



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY –DECEMBER 14, 2015 — 4:00 P.M.
 1520 MARKET ST. #2000
 ST. LOUIS, MO. 63103
www.stlouis-mo.gov/cultural-resources**

Approval of the November 23, 2015 minutes - Approval of the current Agenda

REPORT: Overview of recent DeSales Community Housing Corporation projects that the Board has approved.

<u>PRELIMINARY REVIEWS</u>	<u>Jurisdiction:</u>	<u>Project:</u>	<u>Page:</u>
A. 2115-31 HICKORY STREET	Lafayette Square HD	Demolish industrial building	1
B. 2861 LEMP AVENUE	Benton Park HD.....	Construct two-family house.....	11
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		installed without permit	



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

A.

DATE: December 14, 2015
ADDRESSES: 2115-2131 Hickory Street
ITEM: Preliminary Review: demolition of an industrial building
JURISDICTION: Lafayette Square Local Historic District; Lafayette Square National Register Historic District, Preservation Review District — Ward 6



2115-2131 HICKORY STREET

OWNER/APPLICANT:
William A. Markel,
Jeffrey E. Smith Investments, Co. L.C.

RECOMMENDATION:
That the Preservation Board withhold approval of demolition of this Merit Building unless it finds it finds that the denial of demolition would constitute and economic hardship.



THE PROJECT:

The current owners applied for a demolition permit for this building, known as the Mar-Chem and Dash Building, in November 2012. After consultation with the Cultural Resources Office, the application was withdrawn. A second application was submitted in September 2015.

RELEVANT LEGISLATION:

The industrial building at 2115-2131 Hickory Street is located in the Lafayette Square Local Historic District. It is a contributing property in the Lafayette Square Historic District listed in the National Register.

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT. Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832

SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

- A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.
Not applicable.
- B. Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

2115-2131 Hickory is an industrial building constructed ca. 1919 and therefore is included in the construction date range for being a historic building in the Lafayette Square local historic district. It is identified as a contributing building in the Lafayette Square National Register district. Therefore it is a Merit Building per the definitions of the ordinance.

C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.

In terms of the ordinance, 2115 Hickory is Sound. Aerial photographs indicate that the roof is not in good repair and there is evidence of water moving through the brick walls.

2. Structurally attached or groups of buildings.

The one-story extension to the east is considered to be an addition.

D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The building is located in Lafayette Square, where nearly every building is occupied and property values are relatively high.

2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

The building consists of a ground story with a grid of closely-spaced columns supporting the floor above. The upper level is a tall, nearly double-height space with large windows filled with industrial steel sash. A steel truss system supports the roof and the three large clerestory roof lighting structures.

The building offers a large interior space with expanses of industrial sash filled windows and roof lighting.

The owner has studied the redevelopment of the building, both as office space and as condominiums. A factor that affects both scenarios for reuse is that the building occupies nearly the entirety of the parcel and therefore there is no space for on-site parking. The parking lot immediately north of the building is dedicated to the use of residents of the Lofts at Lafayette Square property.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

The owner has provided evidence for economic hardship with regards to both the sale and redevelopment of this property.

The owner has had the property on the market for some time and has presented information on three unexecuted contracts to sell the property since February 2006. During a two-year listing of the property from late 2009 to late 2011, the list price was half that of 2006.

The owner has developed pro forma estimated costs for two types of redevelopment of the property:

1. **Conversion of the building into 20 condominiums with a total development cost of \$6,979,681, with an average selling price per unit of \$182,000, would result in a project with a loss of just over \$3,343,000.**
2. **Conversion of the building into an office building with a total development cost of \$8,196,033 would result in a property with an estimated building value of \$4,656,427, which would result in a loss on development and sale of the building of \$3,632,700.**

The use of historic tax credits would likely not be feasible for a condominium project. For the more straightforward office conversion, the use of both federal and state historic tax credits could bring approximately \$3,000,000 into the project. Nevertheless, the return on investment would be minimal.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.
Not applicable.
2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.
3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

Due to topography, 2115-2131 Hickory is visible mainly from Hickory Street, as it faces a tall retaining wall on the south side of Hickory. Due to parking lots and grade changes, the building is visible from Chouteau. Its presence is compatible with the other shoe factory buildings immediate to the east and maintains the industrial character of most of this block of Hickory that changes only at the west end where four houses stand. The loss of this building would have a very noticeable impact on the integrity, rhythm, balance and density of the blockfront.

4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not applicable.

F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:

1. The applicant has demonstrated site control by ownership or an option contract;

The Jeffrey E. Smith Investment Co., LLC has owned this parcel since 2001.

2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;

The property owner proposes to construct an outdoor amenity area for the residents of the Lofts at Lafayette Square. The current access to the parking area just east of 2115 Hickory would be relocated to the west end of the parcel. A fenced area adjacent to the westernmost loft building would consist of lawns, a gazebo and barbeque area, and a dog park.

3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;

The project would not be a building that can be judged by factors listed above; it would have the appearance of a private park accessible to the residents of the adjacent property.

4. The proposed use complies with current zoning requirements;

The property is zoned "J," Industrial.

5. The proposed new construction would commence within twelve (12) months from the application date.

The construction schedule is to be determined.

G. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

The Jeffrey E. Smith Investment Co., LLC owns this parcel and is related in a two-part ownership structure to the Lofts at Lafayette Square, LLC which owns the four parcels that comprise the adjacent property known as the Lofts at Lafayette Square.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

Not applicable.

LAFAYETTE SQUARE HISTORIC DISTRICT REHABILITATION AND NEW CONSTRUCTION STANDARDS

ARTICLE 5 DEMOLITION

Comment: Buildings that are deemed significant by Lafayette Square residents and Merit and High Merit by the Cultural Resources Office of the City of St Louis, without regard to chronological age, are considered significant to the character and integrity of the neighborhood. Demolition is strongly discouraged and strictly limited. "Demolition by neglect" will not be tolerated.

500 APPLICATIONS FOR DEMOLITION PERMITS

Not Applicable.

501 VALID REASONS FOR DEMOLITION PERMITS

The primary valid reason for granting a demolition permit is for the removal of an addition or alteration that is not original to the structure, in order to restore the original appearance.

502 INVALID REASONS FOR DEMOLITION PERMITS

502.1 The following are not valid reasons for granting a demolition permit:

- A] Deterioration by neglect, lack of maintenance or failure to properly secure and weatherize the building.
- B] Structural damage or deterioration.

Comment: Owners shall maintain their properties to the minimum standards of the City of St. Louis Building Code.

While the building has not been maintained while it has stood vacant, the current condition of the building is one of many factors that influence the economic feasibility of rehabilitating it for a new use.

ARTICLE 6. VACANT BUILDINGS

600 Vacant buildings shall be protected from deterioration as follows:

- A] Windows and doors that are not weather-tight, at all floor levels, and at all façades, shall be covered by minimum ½-inch exterior grade plywood. The exterior face of the plywood shall be stained or painted. No lettering on the plywood shall be allowed. Plywood shall be maintained free of graffiti.
- B] The roof, gutter and downspouts shall carry the rain water to the ground, and away from the building. The roof shall be replaced or maintained to prevent any leakage.

C] The vacant building shall be secured and maintained as to eliminate further deterioration and vandalism.

At the request of the Cultural Resources Office, the applicant prepared an estimate to “mothball” the 32,000 square-foot building. The cost, which includes a \$100,000 allowance for a new roof, is \$192,000.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office’s consideration of the criteria for demolition led to these preliminary findings:

- 2115-2131 Hickory is a contributing property in the Lafayette Square Local Historic District and the Lafayette Square National Register Historic District, districts recognized for the collection of domestic architecture, landscape architecture and community planning.
- Built as part of the Roberts, Johnson and Rand International Shoe Co. Complex, the ca. 1919 industrial building has a double-height main floor with roof lighting above a ground floor.
- The building is Sound, in terms of the Ordinance.
- The building displays deferred maintenance, particularly at the roof and deterioration of brick in some locations.
- The level of building rehabilitation and occupancy in Lafayette Square is high and, in general, supports the building’s reuse potential.
- The building has features that make it attractive for redevelopment, but it also has no on-site parking to support a redevelopment project.
- The property’s location in a National Register historic district means that historic tax credits could be used to offset the expenses of a rehabilitation project.
- Estimates for rehabilitation for two uses, 20 condominium units and an office building, were submitted in support of the contention that these uses are not feasible.
- The property has been offered for sale for much of the time it has been owned by the applicant, at list prices that have been reduced significantly.
- The loss of this building would have a very noticeable impact on the integrity, rhythm, balance and density of the blockfront.
- The proposed subsequent use of the parcel is to provide outdoor amenity space, which would have the appearance of a private park, for the residents of the adjacent Lofts at Lafayette Square, a commonly controlled property.
- While the building has not been maintained as it has been vacant, its current condition is one of several factors that affect the economic feasibility of its rehabilitation.
- The estimated cost to “mothball” the building is \$192,000.

- The Lafayette Square Historic District Standards state that demolition is “strictly limited.”
- Ordinance #64689 states that the demolition of buildings in several categories shall not be approved except in unusual circumstances that shall be expressly noted.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board not grant Preliminary Approval to the demolition of 2115-2131 Hickory unless it finds that the denial of demolition would constitute an economic hardship.



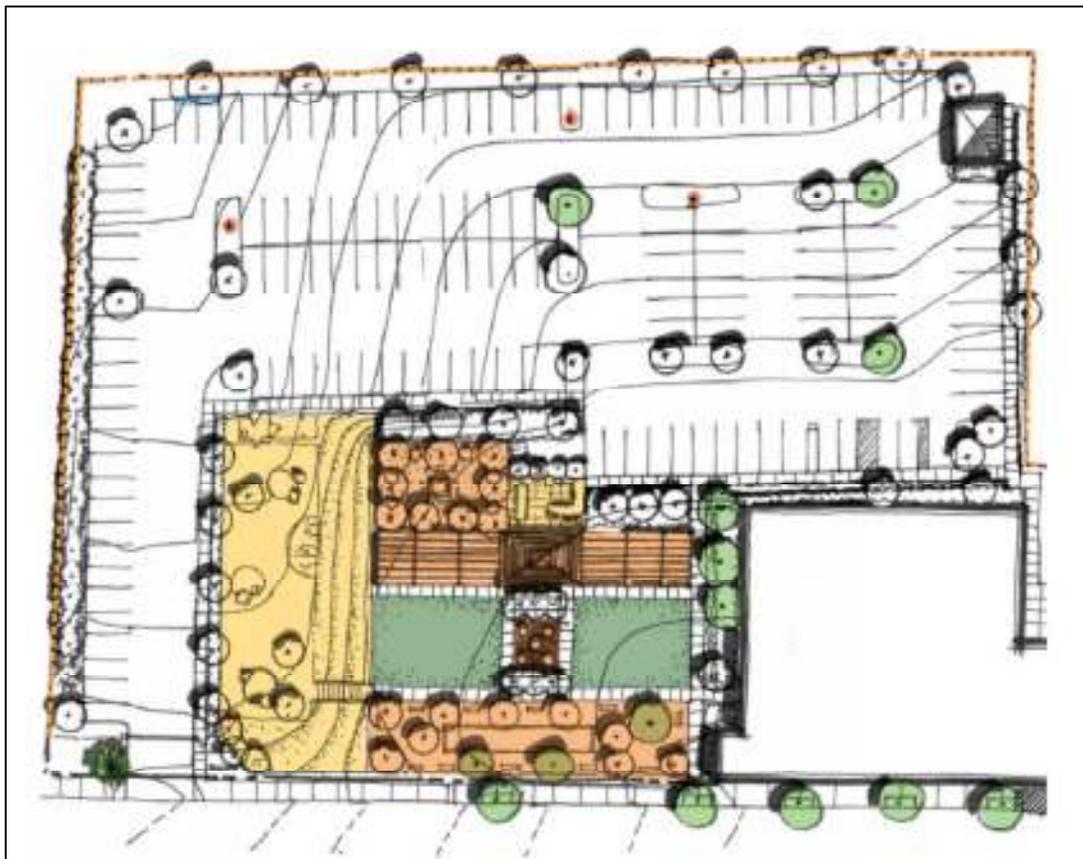
EAST ELEVATION AND ADDITION ON EAST SIDE



WEST ELEVATION



CHOUTEAU ELEVATION



CONCEPT PLAN FOR AMENITY AREA FOR LOFTS OF LAFAYETTE SQUARE RESIDENTS



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**

Cultural Resources Department

B.

DATE: December 14, 2015
ADDRESS: 2861 Lemp Avenue
ITEM: New Application to construct a two-family house
JURISDICTION: Benton Park Historic District — Ward 9
STAFF: Bob Bettis, Cultural Resources Office



2861 LEMP AVENUE

OWNER/APPLICANT

Ron Seabaugh

STAFF RECOMMENDATION:

That the Preservation Board grants preliminary approval with the condition that the design be developed as proposed and that the Cultural Resources Office review and approve final plans and materials.



THE PROJECT

The applicant proposes to construct a two-family house on a vacant lot in the Benton Park Local Historic District

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District Rehabilitation and New Construction Standards

ARTICLE 1: DEFINITIONS

101.14 Model Example

Comment: Throughout these Standards, a Model Example is often required as a basis for comparison and as a source of ideas for reconstructed elements and for new construction.

- 1) A building or element(s) of a single building type or style constructed prior to 75 years ago:
 - a) Existing or once existing within:
 - i) The Benton Park Historic District; or,
 - ii) The City of St. Louis, provided it is of a form and architectural style currently or once found within the Benton Park Historic District; and
 - b) Offered to prove that:
 - i) A design proposed for constructing or reconstructing a building will result in a building element compatible with the building for which it is to be constructed; or
 - ii) A design proposed for constructing a new building which will result in a building compatible with its architectural environment; and
 - c) Of a comparable form, architectural style and use as:
 - i) The building to receive the constructed or reconstructed element; or,
 - ii) The building to be constructed.

Complies. The applicant has submitted a Model Example (ME) compliant with the definition of Model Example.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

301.1 Site

A site plan shall describe the following:

1. Alignment
 - a. New buildings shall have their Public Facades parallel to the Public Façade of the adjacent buildings....

Complies. The building will front on Lemp.

2. Setback
 - a. New buildings shall have the same setback as adjacent buildings....

Complies. New buildings will adhere to the building line on Lemp.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Complies. The mass of the building shares visual characteristics with existing historic building stock along the street.

301.3 Scale

1. Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e.g., the size of a door relative to a window.)
2. A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings....

Complies. The building will be 2 stories in height; floor levels will match adjacent buildings.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings. If there are no buildings on the block, then the proportions shall be comparable to those of adjacent blocks.

Complies. Proportions of details on the Public Façade will follow the ME.

301.5 Ratio of Solid to Void

1. The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.
2. The total area of windows and doors in the Public Façade of a new building shall be no less than 25% and no more than 33% of the total area of the façade.
3. The height of a window in a Public Façade shall be between twice and three times the width.
4. The ratio of solid to void may be based on a Model Example.

Complies. The ratio of solid to void of the Public Façade follows that of its ME.

301.6 Façade Material and Material Color

1. Finish materials shall be one of the following:

1. For walls:

1. Kiln-fired brick (2-1/3" x 8" x 3-5/8")
2. Stone common to the Benton Park Historic District
3. Scored stucco and sandstone
4. 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

Appears to comply. No material samples have yet been submitted, but the applicant intends to follow the Model Examples on all street-visible elevations.

2. For foundations:

1. Stone, new or reused, which matches that used in the Benton Park Historic District;
2. Cast-in-place concrete with a stone veneer; or,
3. Cast-in-place concrete, painted.

Complies.

2. Finished façade materials shall be their natural color or the color of the natural material which they replicate or, if sandstone, painted. Limestone may be painted.

Complies.

3. Glazing shall be clear, uncolored glass or based on a Model Example.

Complies.

PRELIMINARY FINDINGS AND CONCLUSION:

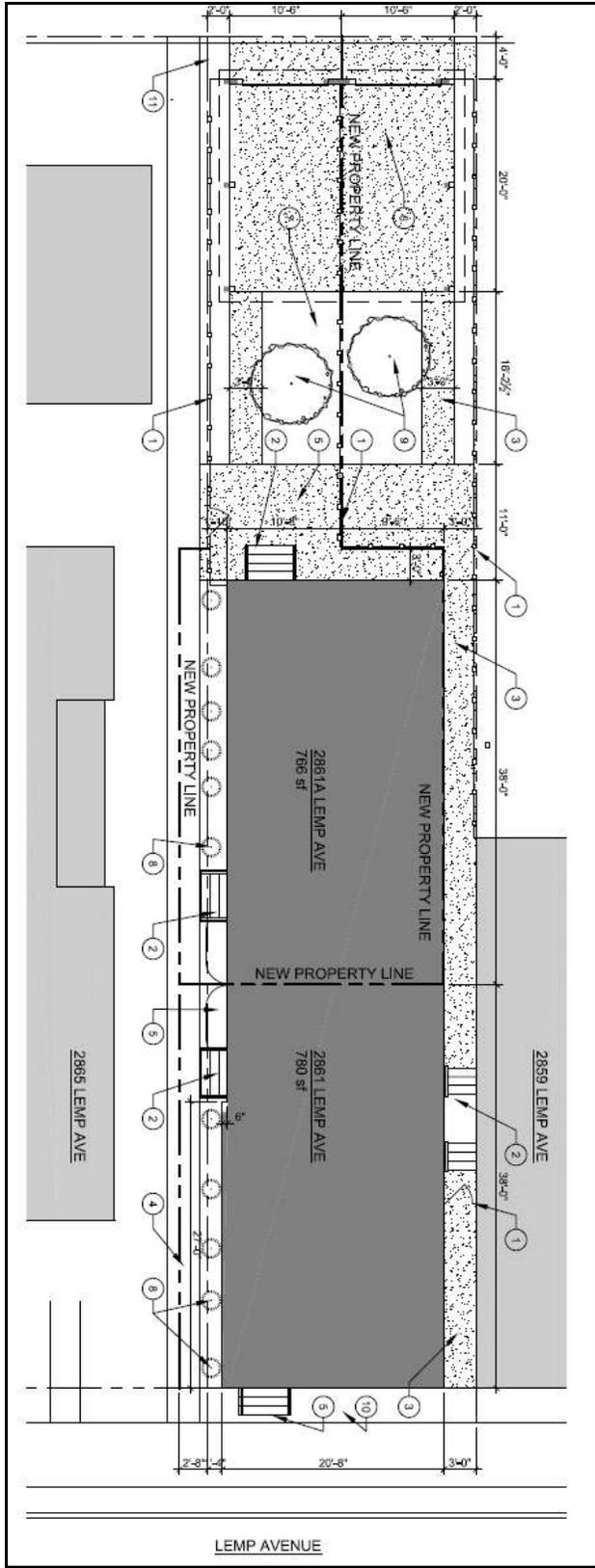
The Cultural Resources Office's consideration of the criteria for new residential construction in the Benton Park Historic District Standards led to these preliminary findings:

- The proposed site for the new construction is located in the Benton Park Local Historic District.
- The proposed design complies with all requirements for new construction in the Benton Park Historic District Standards.
- Final material choices have not been made, but the applicant intends to comply with the requirements of the Historic District Standards.

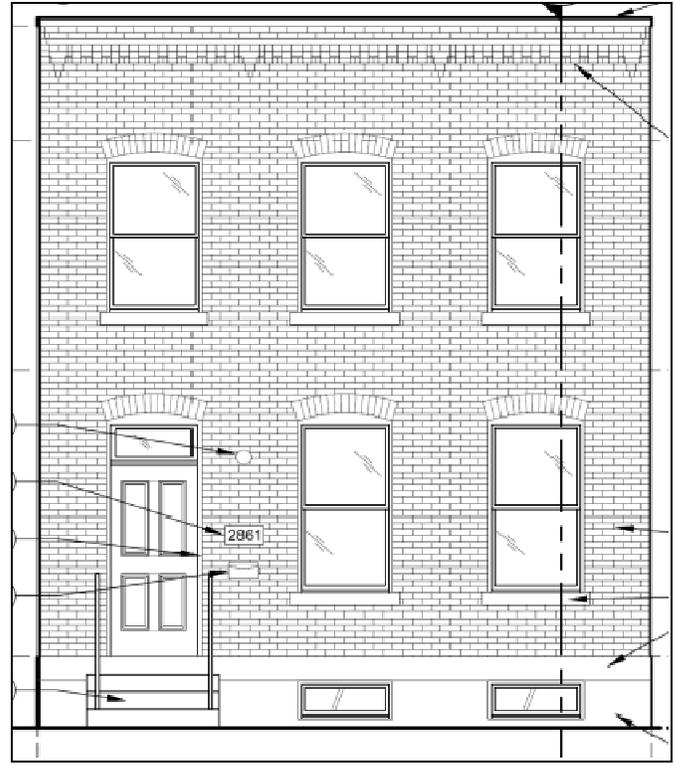
Based on these Preliminary findings, the Cultural Resources Office recommends that the Preservation Board approve the new application, with the stipulation that final plans and materials will be reviewed and approved by the Cultural Resources Office.



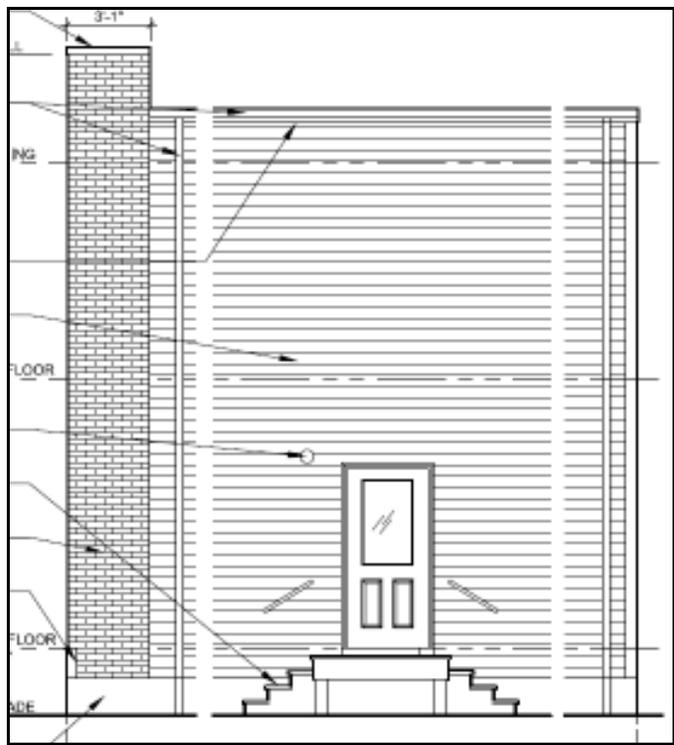
STREETSCAPE



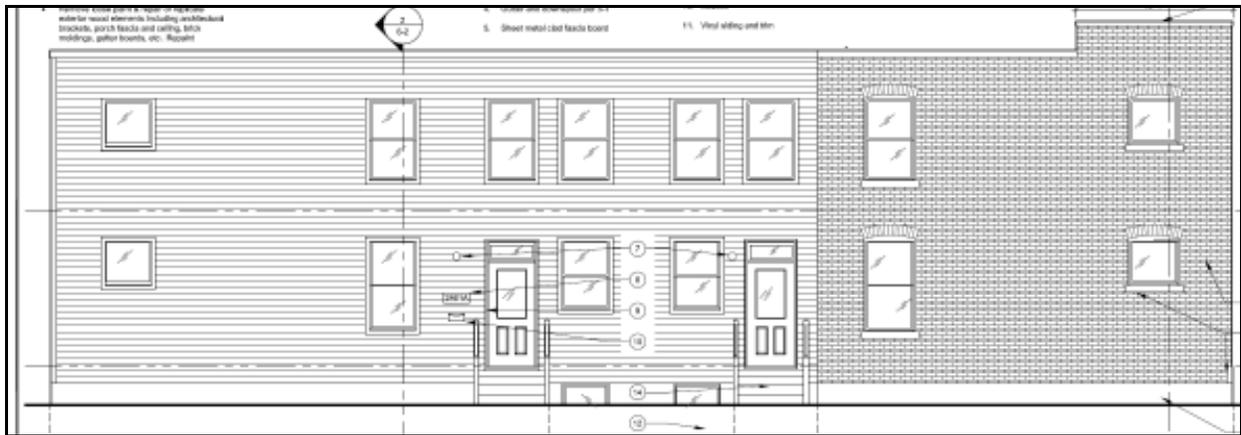
SITE PLAN



FRONT ELEVATION



PARTIAL NORTH ELEVATION



SOUTH ELEVATION



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

C.

DATE: December 14, 2015
ADDRESS: 4207 Blaine Avenue
ITEM: New construction: construct one two-story, single-family house
JURISDICTION: North I-44 Certified Local Historic District — Ward 19
STAFF: Bob Bettis, Cultural Resources Office



4207 BLAINE

OWNER/APPLICANT:
Botanical Heights Homes, LLC

RECOMMENDATION:
That the Preservation Board approve the application for new construction as submitted.



THE PROJECT

The applicant has applied for to construct a detached 2-story house in the North I-44 Historic District. This design has been approved by the Preservation Board for a number of sites within the district.

RELEVANT LEGISLATION:

Excerpt from Ordinance #60370, North I-44 Local Historic District:

1. Exterior Materials:

New construction shall be of exterior materials similar to those already in use on the street, such as brick, wood trim, and glass. Any additions or alterations to primary facades or to prominently-visible secondary facades shall conform to the historic character of the building. The use of imitation, artificial or simulated exterior materials is prohibited, except when such materials serve to replicate original architectural elements which have been lost or destroyed.

Partly complies: The front façade will be clad in brick with the exception of a large spandrel panel above each double window. These will be of cement board, a material that is not found on this block.

APPROVED:

Brick

Glass

Aluminum or steel gutters (color-clad and complementary to the building)

Stone

Wood (for unenclosed rear porches, decorative trim... and replacement of original wood treatment)

Painted or color anodized metal

Copper or zinc (for roof, gutters, downspouts)

Terra cotta (trim)

Cast or wrought iron

Slate (for roof, dormers, siding)

Vinyl siding (as replacement for original clapboards)

PROHIBITED:

Permastone

Stucco

Aluminum or T-111 Siding

Expanded metal screens

Raw aluminum or galvanized steel

Porcelanized metal panels

Corrugated fiberglass, cement asbestos board or asbestos shingles (for walls)

Unpainted or untreated wood

Raw concrete block

Ceramic tile (in vertical applications)

Tar paper or roll roofing

Any material not specifically intended for exterior use

2. Height and Location:

a. Height:

On blocks where buildings are generally the same height, new or renovated residential structures are to be within 15% of the average height of existing buildings on the block.

Commercial structures may be one-story in height. On blocks with varying heights, new or renovated residential buildings shall fit within the overall pattern of the block.

Complies.

- b. Location, spacing, width and setback:
Location and spacing of new residential buildings shall be consistent with existing patterns on the block and the width of such buildings shall be consistent with existing building widths. If there is an existing uniform setback for residences on the block, new buildings shall maintain that setback.

Complies....

4. Details:

- a. ...Architectural details on new structures shall be compatible with details on existing buildings in terms of design, materials and scale.

Mostly complies. The building's details are contemporary and spare. While historic precedent appears in front openings arranged in bays, and a clear differentiation between foundation and upper wall, the building lacks other traditional elements of the district's historic buildings such as a defined cornice line.

- b. Primary (front) doors must be of wood. If modern storm doors are used, they must be of color-clad material and full-light. Flush doors are prohibited. Flush doors with novelty treatments are also prohibited.

Complies.

- c. On each elevation, window patterns shall reflect the original configuration. Windows, as well as door openings on both new and renovated structures shall be in the same horizontal and vertical size and style as in the original buildings in the area. Both new and replacement windows shall be limited to wood or color-finished metal. Raw or uncolored aluminum is prohibited for storm windows or prime replacement windows....

Partly complies. While window openings are generally close to historic proportions, the presence of casement and fixed-sash windows, set in pairs without mullions and the proportions of the second-story window above the entry are not reflective of historic details.

- e. Roofs:

Any change to roof materials require (*sic*) a building permit. On blocks where a roof line and shape is dominant, new or renovated structures shall have the same roof shape and lines....Materials for new or renovated roofs shall be compatible with the original materials in the neighborhood....

Complies. The majority of buildings in the area have flat roofs.

5. Site Improvements:

- a. Walls and Fences:

- 1. Residential:

Materials and construction of new or renovated fences, when visible from the street, shall be compatible with the character of the neighborhood. Materials shall include wood, stone, brick, wrought iron or evergreen hedge. Unpainted chain link and wire fabric are prohibited. If used it is required that such materials be painted or coated in black, dark green or some other appropriate color. Height and fences shall not exceed 6 feet in the rear yard, 42 inches at the building line. Fences are prohibited in front of the building line. A side yard fence on a corner lot may not

extend beyond the face of the main wall of the building, or in front of the building line of the interior lots of the cross street, whichever is least restrictive.

Complies. Fencing will be wood.

PRELIMINARY FINDINGS AND CONCLUSION:

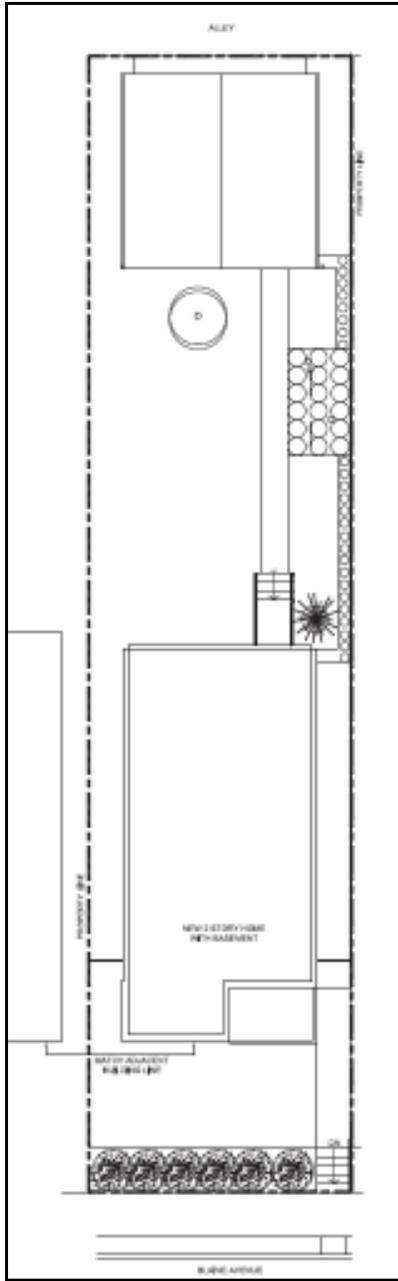
The Cultural Resources Office consideration of the criteria for new residential construction in the North-I44 Historic District Standards led to these preliminary findings:

- The construction site, 4207 Blaine, is located in the North I-44 Local Historic District.
- The proposed design complies with most of the requirements for new construction in the North I-44 District Standards deviating from them in some architectural details and the material of the spandrel panels on the front elevation. On the whole, given its contemporary design, the project can be considered generally in compliance with the intent of the Standards.
- Very similar designs for several infill buildings were approved by the Board in 2011.
- The proposed design is appropriate for the location. The block has a mix of different architectural styles that allow the new construction to fit well with the streetscape.

Based on the preliminary findings, the Cultural Resources Office recommends that the Preservation Board approve the application for new construction as submitted.



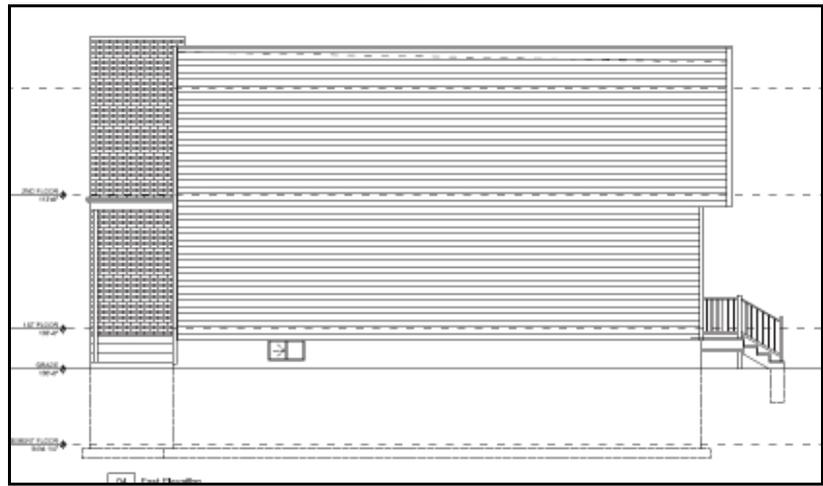
PROPOSED RENDERING



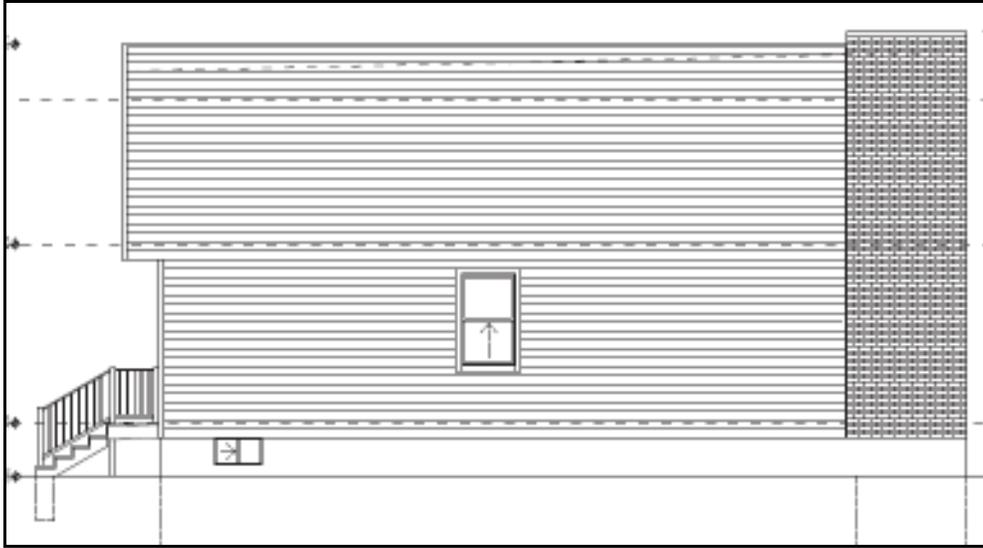
SITE PLAN FOR PROJECT



FRONT ELEVATION



EAST ELEVATION



WEST ELEVATION



D.

DATE: December 14, 2015
 ADDRESSES: 2711-13 Gravois Avenue
 ITEM: Appeal of Director’s Denial of demolition of a commercial building
 JURISDICTION: Fox Park Local Historic District; St. Francis de Sales National Register Historic District, Preservation Review District — Ward 6



2711-12 GRAVOIS AVENUE

OWNER:

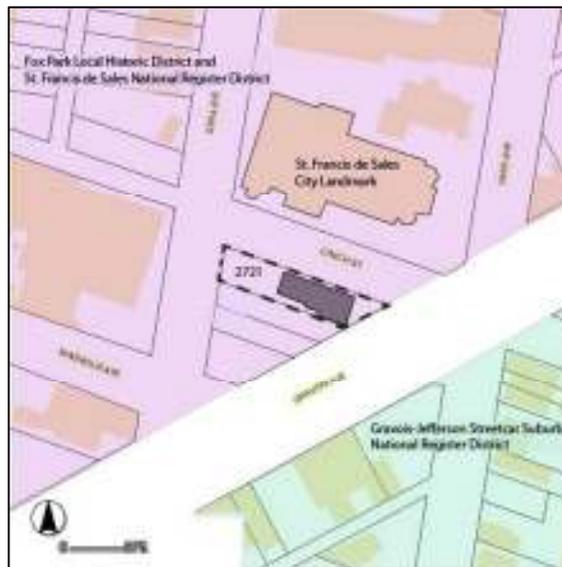
St. Louis City Catholic Church
 Real Estate Corporation

APPLICANT:

Bellon Salvage & Rehabbing

RECOMMENDATION:

That the Preservation Board uphold the Director’s denial of the demolition as it is a Sound, High Merit building



THE PROJECT:

The current owners applied for a demolition permit for this building in November 2012. After consultation with the Cultural Resources Office, the application was withdrawn. A second application was submitted in September 2015.

RELEVANT LEGISLATION:

The commercial building at the intersection of Gravois Avenue and Lynch Street is located in the Fox Park Local Historic District. It is a contributing property in the St. Francis de Sales Historic District listed in the National Register in 2012.

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT. Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832

SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.

Not applicable.

B. Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

The commercial block building at 2711-13 Gravois was built during the 1880s and added onto at the rear by 1909, at which time a “Drugs” business occupied the front portion of the building and the rear portion was a group of flats. The Second Empire-style building has a slightly projecting center bay that extends through the mansard roof. Prominent corbelled chimneys rise at the edge of the mansard along the Lynch Street façade. Although simulated masonry has been applied to the ground story and the storefront has been altered, the rest of the building retains historic integrity. The building is considered to be a contributing resource in the National Register district and therefore, by definition, a Merit building. As one of the early buildings in the vicinity, and due to its highly visible location, it is considered to meet the criteria for being a High Merit building.

C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.

In terms of the ordinance, 2711-13 Gravois is Sound. The condition of the wood cornice is a concern as it has not been maintained.

2. Structurally attached or groups of buildings.

Not applicable.

D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The neighborhood context of the building is its position across the street from the St. Francis de Sales Church, a City Landmark, and the buildings that line Gravois. The surrounding areas are within local or National Register historic districts. Gravois is a heavily-traveled thoroughfare lined with commercial uses and many of the buildings on Gravois are occupied.

2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

This building has potential for rehabilitation and reuse in its original uses – commercial and residential, or entirely in one of those uses. The use of state and/or federal historic tax credits would be available for a rehabilitation project if the building were owned by a tax-paying entity.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

The owner has not provided this type of information as it wishes to demolish the building.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

Not applicable.

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.
3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

The block on which this building stands is quite small due to the angle of Gravois across the grid of streets and it is the only building standing on the block.

Nevertheless it occupies a prominent location at a Gravois intersection and adjacent to the St. Francis De Sales Oratory. It is of similar age and appearance to the building across Gravois at the corner of Lynch. The blockfront to the northeast is intact with historic buildings. The south side of Gravois is less consistent due to the effects of a street widening project during the 1920s.

This mixed use building physically and visually “holds the corner” at the Gravois and Lynch intersection. Its loss would have a significant urban design effect on the integrity and density of the block and intersection, and the rhythm and balance of the varied character of Gravois.

4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not applicable.

F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:

1. The applicant has demonstrated site control by ownership or an option contract;

The Archdiocese has owned the property since at least 2007.

2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that

particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;

The Archdiocese proposes to construct a parking lot on the site of the building with most of the spaces dedicated to handicapped parking that would be close to the exterior elevator entrance in the Church.

3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;

A parking lot in this location would require the removal of the only building on the block and introduce a new condition.

4. The proposed use complies with current zoning requirements;

The parcel is zoned "F", Neighborhood Commercial.

5. The proposed new construction would commence within twelve (12) months from the application date.

The construction schedule is to be determined.

G. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

The St. Louis City Catholic Church Real Estate Corporation owns the St. Francis de Sales Church and related parcels across Lynch Street.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

Not applicable.

FOX PARK HISTORIC DISTRICT CONSTRUCTION AND RESTORATION STANDARDS

211 Demolition

Comment: Buildings which were built before 1929 are considered historically significant to the character and integrity of the Fox Park Historic District. These buildings are an irreplaceable asset, and as such, their demolition is strictly limited.

Only statements that differ from those in the criteria above are addressed.

Ordinance No. 61366 of the City of St. Louis is hereby adopted to govern demolitions of buildings located within the Fox Park Historic District, except that the following Sections of such Ordinance shall, for purposes of this Code only, be deemed revised, amended, or deleted as noted:

Section Two (i) is revised to state as follows:

"Structure" means any building or improvement of any kind for demolition of which a demolition permit is required and with respect to which an application for a demolition permit is filed.

Section Seven (3) is revised to state as follows:

(3)Condition: The Office shall make exterior inspections to determine whether a Structure is Sound. If a Structure or portion thereof proposed to be demolished is obviously not Sound, and the threat to the public health, safety, and welfare resulting therefrom cannot be eliminated with reasonable preventative measures, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the Structure shall be evaluated to determine the extent of reconstruction, rehabilitation, or restoration required to obtain a viable structure.

Sound Structures with apparent potential for adaptive reuse, reuse, and/or resale shall generally not be approved for demolition unless application of Criteria 1, 4, 6, and 7 indicates demolition is appropriate.

Structurally attached or groups of buildings: The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.

Comment: Reasonable preventative measures as referenced herein...

Section Seven (4) Is revised to state as follows:

A. Rehabilitation Potential: If the Applicant offers substantial evidence that the Structure, in its entirety, is in such a condition that the only feasible rehabilitation thereof would be equivalent to total reconstruction, the application for demolition shall generally be approved.

No information suggesting that reconstruction of the three-story building would be required has been submitted.

B. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner If the application Is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

Section Seven (6) 15 amended to add the following:

(F.) the proposed plan, although calling for demolition of one or more Structures, will result in the preservation of buildings which are (i) High Merit, Merit, or Contributing; and (ii) In need of substantial rehabilitation.

Section Seven (7) is deleted.

Section Seven (8) is renumbered Section Seven (7).

212 Securing Vacant Buildings

Vacant buildings shall be protected from deterioration and vandalism as follows:

All windows and doors shall be covered by 1/2" exterior grade plywood if such windows and doors are incapable of securing the building.

Comment: City Codes require that plywood used for this purpose be painted red.

The roof, gutter and downspouts shall carry the rain water to the ground.

Work necessary to protect the structural integrity of the building must be performed.

Windows are not boarded and water is entering the building through the roof and deteriorated areas of the wood cornice.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for demolition led to these preliminary findings:

- 2711-13 Gravois is an important contributing property in the Fox Park Local Historic District and the St. Francis de Sales National Register Historic district. It is considered to be a High Merit Building.
- The building is Sound, in terms of the Ordinance.
- The building displays deferred maintenance, particularly at the wood cornice and eaves, which is at this point relatively minor.
- There is no evidence that the building would have to be reconstructed to put it back into use.
- The level of building occupancy nearby and highly visible location of the property on Gravois Avenue contribute to the building's reuse potential.
- The property's location in a National Register historic district means that historic tax credits could be used to fund a rehabilitation project, if the property were owned by a tax-paying entity.
- The building is one of the oldest buildings in the immediate vicinity and has a prominent position in the streetscape. The loss of this building would have an impact on the small block it stands on and the blockfronts facing Gravois, particularly in integrity and density.
- The St Louis City Catholic Church Real Estate Corporation owns St. Francis de Sales Church and related parcels north across Lynch Street.
- The proposed use of the property is to construct a parking lot, most of which would be devoted to handicapped parking spots. Parking is a use to be considered when a property adjoins or abuts an entity that needs more parking; this parcel comes close to meeting that criteria.

- Ordinance #64689 states that the demolition of buildings in several categories shall not be approved except in unusual circumstances that shall be expressly noted and no such circumstances have been identified.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the demolition of 2711-13 Gravois, as it is a Sound, High Merit building and no unusual circumstances have been presented to warrant its demolition.



WEST ELEVATION



SOUTH ELEVATION



E.

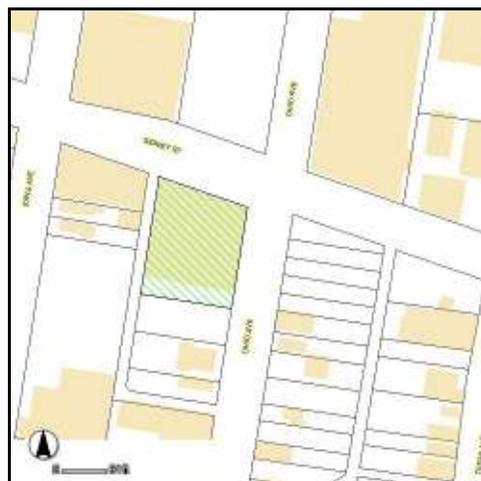
DATE: December 14, 2015
ADDRESS: 2601 Ohio Ave
ITEM: Appeal of Director's denial to paint previously unpainted brick and to retain non-compliant windows
JURISDICTION: Fox Park Local Historic District — Ward 8
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



2601 OHIO AVENUE

OWNER/APPLICANT
Teresa Sackman

RECOMMENDATION:
That the Preservation Board overturn the Director's denial per revised window plans, and because the paint cannot be removed from the damaged brick.



THE CURRENT WORK:

The Cultural Resources Office received a complaint regarding painting of unpainted brick at 2601 Ohio Avenue. The property consists of a large industrial brick building that houses a lighting company. Upon inspection it was noted that the unpainted brick building was in the process of being painted grey. Also during inspection, it was discovered that the commercial windows along Ohio were being replaced without a permit. Due to unusual circumstances for both violations, staff is recommending that the Board overturn the Director's denial based on proposed actions.

RELEVANT LEGISLATION:

Excerpt from Ordinance #66098, the Fox Park Historic District:

ARTICLE 2: EXISTING BUILDINGS

202 EXTERIOR WALLS

202.1 Exterior Masonry Walls

Painting: Painting of unpainted masonry walls is prohibited. Masonry walls that are currently painted may be repainted. The color shall be a color resembling the underlying material.

Does not comply. The red brick building was not previously painted. Prior to the painting, the entire building was washed with a high-pressure spray, which has damaged the face of the brick. Any attempts to remove the paint would further damage the masonry. The owner proposes to repaint the building a red brick color.

203.1 Windows at Public Facades

Windows in Public Facades shall be one of the following:

The existing window repaired and retained.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lites, their arrangement and proportion shall match the original or be based on a Model Example.

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Reconstructed windows and sashes in a Public Facade shall be based on the following;

An adjacent existing window in the same facade which is original; or

If all windows on a facade are being replaced than they shall be based on a Model Example or the window detailed in Figure S.

Does not comply: The original windows were replaced sometime in the 1960's or 1970's. A row of small fixed windows with a large aggregate panel above were installed. The original windows were most likely industrial sash. The new

windows, installed below the existing panel, are standard double-hung windows that are residential in character and do not approximate the original appearance of the openings.

The owner contends that to remove and replicate the original sash would be prohibitive and suggests as a compromise, retaining the existing doublehung windows and installing glazed transoms in place of the aggregate panels.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Fox Park District standards and the specific criteria architectural details led to these preliminary findings.

- 2603 Ohio Avenue is located in the Fox Park Local Historic District.
- The unpainted brick was painted without a permit.
- The building was power-washed prior to painting and the face of the brick was damaged. Due to the damage done to the brick, the paint cannot be removed.
- The windows, which were a later alteration and did not replicate the building's original industrial sash, were replaced without a building permit.
- The owners propose to repaint the building in a color close to the original masonry; and will install a fixed transom system that will fully glaze the openings and present a commercial appearance.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board overturn the Director's denial of the application, with the stipulations that the building be repainted red and that a glazed transom be installed above the non-compliant windows.



DETAIL OF BRICK



WINDOW DETAIL



BUILDING PRIOR TO WINDOW ALTERATIONS