



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY - MARCH 23, 2015 — 4:00 P.M.
 1520 MARKET ST. #2000
 ST. LOUIS, MO. 63103
www.stlouis-mo.gov/cultural-resources**

Roll call. Approval of the February 23, 2015 minutes. Approval of the Agenda.

PRELIMINARY REVIEWS	Jurisdiction	Project	Pg.
A. 4528-36 OLIVE STREET	Central West End HD	Rehabilitate a one story commercial building and construct a tower addition.	1
B. 3009-11 MISSOURI	Benton Park HD	Construct five (5) single family houses	9
NEW APPLICATION			
C. 2501 SO. 9 TH STREET	Soulard HD	Construct patio roof in side-yard of commercial building.	15
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D. 2201-03 JULES STREET	McKinley Heights HD	Install two non-compliant windows in a single opening on front façade.	19



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

A.

DATE: March 23, 2015
 ADDRESS: 4528-36 Olive Street
 ITEM: Preliminary Review to rehabilitate existing building and construct a four-story tower addition.
 JURISDICTION: Central West End Certified Local Historic District — Ward 28
 STAFF: Betsy Bradley, Director, Cultural Resources Office

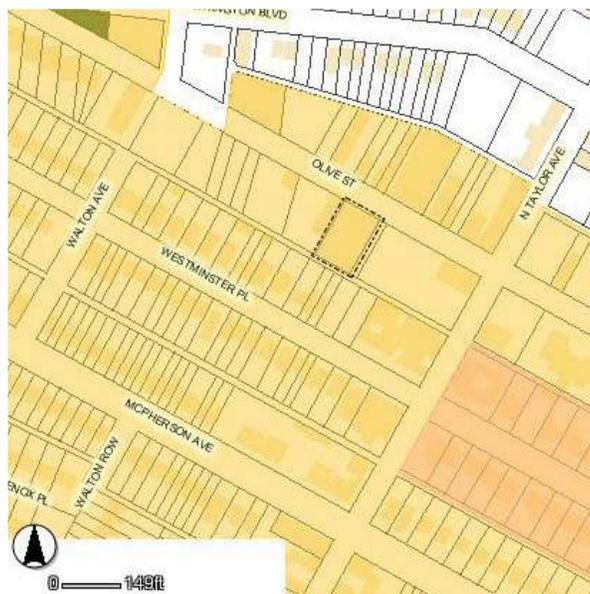


4528-36 OLIVE

OWNER
 Rothschild Development

APPLICANT
 Michael Schwarz

RECOMMENDATION:
 That the Preservation Board grant Preliminary Approval for this project if it determines that, in this instance, the project meets the intent of the standards.



THE PROJECT:

The applicant proposes to rehabilitate a one-story commercial building erected in 1925 that extends from the sidewalk to the alley and to construct an addition: a four-story residential tower. The one-story building would have a commercial space at the Olive front and be used for enclosed parking. The tower of contemporary design would be set back 25 feet from the façade and most of the tower would be set back 50 feet from the façade.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Revised Rehabilitation and New Construction Standards for Ordinance #56768, the Central West End Historic District.

I. Introduction

The primary objective of the Central West End Historic District is to maintain the distinctive character, quality of construction and individual architectural integrity of structures within the historic district. ...

This statement asserts that a building such as 4528-36 Olive should not have its distinctive character altered. While the façade would be rehabilitated and the building's original volume remain perceivable, its character would be different with a tower addition.

Some block faces within the historic district exhibit a continuity of design with uniform building heights, setbacks, materials, window sizes, spacing and landscape treatment. These elements help to create an unusually strong "streetscape" which must receive special attention during the design review process. When new construction is proposed, consideration of the "streetscape" and compatible relationships between the new structures and existing ones are of utmost importance.

The streetscape on the south side of Olive between Taylor and Walton is quite varied and cannot be considered to be strong in the sense of being lined with uniform buildings, as is the usual case in the Central West End. The Lister Building at the corner of Taylor rises to a height of 4 stories. The rest of the block consists of one two-story building, three one-story buildings, and approximately one-half of the frontage is without buildings at the street line. The block lacks continuity in design and uniformity in building heights and scale, and it seems likely that other changes will be made to the blockfront in the future. However, the one-story building is the dominant form on the south side of the street and the proposal retains the historic building and its perception as a one-story commercial building.

Developers and others, therefore, shall demonstrate compliance with existing scale, size, setback and proportion by providing, along with other construction documents, photographs, a street elevation and plan of the proposed project showing adjacent properties. Visual compliance shall be judged on massing and detail in addition to size and scale.

The proposal retains the existing building and its place in the foreground of the streetscape, yet introduces a new form and setback. Overall, the visual compliance of the tower is not straightforward to evaluate and it would be visible for some distance west on Olive – from the intersection of Olive and Walton – due to the slope of the street down to Walton and the number of vacant parcels on the south side of the block. The tower's visibility will likely change over time as these lots are developed.

It is not the intention of these regulations to discourage contemporary design that, through careful attention to scale, materials, siting and landscaping, is harmonious with the existing historic structure. The historic character of the historic district is not enhanced by new construction that attempts to mimic the historic.

The proposed addition is of contemporary design and uses a modern version of the materials palette common in the district.

NEW CONSTRUCTION OR ADDITIONS TO EXISTING COMMERCIAL STRUCTURES

When designing a new commercial building, or an addition to an historic commercial building, the height, scale, mass and materials in adjacent buildings as well as the context of the immediate surroundings shall be strongly considered. When designing an addition to an historic building, the addition shall be compatible in height, scale, mass, and materials to the historic fabric of the original building. The new addition, however, shall be easily distinguishable from the existing historic building. The design of primary entrances to new commercial buildings shall afford accessibility in conjunction with aesthetic and contextual solutions.

A. Height

A new low-rise building, including all appurtenances, must be constructed within 15 percent of the average height of existing row-rise commercial buildings that form the block-face. Floor levels, water tables, and foundation levels shall appear to be at the same level as those of neighboring buildings. When one roof shape is employed in a predominance of existing buildings in the streetscape, any proposed new construction or alteration shall follow the same roof design.

(High-rise building and form-based zoning sections not included.)

The addition to the building would have a portion that rises to a height of five stories, in the low-to-mid-rise category of less than 75 feet above grade; most of the tower would be at the four-story height. Although the stair tower is a prominent vertical element that rises the full height, the setback position of the addition reduces one's perception of its overall mass, scale and presence in the streetscape. The historic two-story building to the east would not be overshadowed by the tower closer to the west side of the building. The historic one-story commercial building to the west would probably be perceived more in relationship with the façade of 4528-36.

The visibility of the height of the tower should also take into account the taller heights of the Second Presbyterian Church at Taylor and Pershing, as well as its multi-story school/office building that is positioned at the alley just east of the property. The context of the property also includes the north side of Olive, lined with two-story buildings, although these structures are taller closer to Taylor than they are mid-block. In summary, the height context of the blockfront and its vicinity is varied.

B. Location

A new or relocated structure shall be positioned on its respective lot so that the width of the façade and the distance between buildings shall be within 10 percent of such measurements for a majority of the existing structures on the block face to ensure that any existing rhythm of recurrent building masses to spaces is maintained. The established setback from the street shall also be maintained. Garages and other accessory buildings, as well as parking pads, must be sited to the rear of, and if at all possible, directly behind the main building on the lot.

The set-back position of the tower introduces a new form to the streetscape, as the one urban quality clearly evident on the blockfront is the consistent setback.

C. Exterior Materials

In the historic district, brick and stone masonry and stucco are dominant, with terra cotta, wood and metal used for trim and other architectural features. Roof materials shall be slate, tile, copper or architectural composite shingles where the roof is visible from public or common areas.

All new building materials shall be the same as the dominant materials of adjacent buildings. Artificial masonry is not permitted, except that cast stone that replicates sandstone or limestone is allowed when laid up in the same manner as natural stone. Cementitious or other paintable siding of appropriate dimension is an acceptable substitute for wood clapboards. A submission of samples of all building materials, including mortar, shall be required prior to approval.

The pointing of mortar joints on masonry additions to historic buildings shall match that on the original building in color, texture, composition and joint profile.

Rather than replicating the materials of the one-story façade, the tower addition is proposed to be in compatible, contemporary materials. The cement masonry panels, expanses of glass, metal components and wood trim leave the historic brick, terra cotta, and rehabilitated storefronts highlighted as the historic component of the building. Yet the palette evokes the quality of the materials used on historic buildings, as well as other contemporary buildings, in the district and dark colors dominate to create a neutral back drop.

D. Fenestration

New buildings and building additions shall be designed with window openings on all elevations visible from the street. Windows on the front façade shall be of the same proportions as windows in adjacent buildings and their total area should be within 10 percent of the window area of the majority of buildings on the block.

The proposed tower has a contemporary use of windows and glazing of the stair tower. The fenestration pattern is not seen to be incompatible with the large openings in the historic building.

E. Accessory Buildings

When visible from the street, a new accessory building shall be designed and constructed in a manner that is complementary in quality and character with the primary structure and neighboring buildings.

Not applicable.

F. Curb Cuts and Driveways

Where curb cuts for vehicles and driveways did not historically exist, they shall not be introduced. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed. Where a parcel is not served by alley access, proposed exceptions shall be considered on a case-by-case basis and evaluated for design suitability.

Complies; existing curb cuts will be reused

H. Coordination with Form Based Zoning

When portions of the historic district are located in an area for which a form-based code has been adopted, the Regulating Plan, Building Envelope Standards and Building Development Standards will be

used in conjunction with these standards to review new construction within that portion of the historic district.

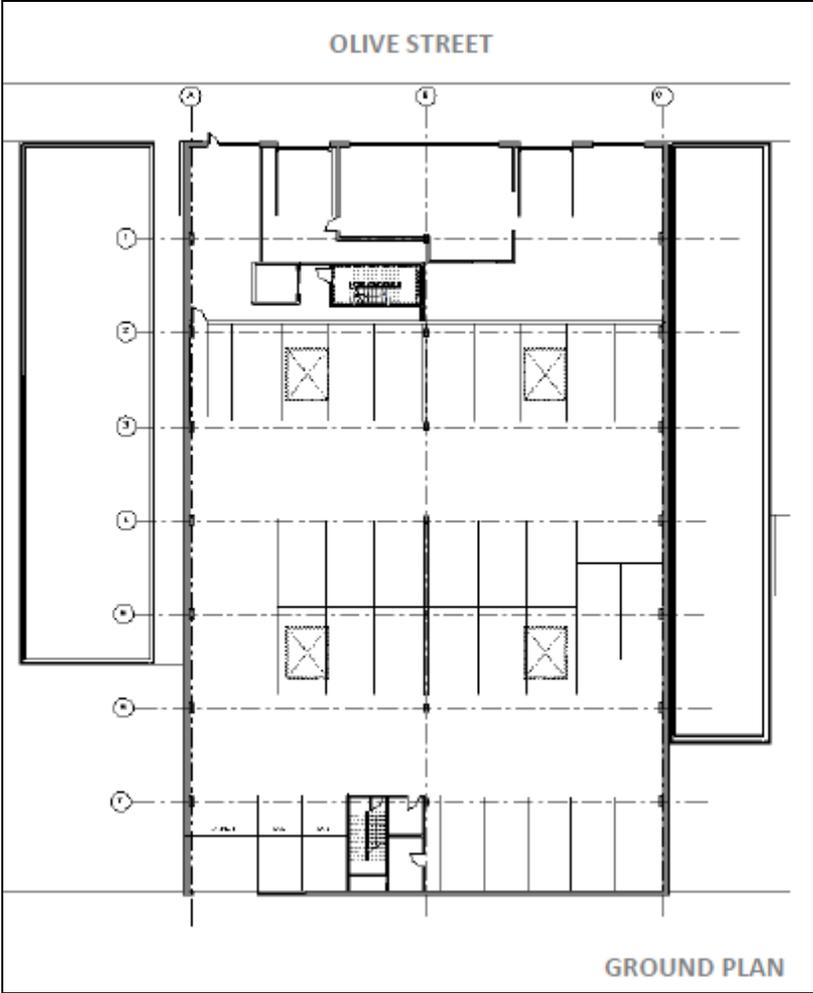
Not applicable.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new construction in the Fox Park Historic District led to these preliminary findings:

- 4528-36 Olive Street is located in the Central West End Historic District.
- The one-story warehouse building extends to the alley and therefore covers the entire lot; an addition cannot be positioned behind the building.
- The proposal to preserve the brick and terra-cotta façade and recreate the historic storefront and garage door openings complies with the historic district standards.
- The proposal to build a tower rising from most of the building's footprint is a type of addition that the historic district standards does not specifically address, as most additions occur to the side or the rear of an existing building.
- Several factors of the design of the tower warrant its serious consideration, including the setback position of the tower, its sophisticated design and palette and the color of materials.
- The set-back position of the tower maintains the perception of the historic building and façade to some extent. The tower introduces a new set-back massing and form into the Olive blockfront. Yet it would be perceived in some relationship with the multi-story school/office building of Second Presbyterian Church that abuts the alley and the Lister Building at the corner of Taylor, and would not rise in complete isolation.
- The contemporary design of the tower meets the standards for compatible materials and fenestration.
- Some of the critical questions for this project are:
 - Are there sufficient reasons for adding a tower to this historic building rather than rehabilitate it with a less visible intervention?
 - Is this a project that does not meet all the historic standards for an addition, yet is interesting in concept and forward looking, justified by the economic conditions for this property, and therefore approvable?

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant Preliminary Approval if it determines that the project meets the intent of the Central West End Historic District Standards.



PLAN OF EXISTING BUILDING AS GOUND FLOOR PLAN



FLOOR PLANS



REHABILITATED STOREFRONT



PERSPECTIVE FACING SOUTHWEST



PERSPECTIVE FACING SOUTHEAST



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**

Cultural Resources Department

B.

DATE: March 23, 2015
 ADDRESS: 3009-11 Missouri Avenue
 ITEM: Preliminary Review to construct five new single-family houses.
 JURISDICTION: Benton Park Historic District — Ward 9
 STAFF: Jan Cameron, Cultural Resources Office



3001-11 MISSOURI

OWNER:
 Liberty Group USA Inc.

APPLICANT:
 Killen Studio Architects

STAFF RECOMMENDATION:
 That the Preservation Board grant preliminary approval to the design as proposed with the stipulation that final plans and materials are reviewed and approved by the Cultural Resources Office.



THE PROJECT

The applicant proposes to build five detached single-family houses facing Missouri Avenue on this large vacant site. The small historic house on the northwest corner of the property will be retained and rehabilitated.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District Rehabilitation and New Construction Standards

ARTICLE 1: DEFINITIONS

101.14 Model Example

Comment: Throughout these Standards, a Model Example is often required as a basis for comparison and as a source of ideas for reconstructed elements and for new construction.

- 1) A building or element(s) of a single building type or style constructed prior to 75 years ago:
 - a) Existing or once existing within:
 - i) The Benton Park Historic District; or,
 - ii) The City of St. Louis, provided it is of a form and architectural style currently or once found within the Benton Park Historic District; and
 - b) Offered to prove that:
 - i) A design proposed for constructing or reconstructing a building will result in a building element compatible with the building for which it is to be constructed; or
 - ii) A design proposed for constructing a new building which will result in a building compatible with its architectural environment; and
 - c) Of a comparable form, architectural style and use as:
 - i) The building to receive the constructed or reconstructed element; or,
 - ii) The building to be constructed.

Complies. The applicant has submitted Model Examples from the Benton Park Historic District for each proposed building.

ARTICLE 3: NEW BUILDINGS

301 Public and Semi-Public Facades of New Construction

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

301.1 Site

A site plan shall describe the following:

1. Alignment
 - a. New buildings shall have their Public Facades parallel to the Public Façade of the adjacent buildings....

Complies. All buildings will front on Missouri Avenue.

2. Setback

- a. New buildings shall have the same setback as adjacent buildings....

Complies. New buildings will adhere to the building line on Missouri.

301.2 Mass

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Complies. The majority of the west side of the 3000 block of Missouri is vacant; the only remaining property is a historic six-family, of larger scale than most buildings in Benton Park. The four houses to be constructed adjacent to this building are similar in height, but narrower in width, comparable to other single-family houses in the district, including several on the east side of Missouri. The buildings will be placed on narrow parcels, closely replicating the original rhythm of buildings on the block, and screening their side elevations, which will be partly sided.

However, these narrow lots left a wider parcel at the corner. In discussion with the Cultural Resources Office, the applicant agreed to base the corner building on a different property type and selected a corner commercial property as a Model Example. Together, the new buildings will appropriately re-create a historic appearance for the block.

301.3 Scale

1. Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e.g., the size of a door relative to a window.)
2. A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings....

Complies. All buildings will be two stories in height and floor levels will be the same as the adjacent building.

301.4 Proportion

Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent buildings. If there are no buildings on the block, then the proportions shall be comparable to those of adjacent blocks.

Will comply. Proportions of details on the Public Facades will follow those of the Model Examples. Although the preliminary drawings show some deviation to the design of the entries of three of the five buildings, the applicant has agreed that where the Model Example has a semi-circular arched opening, the new buildings will replicate that detail also.

301.5 Ratio of Solid to Void

1. The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.
2. The total area of windows and doors in the Public Façade of a new building shall be no less than 25% and no more than 33% of the total area of the façade.
3. The height of a window in a Public Façade shall be between twice and three times the width.
4. The ratio of solid to void may be based on a Model Example.

Complies. The ratio of solid to void of the Public Facades of each proposed building follows that of its Model Example.

301.6 Façade Material and Material Color

1. Finish materials shall be one of the following:

1. For walls:

1. Kiln-fired brick (2-1/3" x 8" x 3-5/8")
2. Stone common to the Benton Park Historic District
3. Scored stucco and sandstone
4. 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

Appears to comply. No material samples have yet been submitted, but the applicant intends to follow the Model Examples on all street-visible elevations.

2. For foundations:

1. Stone, new or reused, which matches that used in the Benton Park Historic District;
2. Cast-in-place concrete with a stone veneer; or,
3. Cast-in-place concrete, painted.

Complies.

2. Finished façade materials shall be their natural color or the color of the natural material which they replicate or, if sandstone, painted. Limestone may be painted.

Complies.

3. Glazing shall be clear, uncolored glass or based on a Model Example.

Complies.

PRELIMINARY FINDINGS AND CONCLUSION:

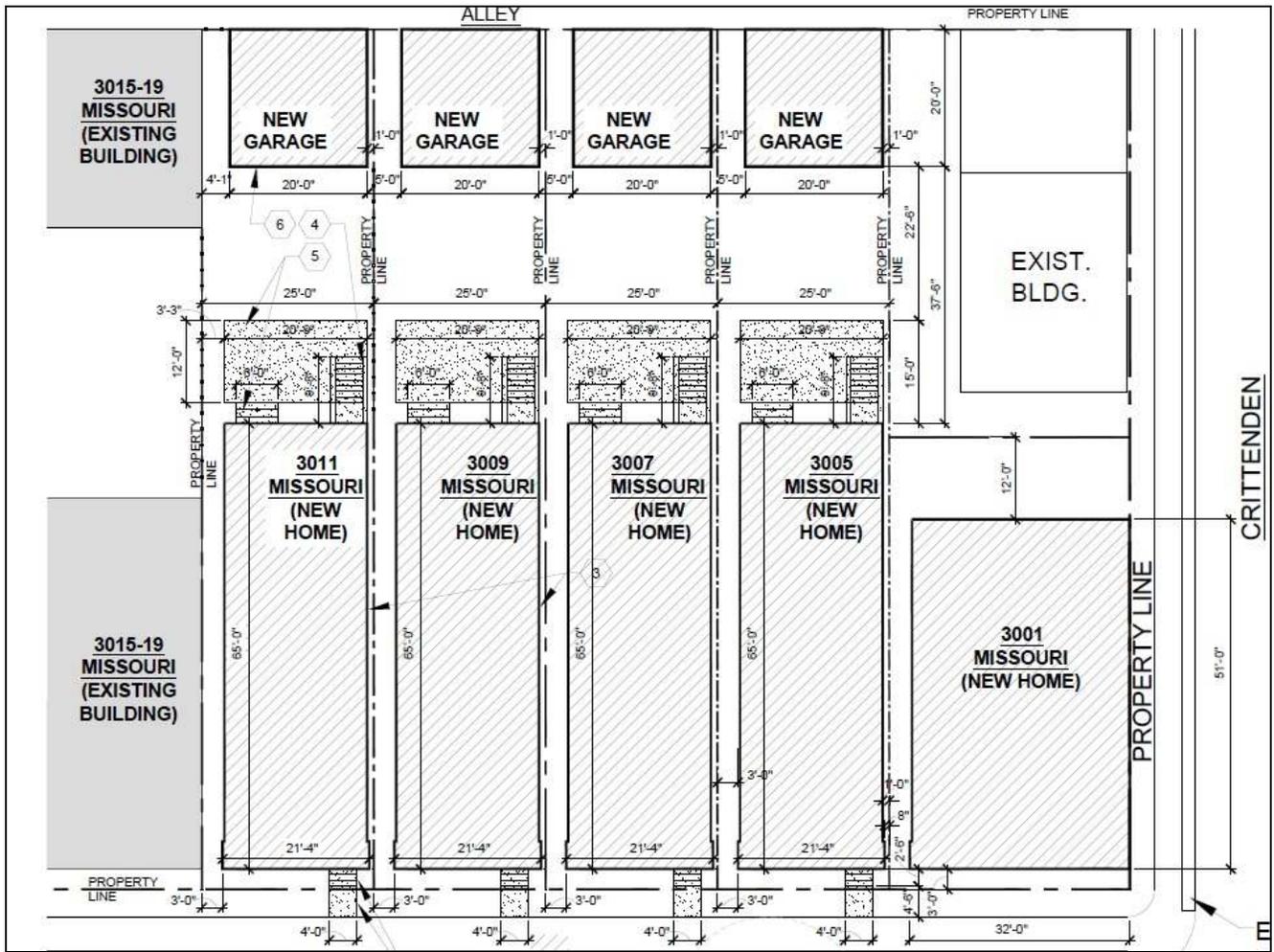
The Cultural Resources Office's consideration of the criteria for new residential construction in the Central West End Historic District Standards led to these preliminary findings:

- The proposed site for the five houses to be constructed is located in the Benton Park Local Historic District.
- The proposed designs comply with all requirements for new construction in the Benton Park Historic District Standards.
- Final material choices have not been made, but the applicant intends to comply with the requirements of the Historic District Standards.

Based on these Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the project, with the stipulation that final plans and materials will be reviewed and approved by the Cultural Resources Office.



STREETSCAPE AT MISSOURI WITH ALL FIVE PROPOSED BUILDINGS



PROPOSED SITE PLAN



1950 WYOMING
① HME FOR 3011 MISSOURI



1987 WYOMING
② HME FOR 3009 MISSOURI



2866 WISCONSIN
③ HME FOR 3007 MISSOURI



1933 WYOMING
④ HME FOR 3005 MISSOURI



2701 ARSENAL
① HME FOR 3001 MISSOURI (EAST ELEVATION)



2701 ARSENAL
② HME FOR 3001 MISSOURI (NORTH ELEVATION)



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

C.

DATE: March 23, 2015
 ADDRESS: 2501 S. 9th Street
 ITEM: New Application to construct a roof structure over existing patio
 JURISDICTION: Souldard Certified Local Historic District — Ward 9
 STAFF: Andrea Gagen, Cultural Resources Office

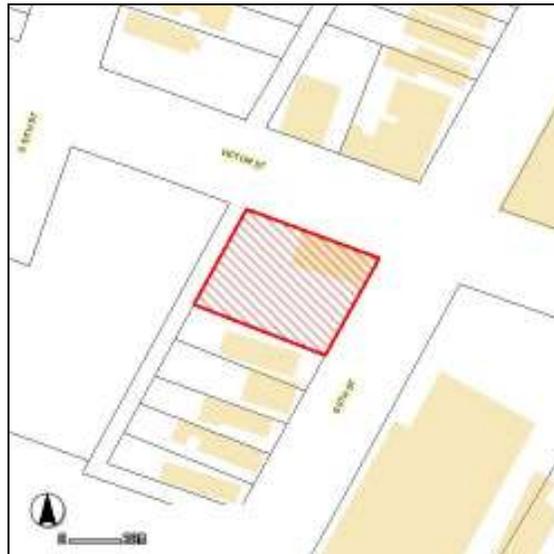


2501 S. 9th ST.

OWNER:
 Plowery Real Estate LLC/Patrick
 Lowery

APPLICANT:
 Middeke Construction/Randy
 Middeke

RECOMMENDATION:
 That the Preservation Board deny the
 new application for the proposed
 roof structure as it is not in
 compliance with the Souldard Local
 Historic District Standards.



THE PROPOSAL:

The applicant proposes to construct a roof structure that would cover an existing patio that is currently in use for outdoor dining.

RELEVANT LEGISLATION:

Excerpt from Ordinance #62382, the Souldard Historic District:

RESIDENTIAL APPEARANCE AND USE STANDARDS

ARTICLE 2: EXISTING BUILDINGS

206 APPENDAGES ON PUBLIC AND SEMI-PUBLIC FACADES

206.3 New Appendages to Semi-Public and Private Facades

New porches, stoops and steps at Semi-Public and Private Facades shall be based on a Model Example.

Does not comply. The proposed roof structure, which is similar to a porch, extends nearly the entire length of the Semi-Public Façade to cover an area much larger than a porch or any type of historic appendage. It is not based on a Model Example.

PRELIMINARY FINDINGS AND CONCLUSION:

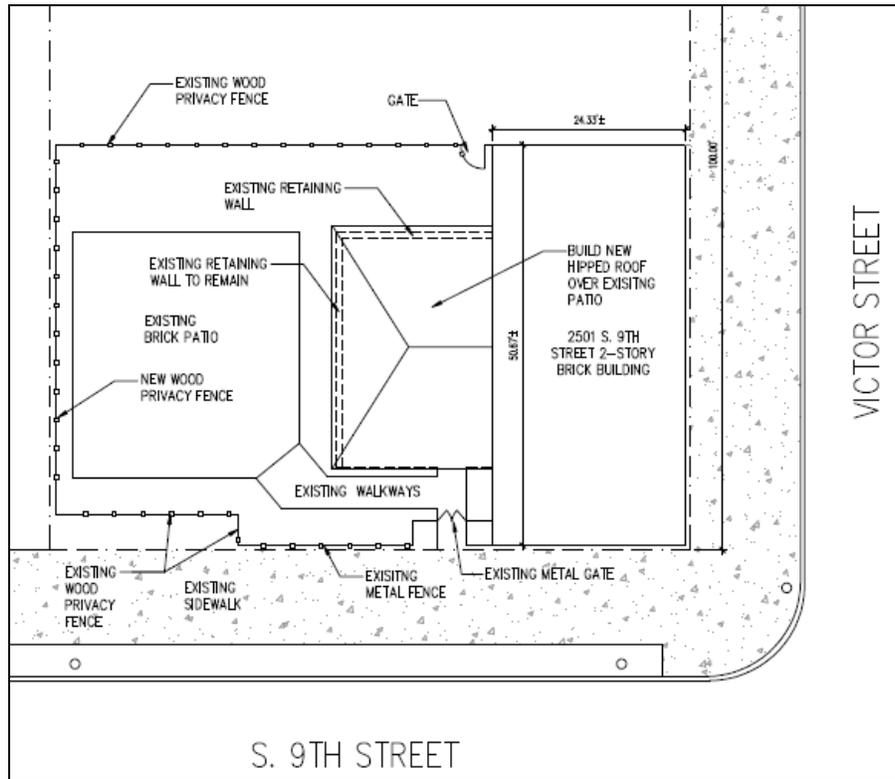
The Cultural Resources Office consideration of the criteria for appendages on Semi-public Facades led to these preliminary findings.

- 2501 S. 9th St. is located in the Souldard Local Historic District.
- The proposed roof structure is not based on the required Model Example.
- The proposed roof is proposed to be approximately 24 feet by 31 feet, a size too large to be perceived as a historic appendage.
- That the main material will be unfinished pressure-treated wood.
- The roof will be constructed on a Semi-public Façade and would be highly visible from 9th Street.

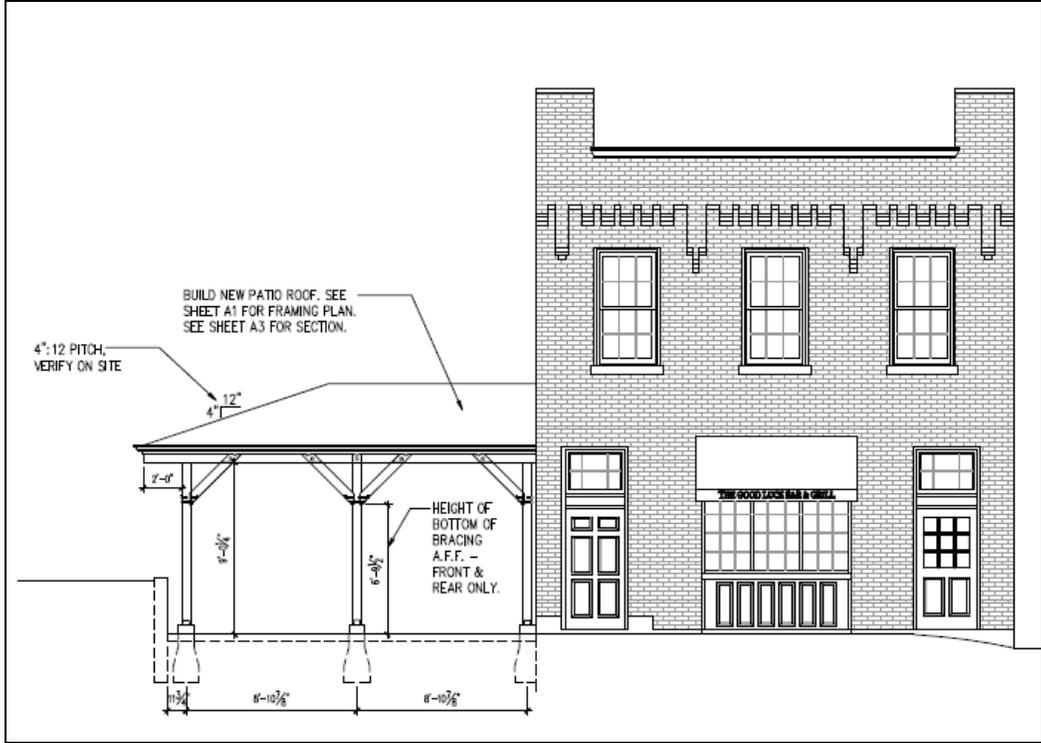
Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board deny the preliminary review for the proposed roof structure as it does not comply with the Souldard Neighborhood Local Historic District standards.



LOCATION OF ROOF STRUCTURE AS SEEN FROM S. 9th ST.



PROPOSED SITE PLAN



ELEVATIONS OF PROPOSED ROOF STRUCTURE



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

D.

DATE: March 23, 2015
ADDRESS: 2201 Jules Street
ITEM: Appeal of Director's Denial to install a non-conforming window
JURISDICTION: McKinley Heights Local Historic District — Ward 7
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2201 JULES ST.

OWNER:
Prayosha Investments LLC – Byron Martin

APPLICANT:
Window World - Steve Mees

RECOMMENDATION:
That the Preservation Board uphold the Director's Denial, as the proposed vinyl windows do not comply with the McKinley Heights Historic District Standards.



THE CURRENT WORK:

The applicant has applied for a permit to replace the one remaining historic second-story wood window with paired vinyl windows. The other windows on the front façade were previously replaced. The application was denied as the vinyl windows do not comply with the McKinley Heights Historic District standards. The applicant has appealed the decision.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, the McKinley Heights Historic District:

203 WINDOWS

Windows are crucial to a building's historic character.

203.1 Windows at Public Facades:

1) Windows in Public Facades shall be one of the following:

- a. The existing window repaired and retained;
- b. Replacement window, duplicating the original, which meets the following requirements;
 - i. Replacement windows or sashes shall be made of wood or finished aluminum,
 - ii. The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.
 - iii. The number, arrangement and proportion of lights shall match the original or be based on a Model Example.
 - iv. The method of opening shall be the same as the original.

Does not comply. The owner proposes to replace a single wood double-hung window with two vinyl replacement windows. The material, profile, and number of windows do not meet the McKinley Heights Historic District standards.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the McKinley Heights standards and the specific criteria for windows on a Public facade led to these preliminary findings.

- 2201 Jules St. is located in the McKinley Heights Local Historic District.
- The window to be replaced is considered to be on a Public Façade, as it faces Jules Street.
- The application to replace the window on a Public Façade could not be approved as the proposed vinyl windows do not meet the historic district standards. The window profiles do not replicate an historic window profile in the following manner:
 - the number of windows within the opening would be increased;
 - the jambs of the vinyl windows would be wider than in an historic window;
 - the lift rail is considerably lower;
 - the total glass size is reduced;
 - the window has a flattened appearance, due to the lack of depth.

- The brickmold is proposed to be wrapped with aluminum coil stock which does not comply with the standards and would increase the flattened appearance.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as it does not comply with the McKinley Heights Local Historic District standards.



EXISTING SECOND-STORY WOOD WINDOW



EXISTING VINYL WINDOWS ON OPPOSITE SIDE OF FRONT FACADE