The following types of doors are prohibited:
 - 1) Flush, hollow-core doors with or without applied moldings, and;
 - 2) Metal doors of any type, including aluminum storm doors, and
 - 3) Stormer doors that do not replicate an HME.
- C] Doors shall have one of the following finishes:
 - 1) Paint, or;
 - 2) Hardwood doors may have a natural finish.

Does not comply. The door opening proposed to be closed would be replaced by a storefront-type window system.

204.2 Vehicular Doors

Comment: There are a number of historic vehicular entrances within the district. Today, these entrances may still retain their original use or may have been converted to other uses.

- A] The structural opening of an original vehicular door shall remain intact.
 - 1) Vehicular door openings in private secondary façades may be in-filled with a simulated vehicular door or brick infill as specified in 203.2(C).

Not applicable.

B] Doors

1) Doors shall be of one of the following types:

(a) The original door or a duplicate of the original door, or;

(b) A door based on an HME, or;

(c) A door constructed of car siding (tongue & groove; 2-3/4 inches x 5/8 inches).

2) A man door may be incorporated into the overall design of the door.

3) Doors on historic garages and on public facades of the following types are prohibited:

(a) Overhead garage doors made of aluminum, fiberglass or steel.

Does not comply. Existing garage door openings are proposed to be converted to window openings, with infill below. Currently blocked down door openings facing the alley would be reopened and a storefront-type system installed in the openings.

402.1 Free Standing Walls

A] Free standing walls are prohibited in front of the building line, unless the wall is used in the installation of a ramp, as provided for in Section 401. Free standing walls, as provided for in Section 401, shall not obscure character-defining architectural features. Any free standing wall must be located at least 12 inches to the rear of the plane of the primary public façade.

Complies. The trash enclosure is located at the alley.

B] The materials of free-standing walls shall be brick or stone laid in a load-bearing pattern and be based on an HME.

Does not comply. The trash enclosure is constructed of concrete block.

403.2 Privacy Fences

A] Privacy fences must be placed at least 12 inches behind the plane of the Primary façade and be parallel to the street that façade faces.

Does not comply. The fence for the parking lot is less than 12 inches behind the building and is in front of the building line for the street.

B] Privacy fences are restricted to a height of 72 inches or less when measured above the ground. When placed atop a retaining wall, the height shall be measured from the top of the wall.

Partially complies. The fence is 72 inches in height, although the brick piers extend higher than 72 inches.

C] Privacy fences shall be one of the following types:

- 1) A reconstructed fence based on an HME.
- 2) A fence with a face plane created by lattice of one consistent design, either placed at a 45 or 90 degree angle. The lattice shall be completely within a frame constructed of stiles and rails.
- 3) A fence with the upper face plane created by lattice as described above and with the lower section of the wall constructed of boards placed vertically with no space or gaps between them. The structure of the fence shall be behind the public facade of the fence.
- 4) A fence constructed of stone or brick only or in combination with wrought or other iron.
- 5) 5) A fence constructed of boards placed vertically with no space or gaps between them. The structure of the fence shall be behind the public facade of the fence.
- 6) A fence constructed of stone or brick in combination with types 2, 3, and 5.
- 7) Metal fences as described in Section 403.1(D) are acceptable.

Complies. Fence consists of wrought iron fence between brick piers.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Lafayette Square Historic District standards and the specific criteria for windows, doors, walls and fences led to these preliminary findings.

- 1917 Rutger is located in the Lafayette Square Local Historic District.
- The method proposed for window infill on the Private Façade does not meet the requirements for the Lafayette Square Historic District.
- The infilled doors and windows on the alley are considered to be on a Secondary Public façade, as the building is adjacent to an alley and the alley façade is visible from public areas. Both the man and vehicular doors require an Historic Model Example as the basis for any replacement of the doors.
- The garage doors being replaced with windows on the Public Facades do not meet the requirements for Vehicular Doors.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Lafayette Square Local Historic District standards.



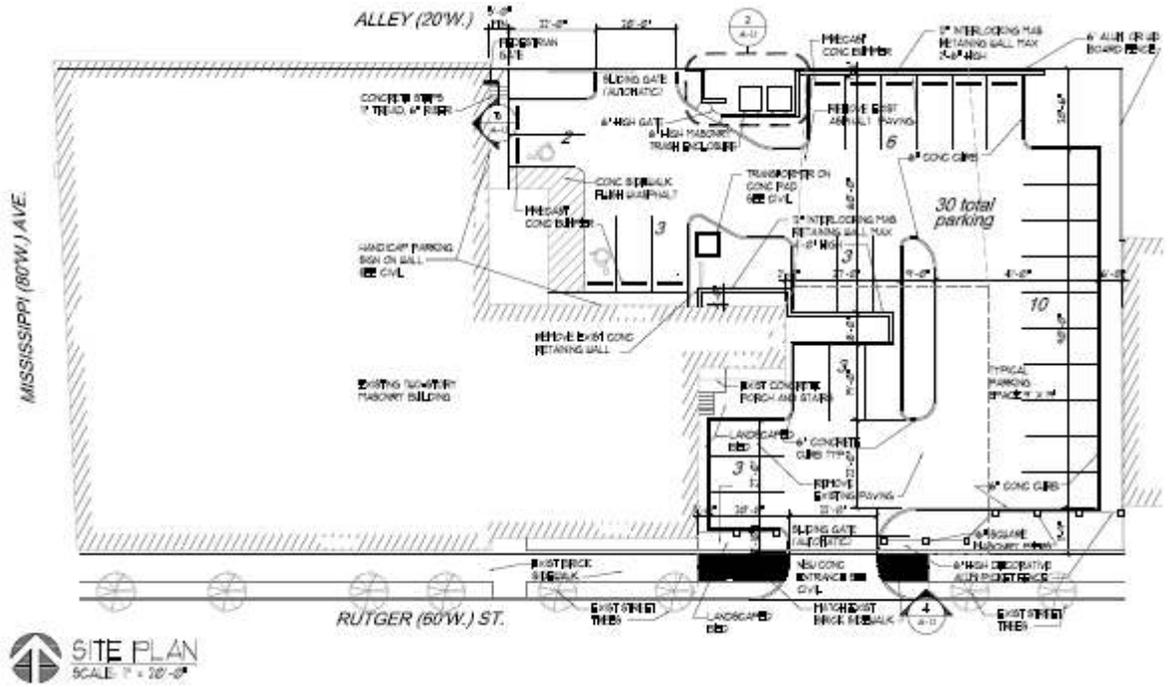
GARAGE DOOR ON ADDITION THAT FACES RUTGER



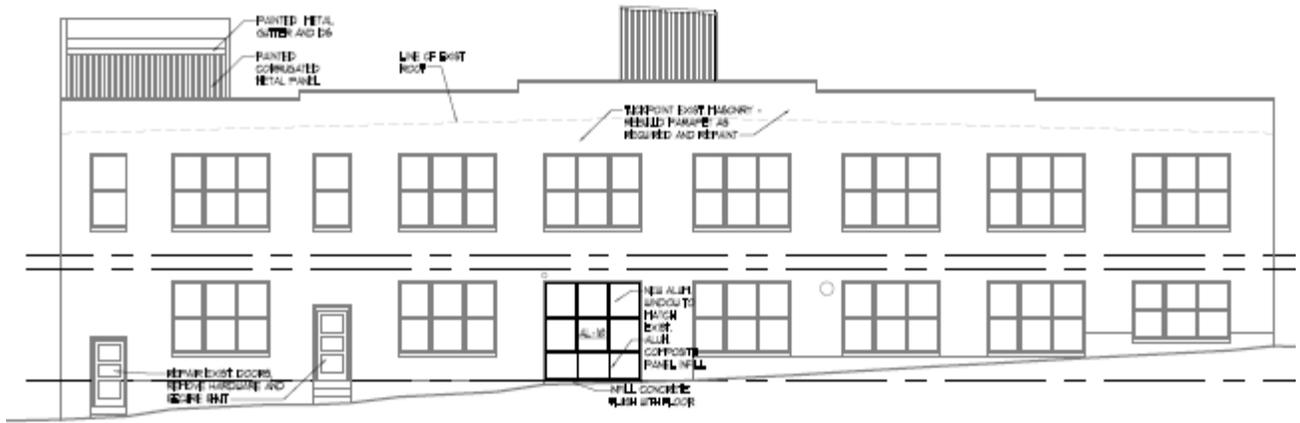
ALLEY FACADE



AREA OF PROPOSED CORRUGATED METAL WINDOW INFILL



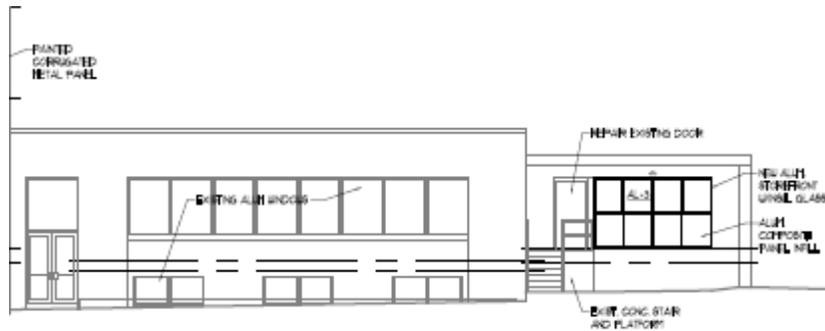
SITE PLAN SHOWING FENCING AND TRASH ENCLOSURE



PROPOSED MISSISSIPPI ELEVATION



ALLEY FAÇADE SHOWING PROPOSED INFILL REPLACEMENT & NEW WINDOW INFILL



PARTIAL RUTGER ELEVATION SHOWING PROPOSED REPLACEMENT OF EXISTING GARAGE DOOR