



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY MARCH 24, 2014 — 4:00 P.M.
 1520 MARKET ST. #2000
www.stlouis-mo.gov/cultural-resources**

Roll Call - Approval of the February 24, 2014 Minutes - Approval of Current Agenda.

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**

Cultural Resources Department

A.

DATE: March 24, 2014
ADDRESS: 4321 Maryland Avenue
ITEM: Preliminary Review: construction of a new single-family house
JURISDICTION: Central West End Historic District — Ward 18
STAFF: Jan Cameron, Cultural Resources Office



4321 MARYLAND AVENUE

OWNER/DEVELOPER:

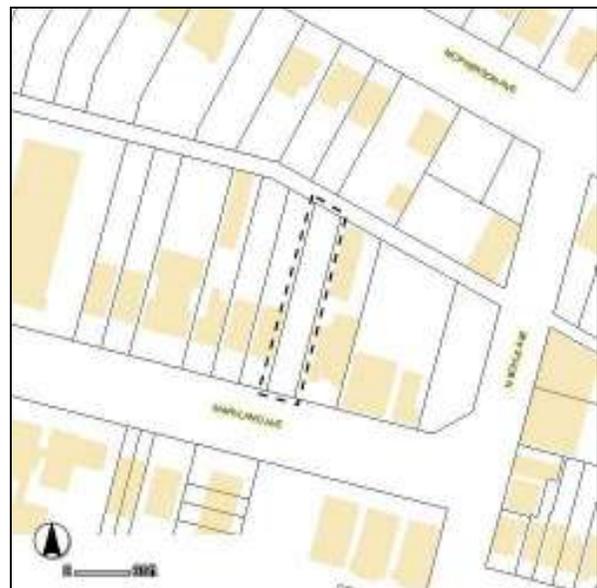
Ryan Denisi

ARCHITECT:

Jeff Day Associates/John Wimmer

STAFF RECOMMENDATION:

That preliminary approval granted, subject to review of final documents and materials by the Cultural Resources Office.



THE PROJECT

The applicant proposes to construct a single-family residence on a single vacant parcel.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, Benton Park Historic District:

NEW CONSTRUCTION OR ADDITIONS TO EXISTING RESIDENTIAL OR INSTITUTIONAL BUILDINGS:

When designing a new residential or institutional building, the height, scale, mass, and materials of the existing buildings and the context of the immediate surroundings shall be strongly considered. When designing an addition to an historic building, the addition shall be compatible in height, scale, mass, and materials to the historic fabric of the original building. The new addition, however, should be easily distinguishable from the existing historic building.

A. Height, Scale and Mass

A new low-rise building, including all appurtenances, must be constructed within 15 percent of the average height of existing low-rise buildings that form the block-face. Floor levels, water tables and foundation levels shall appear to be at the same level as those of neighboring buildings. When one roof shape is employed in a predominance of existing buildings in the streetscape, any proposed new construction or alteration shall follow the same roof design. A new high-rise building may be located either on a block face with existing high-rise structures or on a corner site.

A new high-rise building may exceed the average height of existing structures on the relevant block face. In all cases, window levels, water tables and foundation levels of the new building shall be comparable to those of neighboring buildings. Special emphasis shall be given to the design of the building base and to upper story setbacks as they relate to and affect neighboring buildings.

Complies. The cornice will be at the same height as that of the 2-1/2 story house to the west; floor-to-ceiling heights will be similar.

For those portions of the historic district located in areas governed by Form Based Zoning, the building heights prescribed for new construction have been determined appropriate from both the historic district and Form Based Zoning perspectives. The 3-story minimum height for these areas is hereby adopted by these Standards. The maximum heights for Boulevard Type 1 Development (24 stories west of Newstead Avenue and 12 stories east of Newstead Avenue) are hereby adopted. For the small area of the historic district within the Neighborhood Core Development area of the Form Based Zoning code, the 6-story minimum height and unlimited maximum height are also adopted.

For Form Based Zoning that occurs after the adoption of these standards, consultation shall determine appropriate heights for new buildings within the historic district that will not directly conflict with these standards and should be used in conjunction with these standards.

Not applicable.

B. Location

A new or relocated structure shall be positioned on its respective lot so that the width of the façade and the distance between buildings shall be within 10 percent of such measurements for a majority of the existing structures on the block face to ensure that any existing rhythm of recurrent building masses to spaces is maintained. The established setback from the street shall also be strictly maintained. Garages and other accessory buildings, as well as parking pads, must be sited to the rear of, and if at all possible, directly behind the main building on the lot.

Appears to comply. While we have not yet received a site plan, the house will adhere to the building line of the street; there will be a 6-foot side yard on the west and an 11-foot side yard on the east, both dimensions within the required 10% of historic buildings on the street.

C. Exterior Materials

In the historic district, brick and stone masonry and stucco are dominant, with terra cotta, wood and metal used for trim and other architectural features. Exterior materials on new construction shall conform to established uses. For example, roof materials shall be slate, tile, copper or architectural composite shingles where the roof is visible from public or common areas.

All new building materials shall be the same as the dominant materials of adjacent buildings. Artificial masonry is not permitted, except that cast stone that replicates sandstone or limestone is allowed when laid up in the same manner as natural stone. Cementitious or other paintable siding of appropriate dimension is an acceptable substitute for wood clapboards. A submission of samples of all building materials, including mortar, shall be required prior to approval.

The pointing of mortar joints on masonry additions to historic buildings shall match that on the original building in color, texture, composition and joint profile.

Complies. The front elevation is proposed to be a brick veneer, which will return 6 feet on the west and 11 feet on the east elevation. The front gable will be filled with false half-timbering, following an example building in the district.

D. Fenestration

New buildings and building additions shall be designed with window openings on all elevations visible from the street. Windows on the front façade shall be of the same proportions and operation as windows in adjacent buildings and their total area should be within 10% of the window area of the majority of buildings on the block.

Complies.

E. Decks

Given the urban context of the neighborhood, the relative narrowness of building lots, and the general interests of privacy, terraces or patios at grade are preferable to elevated decks. When it is desired to construct a deck, such construction shall be at the rear of the residence. Where visible from the street, design and construction shall be compatible with the building to which it is appended, and the deck shall be constructed of finished materials, be of a shape and scale similar to that of an historic porch or patio, and be partially screened with landscaping or opaque fencing to limit visibility.

Not applicable. No deck is proposed.

F. Accessory Buildings

A new accessory building, including a garage, shall be designed and constructed in a manner that is complementary in quality and character with the primary structure and neighboring buildings. Complementary structures are appropriate in scale and use a similar type and quality of materials. Design details from the main building should not be replicated, but such details may be modified and reduced in scale to express the same architectural presence in a simpler way. When not visible, materials other than those of the primary building may be used for exterior walls.

Not applicable.

G. Curb Cuts and Driveways

Where curb cuts for vehicles and driveways did not exist historically, new ones shall not be introduced. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed. Where a parcel is not served by alley access, proposed exceptions shall be considered on a case-by-case basis and evaluated for design suitability.

Complies. No curb cut is planned; parking access will be from the alley.

H. Coordination with Form Based Zoning

When portions of the historic district are located in an area for which a form-based code has been adopted, the Regulating Plan, Building Envelope Standards and Building Development Standards will be used in conjunction with these standards to review new construction within that portion of the historic district.

Not applicable.

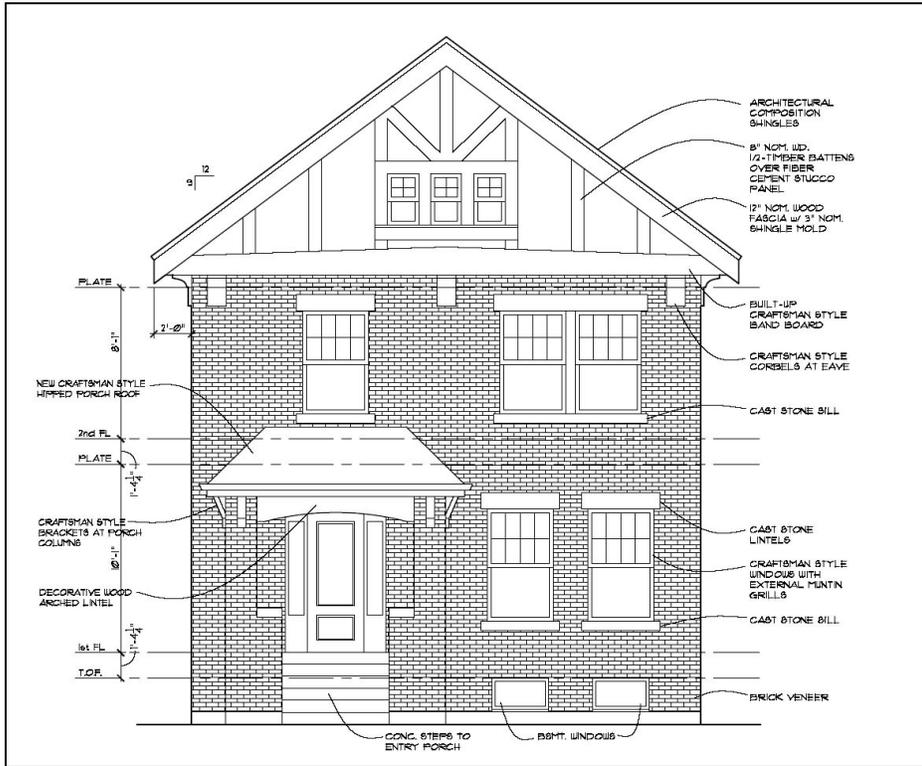
PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the criteria for new residential construction in the Central West End Historic District Standards led to these preliminary findings:

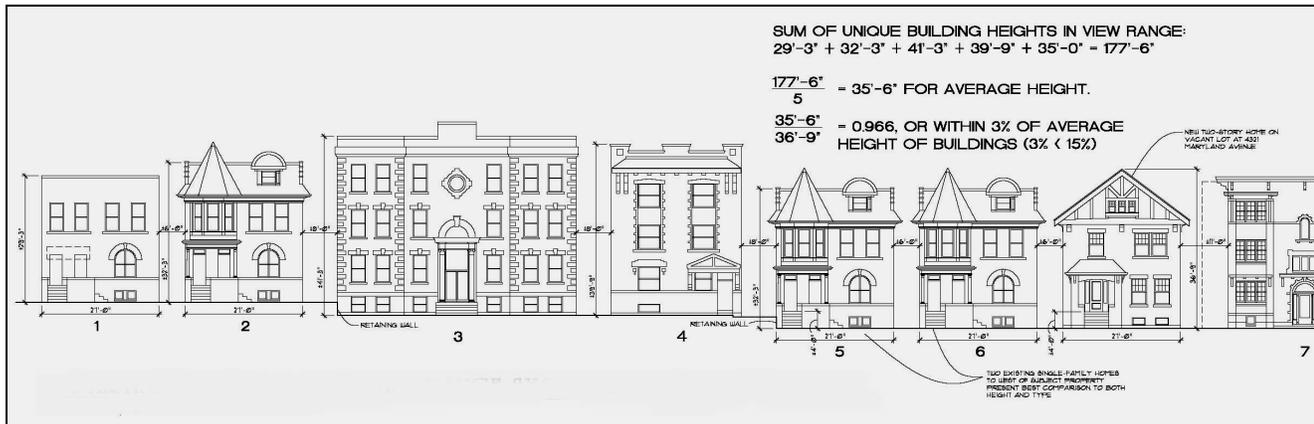
- The proposed site for construction, 4321 Maryland Avenue, is located in the Central West End Local Historic District.
- The siting, scale, proportions, fenestration, details and exterior materials comply with the Standards.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the proposed new construction with the

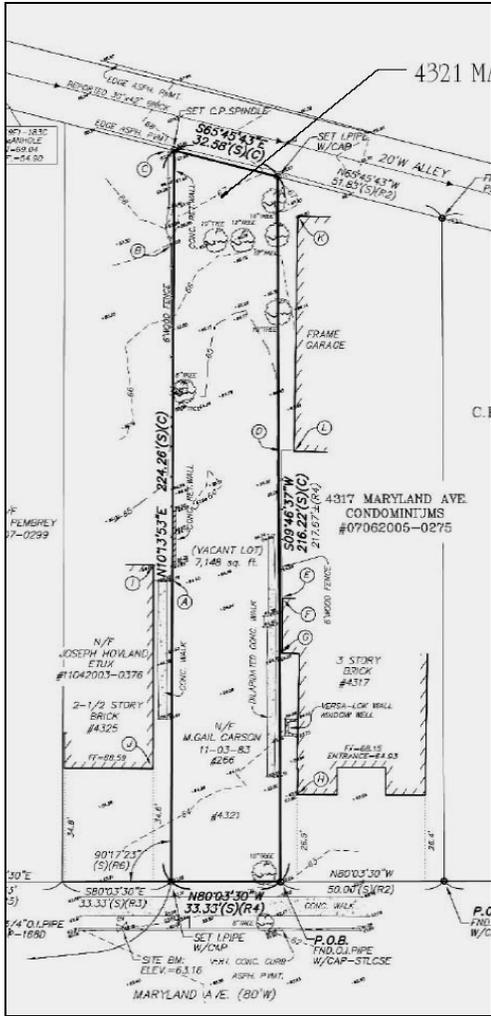
condition that final drawings and exterior materials be approved by the Cultural Resources Office.



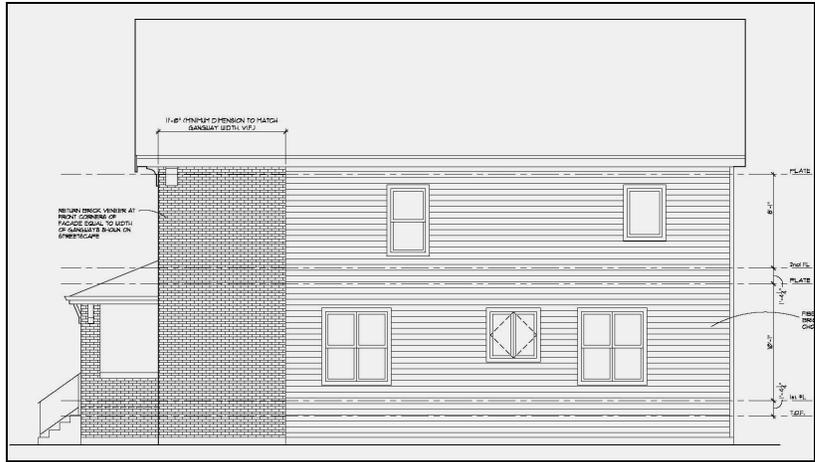
FRONT ELEVATION



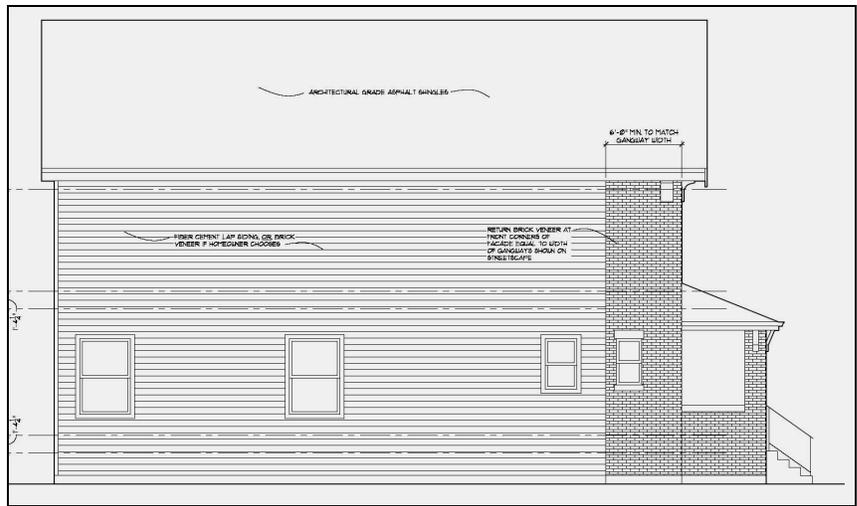
STREETSCAPE SHOWING ADJACENT BUILDINGS (4321 MARYLAND IS SECOND FROM RIGHT)



SITE SURVEY



EAST ELEVATION



WEST ELEVATION



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

B.

DATE: March 24, 2014
ADDRESS: 2125 Cherokee Street
ITEM: New Application to construct a 2-story rear addition.
JURISDICTION: Cherokee-Lemp Local Historic District — Ward 9
STAFF: Andrea Gagen, Cultural Resources Office



2125 CHEROKEE ST.

OWNER:
Barbara & Bob Nelson

APPLICANT:
Paul DeHart/Kenrick Design

RECOMMENDATION:
That the Preservation Board deny the new application as elements of the addition do not meet the Cherokee-Lemp Historic District standards.



RELEVANT LEGISLATION:

Excerpt from Cherokee-Lemp Brewery Historic District Ordinance #59836

PURPOSE OF STANDARDS:

These standards shall apply to materials, color, form and architectural character of structures, appurtenances thereto, satellite structures, drives and yards, which are visible from the street; the term "street" to include gangways between buildings but excepting alleys.

4. LOCATION, SPACING AND SETBACK:

Location and spacing of new or reconstructed buildings shall be consistent with the existing patterns in the neighborhood respecting depth of front yards, width of buildings and width of sideyards. If there is a uniform setback on a block, new buildings shall be positioned along such setback. These standards encourage all structures to conform with sidewalk lines.

Complies. The proposed addition will continue the line of the building's west façade.

5. EXTERIOR MATERIALS

1. Materials for new or rehabilitated structures shall be compatible in type, texture and color with the original building materials used in the neighborhood.

Complies. The exterior material of the new addition will match the brick on the existing historic building.

2. The use of raw concrete block and imitations or artificial materials are not permitted. Aluminum or other types of siding are permitted only when they are used in place of wood siding and are similar in detail and design to the original siding. Mill-finished aluminum is not permitted. Previously unpainted brick surfaces shall not be painted. Any variance from this paragraph should be submitted to and approved by the Cherokee-Lemp Standards Committee and the Heritage and Urban Design Commission.

Not applicable.

6. ARCHITECTURAL DETAIL:

1. Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, a similar detail may be substituted.

Not applicable.

2. Doors, windows and other openings on rehabilitated structures shall be of the same size, and in the same horizontal and vertical configuration as in the original structure. Exterior shutters, when used, shall be made of wood and shall be of the correct size and shape to fit the entire opening for which they are intended.

Does not comply. The addition will have a wide 16-foot vehicle door facing Missouri and second story windows that are shorter than those of the existing structure.

3. Storm doors, storm windows and window frames shall be made of wood, or of color-finished material. Mill-finished aluminum or similar metal is not permitted.

Complies.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for additions to historic buildings in the Cherokee-Lemp Historic District Standards led to these preliminary findings:

- The proposed site for construction, 2125 Cherokee St., is located in the Cherokee-Lemp Local Historic District at the corner of Cherokee and Missouri Ave.
- The applicant proposes to add a two-story addition at the rear of the 2 story brick commercial/residential building facing Cherokee Street. The addition will have a 16-foot vehicle door and second-story living space. It will replace an existing, non-historic one-story addition with a 12-foot wide garage door facing Missouri. This addition was constructed prior to historic district designation.
- The addition does not comply with the Cherokee-Lemp Historic District Standards in the proportions of openings on the Missouri elevation.
- The addition does comply with all other district standards, which do not specifically prohibit front-facing vehicle doors.
- The addition, which includes an elevator, will provide the owners with accessibility to the second floor of their building and an accessible entrance to the first-story commercial space. The slope of the roof and counter-height for a second-story accessible bathroom necessitate somewhat shorter windows at the addition's second story.
- While the property abuts the alley on the north, it is lined with outbuildings. The owners also have security concerns about the entering a garage from the alley. Because of the existing structures on the property, there is no viable way for vehicles to enter the interior and thus avoid the necessity of a street-facing vehicle door. The curb cut on Nebraska is an existing condition.
- The owners have met with the Cultural Resources Office to refine the design to some degree given their desires and requirements. The current, non-conforming garage door is only 12 feet wide; the owners wish to increase this to 16 feet. CRO staff suggested substituting two smaller, historically-detailed doors that would be more compatible with historic vehicle openings and would reduce the impact of such a large garage door on the historic streetscape. After initially agreeing to this change, the owners decided that standard 8-foot-wide vehicle doors are not sufficient for their needs and would like a 16-foot-wide door.
- The owners are requesting the Preservation Board's approval of their proposal, based on accessibility requirements and site conditions.

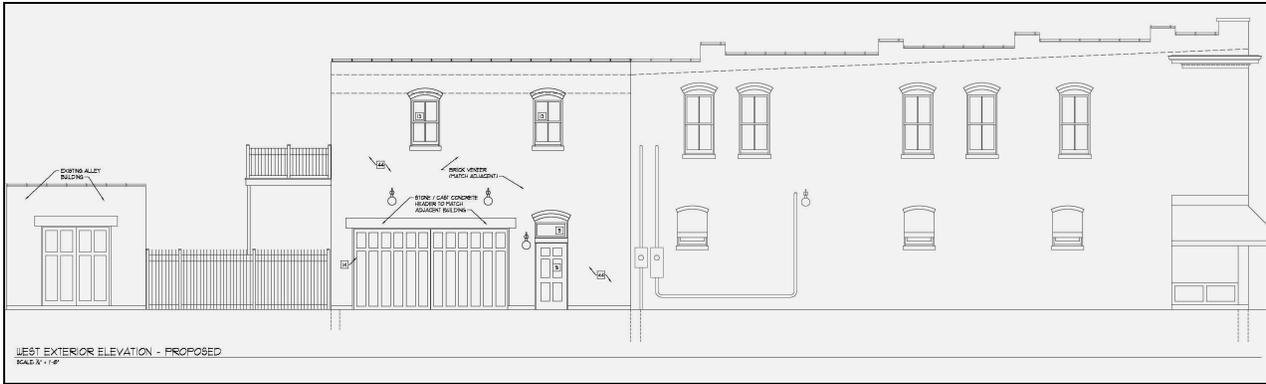
Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board deny the new application for the proposed new addition because it is not in compliance with the Cherokee-Lemp Historic District standards.



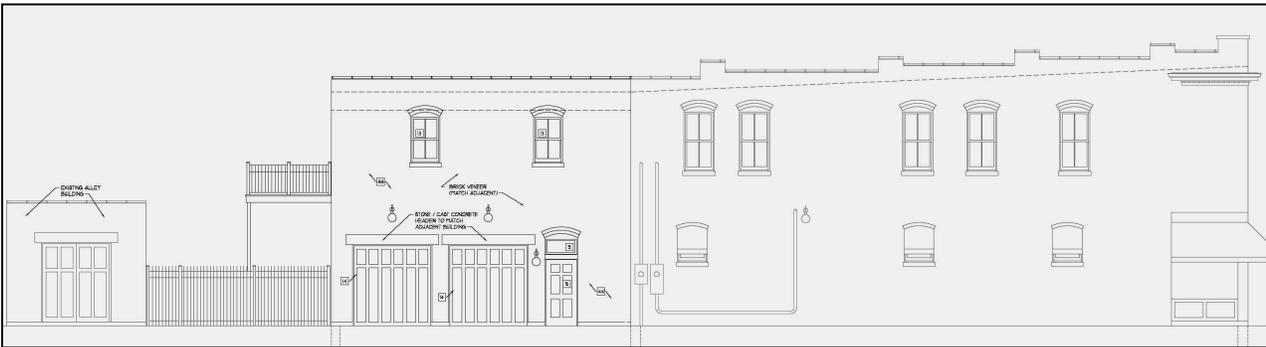
WEST ELEVATION WITH EXISTING REAR ADDITION



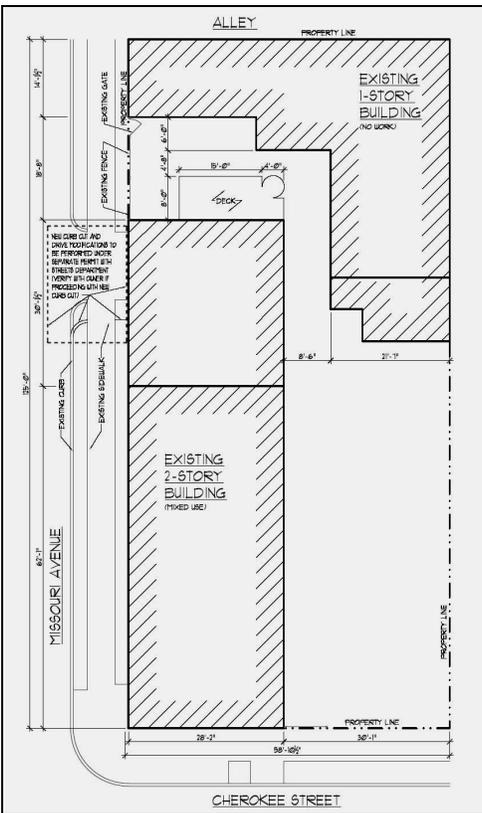
DETAIL OF CURRENT ADDITION



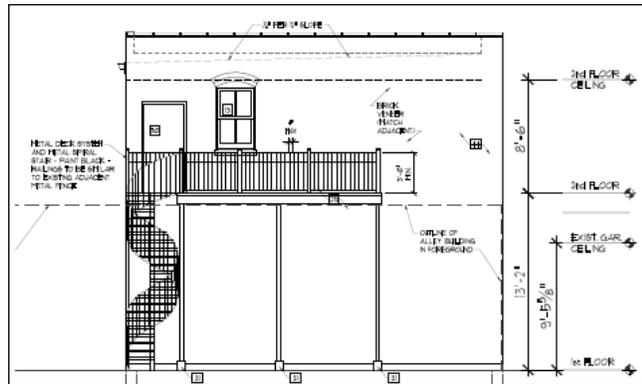
PROPOSED ADDITION WITH 16-FOOT VEHICLE DOOR



PREVIOUS PROPOSAL WITH TWO 8-FOOT DOORS



SITE PLAN



NORTH FAÇADE



EAST FACADE



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

C.

DATE: March 24, 2014
 ADDRESSES: 721 N. Kingshighway and 5016 Enright Avenue
 ITEM: Demolition of two buildings prior to the construction of a commercial building
 JURISDICTION: Mount Cabanne Raymond Place National Register Historic District — Ward 18
 STAFF: Jan Cameron, Cultural Resources Office

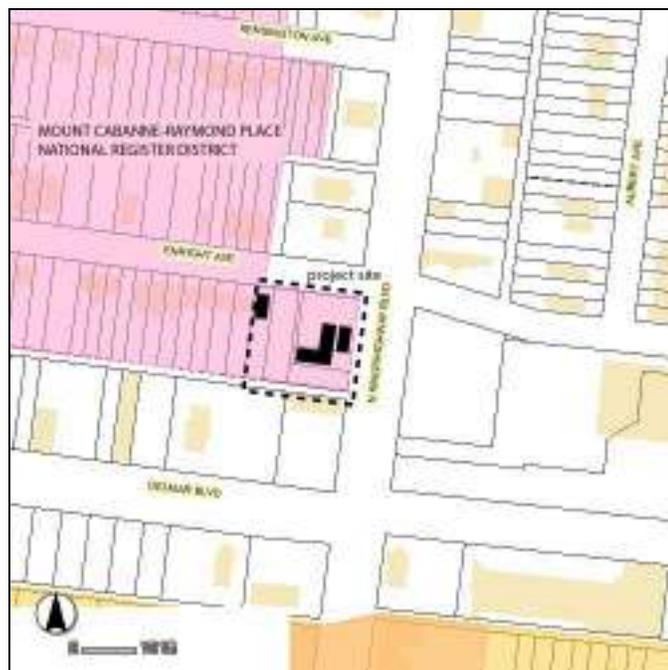


CORNER OF ENRIGHT AND KINGSHIGHWAY

OWNER:
 Morning Star Properties, LLC

APPLICANT:
 J & T Associates/James Thomas
 (demolition)
 Stock and Associates
 (construction)

RECOMMENDATION:
 That the Preservation Board allow demolition of 5010 and 5014 Enright for the proposed new construction, with the condition that a landscape buffer be installed along the western property line.



THE PROPOSAL:

The review of demolition permits and new construction was initiated by the demolition of a single-family residence at 5016 Enright and the partial demolition of a two-story service station at 721 N. Kingshighway without approved demolition permits, and without review by the Cultural Resources Office. A Stop Work Order has been issued by the Building Division.

Both properties are identified as contributing resources to the Mount Cabanne-Raymond Place National Register Historic District nomination.

RELEVANT LEGISLATION:

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832

SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.

Not applicable.

- B. Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.**

The Mount Cabanne Raymond Place Historic District was listed in the National Register of Historic Places in 2002. The district has historical significance as the home of a prominent Jewish population which settled around the B'Nai Amoona temple. Its architectural significance has also been noted as the neighborhood was an extension of the desirable West End neighborhoods where fine materials and detailing made the neighborhood a showplace for craftsmen's work in brick and stone. The period of significance covers the years between 1890, when the first extant building was constructed, to 1943, the year that B'Nai Amoona left the neighborhood and the city.

5016 Enright was one of three similar houses that Rev. Othniel A. Bartholomew had built at 5016, 5020 and 5024 Enright in 1892. The two-story Queen Anne style houses were representative of the national architectural trends as interpreted by local contractors. Rev. Bartholomew's houses— likely built speculatively as were many buildings in the district— are among the approximately 20 houses in the Queen Anne style in the Mount Cabanne neighborhood, most of which were built during the 1890s.

The service station at the corner of Kingshighway and Enright is a second generation building that replaced a property at this location that was tied to the historical significance of the neighborhood. The United Hebrew Congregation worshiped in a church property at the corner of Kingshighway and Enright from circa 1907 until 1927, when it built a new temple on Skinker Boulevard. By 1931, the corner property was redeveloped as an automobile service station. Two dwellings, no longer extant, stood south of the church/synagogue building on Kingshighway; the dates of their demolition has not been determined.

Both 5016 Enright Avenue and 721 N Kingshighway are considered Merit buildings under the definition of the ordinance.

- C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.**
- 1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.**

5016 Enright was vacant for over five years before it was extensively damaged by a recent fire. Currently, the building has been demolished down to the foundation.

721 N. Kingshighway, also vacant for the last few years, was in sound condition before the contractor began demolition. Approximately one-third of the building has been demolished and the front façade has lost half of its façade brick.

- 2. Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.**

Not applicable.

D. Neighborhood Effect and Reuse Potential.

- 1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.**

Most of the Kingshighway frontage was not included in the historic district to the west as its redevelopment as a commercial corridor had long been underway. The blockfaces on Kingshighway are quite varied in the extent to which buildings stand on them, the age of the buildings, and the level of occupancy and maintenance.

Enright exhibits some of the loss of buildings found throughout the historic district. However, 2016 Enright was the easternmost of an intact row of 11 on the south side of Enright, just west of Kingshighway.

- 2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.**

The reuse potential of the two-story service station was not particularly great as the types of businesses likely to locate on a commercial thoroughfare of Kingshighway tend to be franchise operations or businesses that have standardized requirements. In general, a two-story building would not be useful to such businesses.

- 3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.**

The applicant has not submitted any information regarding economic hardship.

E. Urban Design. The Office shall evaluate the following urban design factors:

- 1. The effect of a proposed partial demolition on attached or row buildings.**
- 2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.**

The loss of the residence at 2016 Enright shortens the row of residential buildings and reduces the continuity of that blockfront and further degrades the district's context. Loss of the two-story service station has only minor impact on the district, given the surrounding, incompatible uses along both sides of Kingshighway.

- 3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.**

The service station building met the definition of a property that is a contributing one in the historic district, but is not considered to be particularly important to convey the historical significance or quality of the residential architecture of the historic district. The adjacent properties on Kingshighway are not included in the historic district, and 5010 Enright is perceived as part of the varied Kingshighway commercial corridor.

- 4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.**

Not applicable.

- F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:**

- 1. The applicant has demonstrated site control by ownership or an option contract;**
Morning Star Partners is the owner of record in GEO St. Louis; Roberts Brothers Properties LLC is identified as the owner on the Building Permit application. A building permit under the address of 5010 Enright Avenue, for the construction of a one-story Family Dollar store has been approved by the Building Division early this year, but has not yet been issued.
- 2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;**

The proposed construction replaces two vacant, deteriorated buildings, one in very poor condition, with a new, brick-faced store. While the loss of 5016 Enright is considerable, it had suffered a serious fire and partial collapse prior to commencement of the demolition. The loss of the service station has less significance to the integrity of the historic district as its context is clearly Kingshighway Boulevard.

3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;

The proposed Family Dollar store will have four sides of brick and be sited at the corner of Kingshighway and Enright, with parking to the south side and rear of the building. It appears completely compatible with the motor-vehicle-oriented businesses along Kingshighway. Siting it at the extreme northeast corner of the property will enhance its separation from the context of the historic district.

4. The proposed use complies with current zoning requirements;

The properties are zoned "F," Neighborhood Commercial, and are located in a Neighborhood Preservation Strategic Land Use designation.

5. The proposed new construction would commence within twelve (12) months from the application date.

The project proponents have an approved building permit for the commercial building.

G. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

The properties were not commonly controlled, but were purchased in anticipation of this project.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

Not applicable.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for demolition led to these preliminary findings:

- The buildings are located in the Mount Cabanne-Raymond Place National Register Historic District.
- 5016 Enright, a Merit building, is one of a small group of three Queen Anne style houses built in 1892 that is representative of the style and type of houses built in Mount Cabanne neighborhood.

- 5010 Enright, a Merit building, is an automobile service station built in 1931 near the end of the period of significance for the historic district. It replaced the building used by the United Hebrew Congregation until 1927 when it relocated to its new temple on Skinker.
- 5016 Enright has been demolished to the foundation. The loss of 5016 Enright reduces an intact row of residences on Enright.
- Demolition has begun on 5010 Enright. This service station met the definition of a property that is a contributing resource to the historic district, but is not considered to be essential in conveying the historical significance or quality of the residential architecture in the historic district.
- Most of the Kingshighway frontage was not included in the historic district to the east due to its current development pattern, with motor-vehicle-oriented businesses set back from the street on large lots with substantial parking.
- While the proposed new construction is of brick and will be sited at the extreme northeastern corner of the property, the furthest point from the historic district, it will have some impact upon the district. The trash enclosure and a storm water retention basis are planned to be located on the western property line, close to the extant historic residences.
- The applicants hope to begin the new construction as soon as possible.

RECOMMENDATION:

The Cultural Resources Office recommends that the Preservation Board allow the demolition of 721 N. Kingshighway and 5016 Enright Avenue, with the stipulation that the Cultural Resources Office withhold approval of the demolition permit for 721 N Kingshighway until a plan for a substantial landscape screen at the western edge of the property, including, but not limited to, upper-story trees, fencing and other appropriate sight barriers, is submitted to the Office for approval and is included as an addendum to the current building permit.



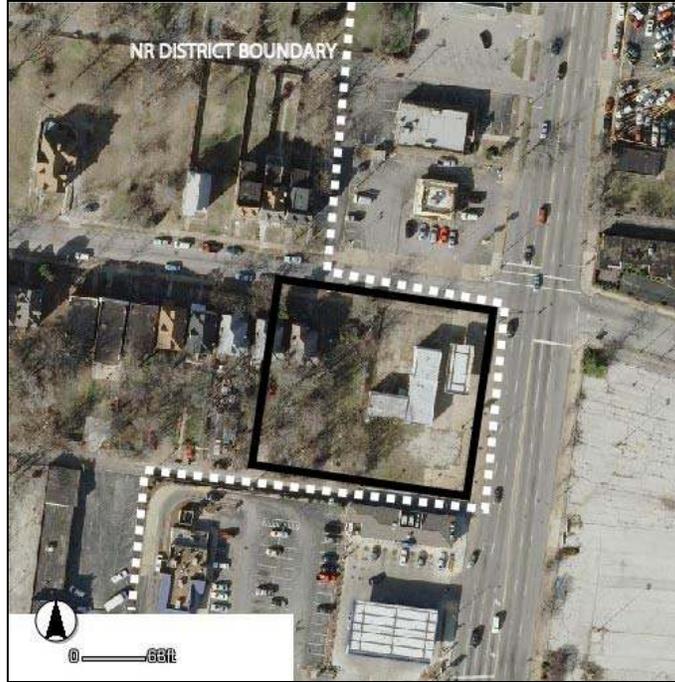
GOOGLE PHOTO OF STATION PRIOR TO DEMOLITION, LOOKING WEST ALONG ENRIGHT



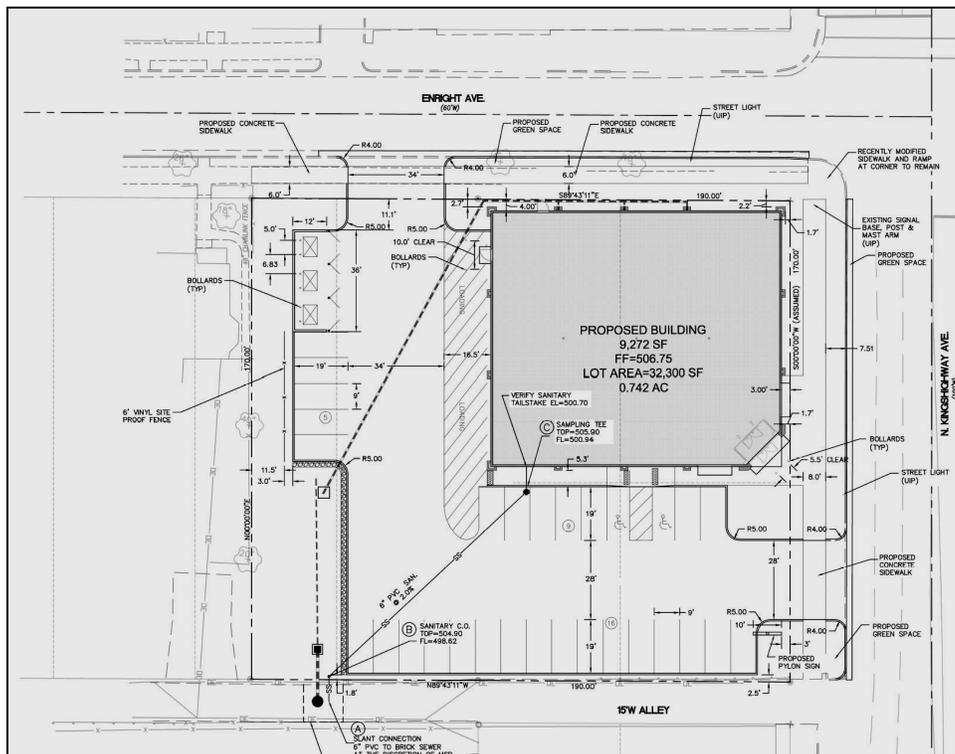
GOOGLE PHOTO OF ENRIGHT STREETScape PRIOR TO DEMOLITION — 5016 ENRIGHT IS ON THE LEFT



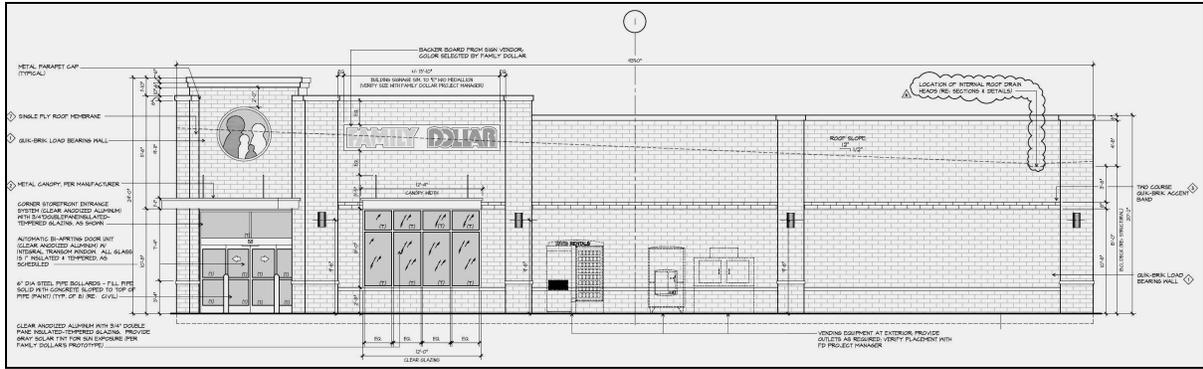
BUILDING UNDER DEMOLITION



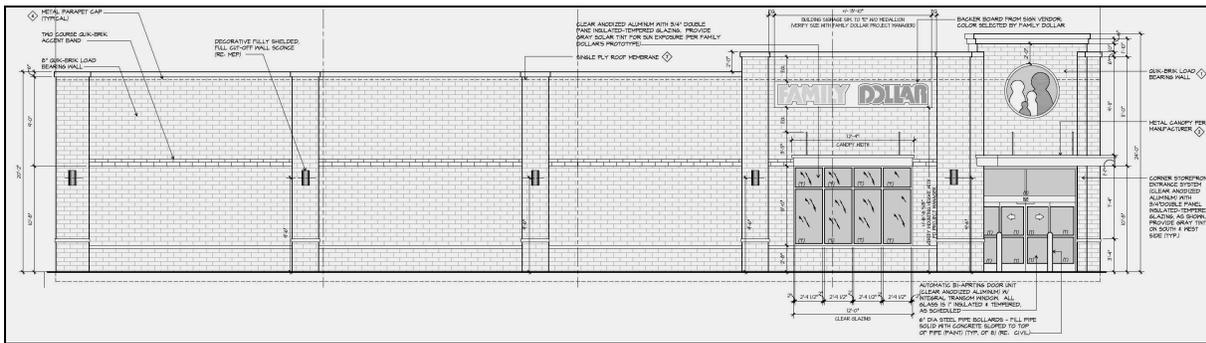
AERIAL OF PROJECT SITE SHOWING NATIONAL REGISTER DISTRICT BOUNDARIES



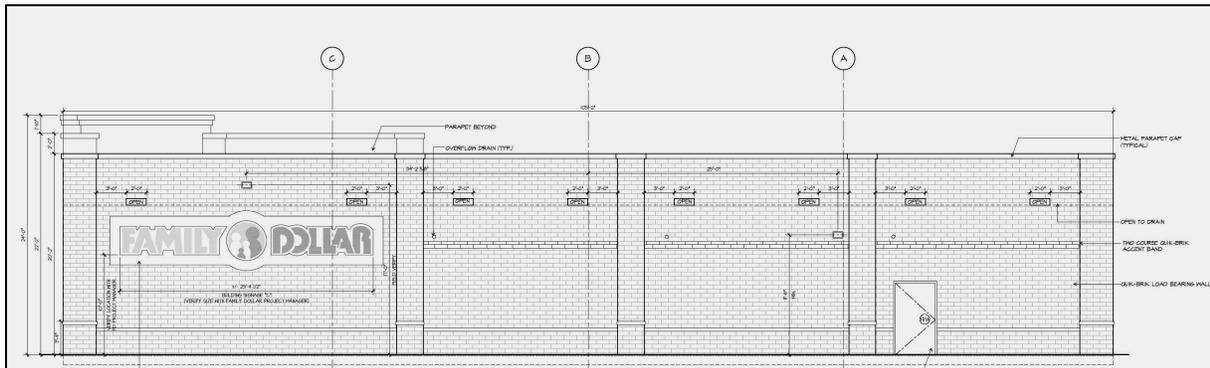
SITE PLAN OF PROPOSED CONSTRUCTION



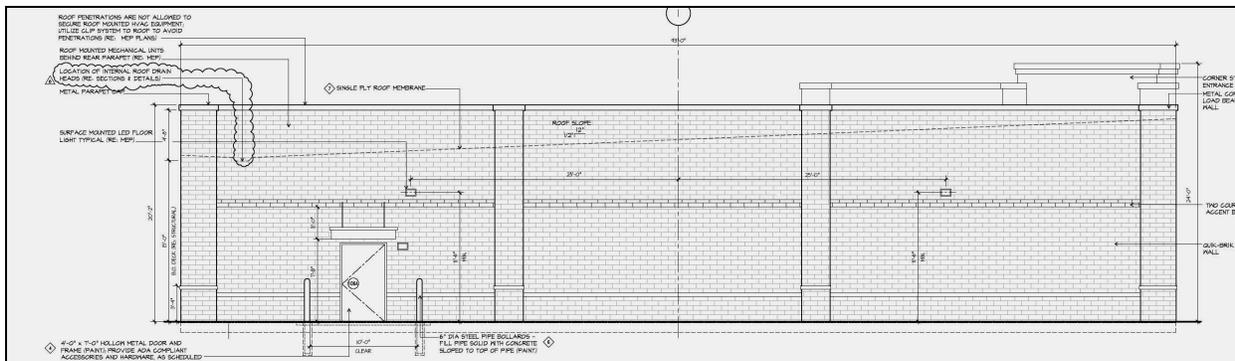
KINGSHIGHWAY ELEVATION



SOUTH ELEVATION



ENRIGHT ELEVATION (FACING NORTH)



REAR ELEVATION (FACING ADJACENT RESIDENTIAL PROPERTY)



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

D.

DATE: March 24, 2014
ITEM: Appeal of Director's Denial to install louvered vents on street-visible windows
ADDRESS: 816 Allen Avenue
JURISDICTION: Soulard Neighborhood Certified Local Historic District — Ward 7
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



816 ALLEN AVE.

OWNER/APPLICANT:
Archbishop of St. Louis

RECOMMENDATIONS:
That the Preservation Board uphold the Director's Denial, as the proposed window alterations are not in compliance with the Soulard Historic District Standards.



RELEVANT LEGISLATION:

Excerpt from Ordinance #57078, the Soulard Historic District:

203 Windows

Comment: Windows of historic buildings are a very important part of a building's historic character.

203.1 Windows at Public Facades

Windows in Public Facades shall be one of the following:

The existing window repaired and retained.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lights, their arrangement and proportion shall match the original or be based on a Model Example.

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Reconstructed windows and sashes in a Public Facade shall be based on the following;

An adjacent existing window in the same facade which is original; or

If all windows on a facade are being replaced then they shall be based on a Model Example or the window detailed in Figure S.

Glass Types at a Public Facade

Glass in historic windows on a Public Facade shall be one of the following:

Clear glass or other original glazing;

Glass based on a Model Example; or

Insulated glass with its exterior face set 3/8" back from the exterior face of the sash.

The following glass types are prohibited in Public Facades:

Tinted glass;

Reflective glass;

Glass block; and

Plastic (plexiglass) except Lexan or an equivalent.

Does not comply. The original windows are proposed to be replaced by a louvered vent system for a kitchen exhaust fan which will block up one pair of five, identical paired casement windows on the building's primary facade. The vents are not based on a historic model example and adversely affect the building's historic character.

203.2 Windows at Semi-Public Facades

Windows at Semi-Public Facades shall comply with all of the restrictions outlined in Section 203.1 except as noted herein.

Replacement Windows in a Semi-Public Facade

Materials Replacement windows may be constructed of the following materials:

Wood;

Vinyl-coated wood; or

Finished (painted or otherwise coated with color) aluminum. Clear anodized aluminum is prohibited.

Configuration

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lites may be reduced to one over one.

Square head replacement windows may replace original arched-head windows where the apex of the arch is less than 6" above its base. However, the arch shall be maintained with a decorative element of wood, finished metal, or plastic which appears as wood.

Brick Molding

In all cases, the original brick molding shall be retained or duplicated.

Does not comply. As noted above, one pair of casement windows of a row of eight is being blocked with a louvered vent system. This eastern elevation, while considered a Semi-Public Façade, is highly visible from both Allen and 8th Street.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for windows led to these preliminary findings:

- 816 Allen is located in the Souard Local Historic District.
- The proposal calls for the removal of two sets of paired casement windows to be replaced by metal exhaust vents.
- The proposed window alterations do not conform to the Souard Historic District Standards, would be highly visible from the street, and would have a negative effect upon the historic character and appearance of this significant building.
- The applicant contends that venting the exhaust through the building's flat roof, as is the normal procedure, would be prohibitively expensive.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the window alterations as they are not in compliance with the Souard Historic District Standards.



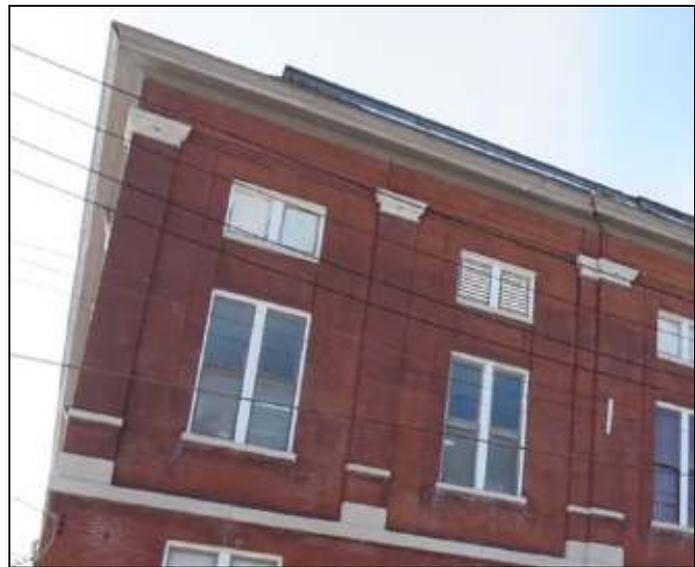
PROPOSED WINDOW ALTERATION FROM ALLEN



DETAILS OF PROPOSED VENTS



**PROPOSED VENT LOCATION ON EAST
(8TH STREET) FACADE**



**PROPOSED VENT LOCATION ON PRIMARY (NORTH)
ALLEN AVENUE FACADE**



E.

**DRAFT PRELIMINARY REVIEW POLICY AND PROCEDURES
CITY OF ST. LOUIS PRESERVATION BOARD**

Ordinance 64689, as amended by Ordinance 64932, sets forth the opportunity for the Preservation Board to conduct a Preliminary Review.

SECTION FORTY. Preliminary design review of proposed construction or Exterior Alterations: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site. The Preservation Board may establish procedures for preliminary design review by the Cultural Resources Director and the staff of the Cultural Resources Office of proposed construction or Exterior Alterations where Landmark or Historic District standards may be expected to apply. If, after a preliminary design review as above, an application for permit is received by the building commissioner which conforms to the plans and specifications as approved at the preliminary design review, the building Commissioner may issue the permit.

Introduction

This document clarifies the types of proposals that the Preservation Board will consider in a Preliminary Review, as well as other policies and procedures of the Board and the Cultural Resources Office regarding such reviews. This policy is intended to make a Preliminary Review a useful tool for the property owner and the City and, by clarifying procedures and setting forth the scope, duration, and applicability of the decisions of Preliminary Reviews.

As set forth in Ordinance 64689, a Preliminary Design Review, hereafter referred to as "Preliminary Review," may be requested for proposed construction, demolition, or exterior alterations. Section 40 (quoted above) states that such a review may take place where Landmark or Historic District standards apply. Approval of a project at the Preliminary Review stage constitutes a general directive to the Cultural Resource Office to convey its approval to the Building Commissioner for the issuance of a Building Permit, *if* the project conforms to the plans and specifications as approved by the Preservation Board in the review.

A Preliminary Review approval indicates support for the project at the time it was presented. The commonly understood definition of "preliminary" is that it is an action or event preceding something more complete or definitive. It is an introductory, or exploratory, review and approval. It is understood that factors within, or outside, the purview of the Preservation Board could subsequently alter the perception of the proposed action meeting the applicable standards or criteria. The Director of the Cultural Resources Office may require a subsequent

Preliminary Review if changes to the proposal that indicate that a subsequent review is necessary. In summary, a Preliminary Review is a good-faith review and approval or denial of a major proposed action, but does not ensure final project approval.

Section I. Preliminary Review: Description and Process

The Preservation Board conducts a Preliminary Review as an agenda item at one of its public meetings. It considers the historic district or landmark standards pertaining to the proposed action and, if pertinent, demolition review criteria. The Board reviews information provided by the applicant, including financial information, proposed designs, and reasons for the proposed actions. At a public Preservation Board meeting, the Board also hears testimony from members of the public and considers communications received by the Cultural Resources Office regarding the proposal.

The Preservation Board may consider such applications in light of the relevant Historic District Plan and Historic District Standards with respect to the intent of the ordinance, the effect of such proposed construction, alteration or demolition on the significant features or characteristics of the Historic District, or, if applicable, Landmark or Landmark site, which were the basis for the Historic District or Landmark or Landmark site designation.

After due consideration of the evidence, including opinions of those providing commentary on the proposal, review of the standards and criteria pertaining to the project, and recommendation of the Cultural Resources Office, the Board may grant or withhold preliminary approval of the action(s). The Board may approve all or part of the proposal; it may qualify its approval with one or more stipulations to be met prior to the Cultural Resources Office's recommendation for the issuance of a building or demolition permit. The Board may also delay making a determination on the proposal, and request that more consideration be given to one or more aspects of the proposal, or that more consultation take place.

Only the Preservation Board conducts Preliminary Reviews that result in clear direction for the support, or lack of support, for a proposal. While the Cultural Resource Office meets with project proponents at various stages in project planning and design, it does not conduct Preliminary Reviews in terms of Ordinance 64689.

Section II. Applicability

A Preliminary Review is appropriate for some types of projects and unnecessary for others. A Preliminary Review is considered appropriate for projects and proposals in which there are distinctive design elements, considerable design development costs, lack of clear direction in pertinent standards, or for which the approval of demolition is desired. As the Preliminary Review is conducted at a Preservation Board meeting, the underlying assumption that the proposal warrants public comment and consideration is another factor considered in determining if a Preliminary Review should take place. A Preliminary Review is not intended to be used for a straightforward, small alteration for which there is clear direction of the applicable standards.

Possible Preliminary Review: New Construction

The Preservation Board reviews all new construction in a local historic district or on a landmark site. This review can be conducted as a Preliminary Review or take place at the time a Building Permit is applied for. A Preliminary Review may be conducted when the proposed design is sufficiently developed so that the Board has a firm proposal to review. Preliminary Review should not be considered as part of a design-build process. Exterior materials review should be included for all projects other than single-family dwellings and for buildings of that type if the Cultural Resources Office staff requests it.

Alterations to a design approved by the Preservation Board may require the altered design to return to the Preservation Board for approval. The Cultural Resources Office shall not approve a proposal that has received approval by the Board following a Preliminary Review **and** has been subsequently altered to the extent that it does not meet the applicable standards and/or is significantly different from the proposal as approved by the Board at the Preliminary Design Review.

Possible Preliminary Review: Demolition

The Preliminary Review of demolition is recommended when a building is protected by its status by law as set forth in St. Louis City Ordinances. These properties include those located in Local Historic Districts, properties listed in the National Register of Historic Places or within districts listed in the National Register, as well as those located in Preservation Review Districts, which are afforded this level of demolition review. The Cultural Resource Office's Director's approval of the demolition of Merit and High Merit buildings, as defined by Ordinance 64689, is limited by that ordinance and criteria in Local Historic District Standards.

It is recommended that project proponents request a Preliminary Review of a demolition of a protected property prior to proceeding with any plans for the property and the development of a design for a replacement building. The proposed demolition shall be considered first and separately from any new construction that might take place following demolition. This approach shall be the case for properties in local historic districts that have demolition review criteria incorporated into the historic district standards; the standard demolition review criteria will also be considered in a supplemental manner.

The consideration of subsequent new construction is a demolition review criteria in Ordinance 64689 and 64832, and shall be considered for all properties in Preservation Review Districts at the time of demolition review. Nevertheless, the ranking of the criteria in the ordinances by significance indicates that the significance of the building and other factors must be considered as much or more significant than subsequent new construction. The Preservation Board shall consider factors beyond the fact that a proposed new building meets any other City requirements for new construction. For instance, just because a new building meets the requirements for new construction in a Form Based Zoning District does not mean that the proposed new construction would necessarily be considered as construction that "would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face." (See Appendix B.)

Alternatively, the project proponent may apply for a demolition permit, which would be reviewed by the Cultural Resources Office per the applicable demolition review criteria. If the application for a demolition permit is denied and the owner appeals the denial, the Preservation Board would consider the appeal on the record, and render a final decision as defined in chapter 536 of the Revised Statutes of the State of Missouri, instead of holding a Preliminary Review. See Appendix A for the section of Ordinance 64925 regarding the appeal of such a decision.

Possible Preliminary Review: Exterior Changes

A Preliminary Review may be requested for an addition that is large enough to have a significant impact on the streetscape of an historic district or individual building.

A Preliminary Review may be requested for a project for which there is no clear guidance in historic district or landmark standards.

Excluded from Preliminary Review

A Preliminary Review generally will not be scheduled for an alteration project that does not meet clear guidance in historic district or landmark standards, unless there are unusual circumstances that shall be determined by the Director of the Cultural Resources Office.

Section III. Timing and Integration into Project Planning

A Preliminary Review shall be integrated into project planning that proceeds from the general to the specific in terms of reviews and approvals from City Offices and Boards.

If a project proposed for a Preliminary Review requires approvals and actions from other Boards and Offices of the City of St. Louis, the project proponent shall schedule a consultation meeting with the Cultural Resources Office to consider the broader approvals and reviews necessary in the planning for the project. The Preservation Board does not wish to review a project prior to the receipt of more general approvals or variances that are necessary.

The Cultural Resources Office and project proponent shall review actions to be taken by other City Departments and Boards, such as changes to zoning changes and re-platting, negotiation of a redevelopment plan to be adopted by ordinance, as well as environmental reviews and Section 106 consultation, that may be necessary for the applicant's project to proceed. In order that the project planning and approvals proceed from the general to the specific, the Director of the Cultural Resources Office shall advise the project proponent when it is time for the Preservation Board to hold the Preliminary Review.

This approach allows the applicant to report on other reviews and approvals that have been received or are pending at the time of hearing at the Preservation Board meeting.

Section IV. Period of Preliminary Approval

A Preliminary Review shall take place during active project planning and the decision of a Preliminary Review has a limited period of applicability.

The applicant shall affirm on the application for a Preliminary Review that the proposed work is in an active stage of development and provide a time period for project implementation. The Director of the Cultural Resources Office shall consider this timetable when scheduling a Preliminary Review for Preservation Board consideration.

In order that a Preliminary Review be based on timely and current information, as well as the standards and review criteria, the approval of a Preliminary Review shall no longer be valid after set periods of time, after which the applicant may request a subsequent Preliminary Review or proceed with the application process for building permits and the project will be considered as if there had not been a Preliminary Review.

A Preliminary Review for new construction is valid for 2 years from the time that the Preservation Board grants Preliminary Approval.

A Preliminary Review for demolition is valid for 2 years from the time that the Preservation Board grants Preliminary Approval.

A Preliminary Review for an alteration or addition is valid for 1 year from the time that the Preservation Board grants Preliminary Approval.

Section V. Subsequent Preliminary Reviews

If approval is withheld for a preliminary review, a subsequent review shall not take place without the Director of the Cultural Resources Office's determination that the design of the project, or conditions framing the proposal, are sufficiently different from the original proposal that it merits reconsideration.

A new construction, alteration, or addition project will be scheduled for a second preliminary review of the design if the proposed work differs significantly from that presented at the initial Preliminary Review.

Only revised designs that meet the historic district standards shall be rescheduled for a Preliminary Review. If the design of the proposed work differs significantly from that presented for the Preliminary Review to the extent that the project no longer meets the historic district or landmark standards, and the applicant chooses not to comply with the standards, the Cultural Resources Office will not recommend the application for a building permit be approved. In these cases the applicant may appeal the denial to the Preservation Board.

Section VI. Limitations on the Scope

The Preliminary Approval of a design for new construction pertains only to the location or locations presented in the Preliminary Review.

A project considered for preliminary review may include one or more properties and proposals that are related geographically and are, in a sense, one project.

However, approval at the Preliminary Review stage does not afford approval for an applicant to build that design or designs at any other site. Each new construction project shall have a Preliminary Review that addresses a site and a design.