



**CULTURAL RESOURCES OFFICE  
 PRESERVATION BOARD  
 REGULAR MEETING  
 MONDAY MARCH 26, 2012  
 1015 LOCUST ST. #1200  
 4:00 P.M.**

[www.stlouis.missouri.org/citygov/planning/heritage](http://www.stlouis.missouri.org/citygov/planning/heritage)

Approval of January, 2012 minutes  
 Approval of the current agenda  
 Old Business

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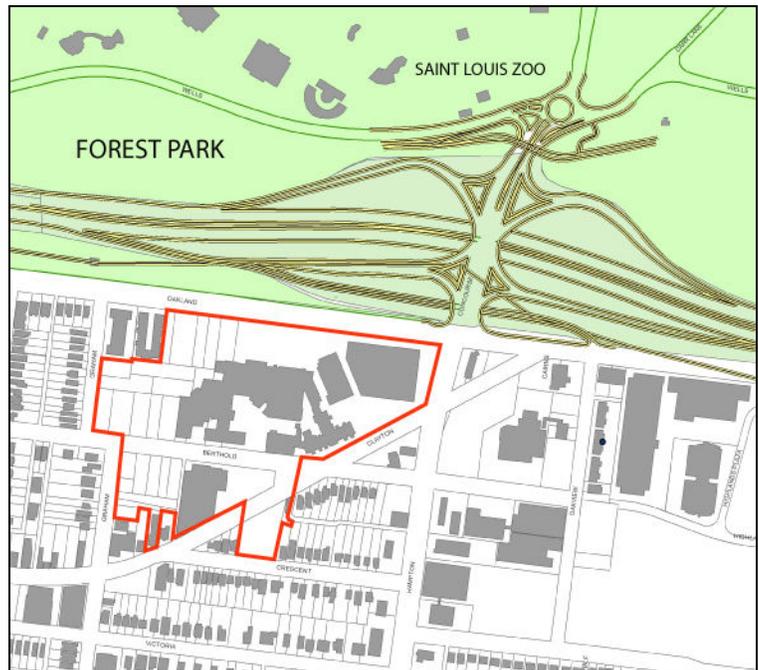
CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**  
CULTURAL RESOURCES OFFICE  
FRANCIS G. SLAY, Mayor

**A-C.**

**DATE:** March 26, 2012  
**FROM:** Betsy Bradley, Director, Cultural Resources Office  
**SUBJECT:** Preliminary review of 8 demolition applications and redevelopment  
**ADDRESS:** (A) 6150 Oakland, (B) 6161 Berthold, and (C) 6216 Oakland  
**JURISDICTION:** Preservation Review District — Ward 24



**FORMER FOREST PARK/DEACONESS HOSPITAL COMPLEX, FACING NORTH**



**OWNER:** Medline Corporation

**APPLICANT:** Saint Louis Zoo

**RECOMMENDATION:** That the Board grant preliminary approval of the proposed demolitions.

**BACKGROUND:**

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By August 2010, the Forest Park Hospital, the former Deaconess Hospital, had merged with St. Alexius Hospital, had closed most of its operations, and Medline Corporation had placed the complex on the market. Some of the tenants remained in the Medical Office Building until recently.

During the last few months, the Saint Louis Zoo has been exploring the purchase of the 13.56 acre hospital campus for an expansion site. At this time, the Saint Louis Zoo is seeking preliminary approval of the demolition of most of the buildings in the hospital complex. The Medical Office Building; a seven-story parking structure south of Berthold; and a small maintenance building are not proposed for demolition.



**MEDICAL OFFICE BUILDING**



**PARKING STRUCTURE ON BERTHOLD**



AERIAL SHOWING PROXIMITY OF FORMER DEACONESS HOSPITAL PROPERTY TO THE ZOO

**RELEVANT LEGISLATION:**

St. Louis City Ordinance #64689

*PART X - DEMOLITION REVIEWS*

*SECTION FIFTY-EIGHT.*

*Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.*

The former Deaconess Hospital property is located in a Preservation Review District.

**St. Louis City Ordinance #64832**

**SECTION ONE. Preservation Review Districts are hereby established for the areas of the City of St. Louis described in Exhibit A.**

*SECTION FIVE. Demolition permit - Board decision.*

*All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:*

- A. *Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.*

**Not applicable.**

- B. *Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.*

**The Preliminary Review applications prompted the Cultural Resources Office to evaluate the architectural and historical significance of the former Deaconess Hospital property, which was developed over a period of eight decades. The portions of the complex that comprise the historic core of the property are: the Main Hospital (1929-30), the Boiler House (1929-30), the Sisters' Home (1942), the Gerhold Hall School of Nursing (1946), the Chapel (1956), and the South Building (1956). These and the other buildings proposed for demolition are depicted in the Image Gallery at the end of this agenda item on page 16.**

**The former Deaconess hospital on Oakland Avenue is related to an organization with historic significance, the Evangelical Deaconess Society. However, it is important to determine when the organization was historically significant and the extent to which the complex, as it appears today, can convey that time period and its important history.**

**The Deaconess Movement.** The Evangelical Deaconess Society of the German United Church of Christ denomination represents the initiatives of Protestant denominations to provide the opportunity that Catholic women had to become nursing sisters. In 1889, an Evangelical Deaconess Society was organized in St. Louis. The Evangelical Deaconess Society concept spread quickly and widely where the Evangelical Synod had a presence. The Tabitha Institute in Lincoln, Nebraska was founded the same year as the first home and hospital in St. Louis. By 1920, facilities were opened in Marthasville and St. Charles, Missouri, ten other mid-western cities and in Baltimore. Many of these organizations erected hospitals of the scale of the Oakland Avenue facility.

The St. Louis Deaconess Society's first two facilities in St. Louis provided hospitals with living quarters nearby, as the Motherhouse where the Sisters lived was an important component of the nursing sisters' vocation. The Sisters first occupied a large house adapted for their use, and later used a converted school. Both of these properties have been demolished.

**The Oakland Avenue Facility.** In 1929 the Deaconess Society began the construction of a hospital on the south side of Oakland Avenue, facing Forest Park, a facility designed by the architectural firm of T. P. Barnett Co. The hospital had a shallow "U" shape with wings angled from the Oakland Avenue front block. The seven-story building had orange clay tile roofs on a central projection from the main block and on elevator towers placed at the intersection of the front block and side wings (Fig. 1). The hospital was substantial and handsome with restrained architectural embellishment. The Deaconess Sisters lived on one floor of the hospital and in rented quarters until the Sisters' Home was constructed. A power plant was built on the south side of the parcel at the same time, a facility that would be expanded and updated to serve nearly the entire complex that was constructed.



FIG. 1. UNDATED POSTCARD

The Society next built the Sisters' Home (Gray & Pauley, 1942) located west of the hospital building. Membership in the St. Louis Deaconess Society had peaked in 1937 when there were 144 members. No sisters were added to the sisterhood after 1949, as by that time most women interested in nursing wanted to live as laypersons. Nevertheless, Deaconess Sisters, both active and retired, resided in the Home for several additional decades. In 1942, the Society opened the Deaconess School (later College) of Nursing for laywomen, an institution that grew rapidly. The Sisters built a nursing school building in 1946 south of the Home, now known as the Gerhold Hall School of Nursing (Gray & Pauley, Fig. 2).

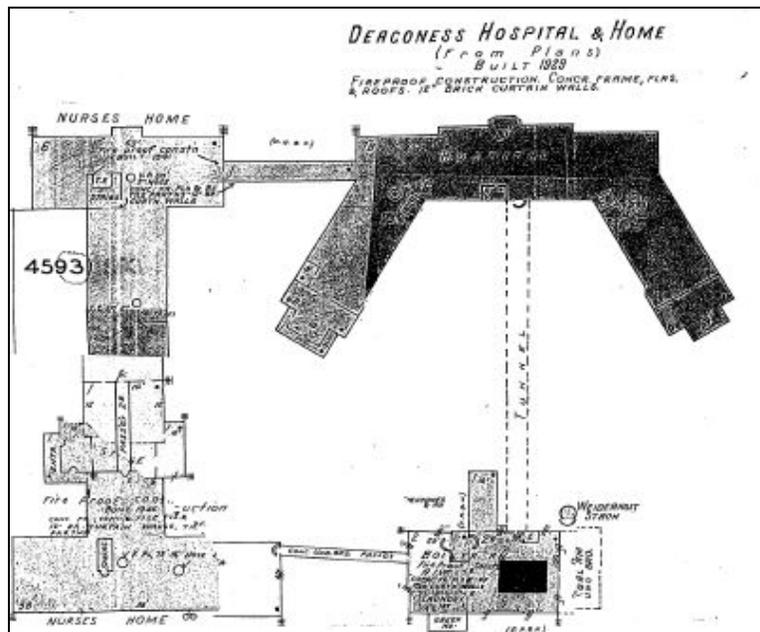


FIG. 2. 1951 SANBORN MAP SHOWING HOSPITAL, SISTERS' HOME AND NURSING SCHOOL

The Deaconess Society expanded the campus during the mid-1950s with two projects it called the Memorial Addition. Charles M. Gray and Jamieson, Spearl, Hammond & Grolock were responsible for the T-shaped South Building that extended from the south end of the eastern wing of the original hospital and the Chapel built on the east side of the hospital. Hammond, Charle & Burns designed small additions to the complex completed during the mid-1960s, including the library, which filled the space between the main hospital building and the front wing of the Sisters' Home. These additions to the facility were designed to be compatible with the original hospital, using variegated shades of yellow/tan brick.

The 1970s and early 1980s brought major expansion of the complex. Edward Wilhelms of Kenneth E. Wishmeyer's office provided plans for a large wing erected between the original two south wings; additional floors were added to this addition. Floors were also added to the South Building, the Boiler House was expanded, and two parking garages were constructed. Also during the

1980s, the hospital portion of the complex received a new architectural identity. A new façade design of horizontal bands of windows and vertical piers (containing new bathrooms) was applied to the street-facing portions of the original hospital wings and the same piers were added to the South Building. The new façades obscure nearly all of the exterior walls of the 1929-30 building, leaving only a portion of the original material of the west wing exposed. The two elevator towers, their clay-tile clad roofs rising above the roof of the original portion of the hospital, remain visible from most vantage points and are the only elements left that convey the appearance of the hospital during its first decades.

The expansion of the facility continued with the construction of the Medical Office Building, designed by Ralph J. Nagel, and built in 1982 on the east side of the hospital. Nagel's design introduced a glazed wall aesthetic to the complex and furthered the prevalence of the late twentieth-century architectural vocabulary. Completing the complex, the Centennial Building (Hastings+Chivetta, 1996) was placed on the west side of Gerhold Hall. Ownership and management changes also marked the 1990s. Deaconess Hospital merged with the Incarnate Word facility on Grand Avenue in 1995. Tenant, a for-profit hospital corporation, purchased the Deaconess facility in 1997 and renamed it the Forest Park Hospital in 1999.

Evaluation. The history of the Evangelical Deaconess Sisters in St. Louis represents a significant aspect of local religious, social and medical history. However, the period of historic significance and the appearance and extent of the property at that time must have a strong correlation in order for this property to be able to convey that history. The construction and expansion of the Deaconess site, its evolution into a modern medical complex, coupled with its transition from a society of nursing sisters to an instructional institution for laypersons, transformed the facility from 1930 to 1956. Though its name and use remained unchanged, the period of historic significance, which is not the same as the period of use and continued expansion, did not continue for the Deaconess Hospital. After that time, the continuing expansion of the facility, coupled with new architectural expression during the 1980s, significantly reduced the hospital's historic integrity.

The extent to which the facility on Oakland Avenue can convey the historically significant period of the Deaconess Hospital, from 1930 to 1956, is limited. The changes made after the 1950s obscure the historic scope of the property, and give this medical complex the identity of a late 20<sup>th</sup> century institution. In other words, the hospital's success and growth during the last quarter of the twentieth century obscures the property's ability to represent its earlier history. For these reasons, the entire complex is not eligible for listing in the National Register of Historic Places and is not considered to be a High Merit property. This conclusion echoes the one made when the property was evaluated in 2002 for the I-64 reconstruction project in 2002, and historic

preservationists at the Missouri Department of Transportation and State Historic Preservation Office agreed that the property was not eligible for listing in the National Register due to the alterations that had been made to it.

**Recommendation.** It is recommended that the Main Hospital Building and its additions and related components and the South Building be considered not eligible for listing in the NRHP due to lack of historic integrity. Therefore these two buildings would be non-contributing properties in terms of Ordinance 64689. It is recommended that the Sisters' Home and the Gerhold Hall School of Nursing be considered as Contributing buildings, properties that would contribute to a NRHP listing, but not eligible by themselves. The Chapel is in the same category, a Contributing building that could contribute to a larger historic resource, but not eligible by itself. The Boiler House represents a service function and would not have any historic or architectural significance other than as a component of a larger historic property, and therefore would also be a Contributing building.

The Hampton-Oakland Garage (1975) is not identified as a Merit building due to its lack of architectural and historical distinction. The Centennial Pavilion (1996), as a recently constructed building, would not be a Contributing component of an historic property.

C. *Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.*

1. *Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.*

**The Hampton-Oakland Garage has been condemned, has not been used recently for this reason, and consequently is proposed for demolition. There is no question that the rest of the buildings on the Forest Park Hospital property are sound.**

2. *Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.*

**Several of the buildings are attached to others. The applicant reports that its investigation of the property indicates that the chapel was built with three new walls, using the east wall of the hospital as its west wall. It is likely that this condition occurs in other places where wings have**

**been added. The buildings not proposed for demolition are free-standing.**

*D. Neighborhood Effect and Reuse Potential.*

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

**Currently, the hospital complex is the only noticeable vacant property in the immediate vicinity.**

2. *Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.*

**Recently, two historic hospitals in St. Louis were rehabilitated for residential use, the Homer G. Phillips Hospital and City Hospital. Both of these complexes were listed in the NRHP and therefore both federal and state historic tax credits were available for the projects, and no doubt were essential for their success. As the former Deaconess Hospital complex would not be eligible for listing in the NRHP, it is not anticipated that the former Deaconess Hospital could be a similar type of redevelopment project for any owner.**

**The site of the former Arena, immediately east of the property across Hampton Avenue, is in the process of being redeveloped with a variety of building types. The residential areas south and west of the property are stable and not a deterrent to the reuse of this property, or its redevelopment.**

3. *Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

**Not applicable in this review, as redevelopment is proposed.**

*E. Urban Design. The Office shall evaluate the following urban design factors:*

1. *The effect of a proposed partial demolition on attached or row buildings.*  
**Not applicable.**
2. *The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.*

**The former Forest Park Hospital complex is large enough to be considered a component of the urban landscape that is complete in itself; it is perceived as a complex rather than as part of an urban blockface.**

3. *Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.*

**The location of the former Forest Park Hospital campus on the south side of Oakland Avenue and I-64/40 contributes to the perception of its stand-alone character. This identity as a complex is reinforced by the contrast between this campus and the new development on the east side of Hampton Avenue, the commercial development south on Hampton and the residential areas to the south and west. Located on a higher grade than the area to the west, the hospital complex, particularly the elevator towers with clay tile roofs, has long been a visual landmark in the vicinity.**

**The proposed demolitions and redevelopment of this site would be transformative, although not likely to reduce the stand-alone character of the property.**

4. *The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.*

**Not applicable.**

- F. *Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:*

1. *The applicant has demonstrated site control by ownership or an option contract;*

**The applicant has applied for a preliminary review of demolition while having an option to purchase the property.**



PLAN VIEW DEPICTING SHORT-TERM REDEVELOPMENT CONCEPT



BIRD'S EYE VIEW DEPICTING SHORT-TERM REDEVELOPMENT CONCEPT

2. *The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly adjoining/abutting facilities require additional off-street parking;*

**The Saint Louis Zoo has identified the former Forest Park Hospital campus as a property close to its existing facility, which is land-locked in Forest Park. The Zoo has studied the property and its existing buildings in order to develop an interim plan for the property as it considers more long-term use and redevelopment possibilities. As part of the short-term use of the property, the Zoo has identified which buildings it would like to keep standing and use. The Medical Office Building provides nearly move-in ready laboratory space and room for additional functions of the zoo.**

**The provision of additional parking for zoo visitors is included in the proposed redevelopment. Parking other than in the zoo lot, typically along the roadsides in Forest Park, has caused considerable traffic congestion. Off-site parking is proposed and will make use of existing facilities. The larger parking structure that is in good condition will be retained for use, as will the existing surface lots, which will be refurbished. Two rows of parking will be added to the western lot. While this parking would not directly abut the zoo, a condition which is not attainable, parking on this property is proposed as a problem-solving solution that would also improve traffic flow on Hampton and in Forest Park by removing parked cars from the sides of roadways. Parking lots will be added on the eastern portion of the property to serve the existing Medical Office Building and the proposed commercial building development at the corner of Oakland and Hampton.**

**The Saint Louis Zoo states that it would develop a long-term plan for the property collaboratively with a variety of stakeholders. At this time, the Zoo envisions the construction of commercial space, amenities on the grounds, such as playgrounds for neighborhood residents and Zoo visitors, residential development on the existing parking lot south of Clayton, and perhaps a multi-modal transportation hub and a physical connection to the Zoo's main campus.**

**The proposed redevelopment would transform the densely-developed site into one with a quite different character. The one component that the redevelopment plan does not include is a strong vertical landmark that would replace the towers of the hospital.**

3. *The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;*

**Not applicable.**

4. *The proposed use complies with current zoning requirements;*

**The Zoo will be reviewing proposed uses and any rezoning that might be needed.**

5. *The proposed new construction would commence within twelve (12) months from the application date.*

**The Zoo plans to begin adapting the Medical Office Building for its use within four months after closing on the property.**

- G. *Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.*

**Not applicable, strictly speaking, but the former Forest Park Hospital is the only large, already assembled parcel in close proximity to the Zoo.**

- H. *Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.*

**The buildings do not include any accessory structures.**

**COMMENTS:**

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The Cultural Resources Office concludes that, due to the continual development of the former Forest Park Hospital campus, it can no longer convey the period when it had historic significance: from 1930 to 1956 as the Deaconess Hospital. Therefore, it is not considered eligible for listing in the National Register. Based on the alterations to the central component, the Hospital, the complex is not considered to be a High Merit property. While some of the individual buildings are in the Contributing category – the Sisters’ Home, the Gerhold Hall School of Nursing, the Chapel, and the Boiler House – they are inextricably associated with the hospital and larger entity in their potential historic significance. These are not portions of the complex proposed for retention and continued use.

The new owner has identified buildings that it can make use of and will be keeping. The proposed subsequent development depends on the demolition of the other buildings in order to meet the Saint Louis Zoo's critical needs, which include off-site parking. The demolition review criteria acknowledge parking as a legitimate component of subsequent redevelopment. Though the short-term use and redevelopment of the site is modest, the size of the property affords the room to realize the potential uses identified at this time in the long-term development of the property and, no doubt, others.

One aspect of the demolition program that would acknowledge the history of the Deaconess Society's work at this location is the Zoo's commitment to honoring the request of the Deaconess Foundation to acquire some architectural features of the site, including cornerstones, sculptural elements, chapel furnishings, and stained glass.

**COMMUNITY CONSULTATION:**

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The Cultural Resources Office has not received any formal communication from the Alderman or other persons or groups regarding the project.

**RECOMMENDATION:**

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The Cultural Resources Office recommends that the Preservation Board grant preliminary approval of the buildings proposed for demolition:

- A. Demolition applications for six buildings: the Main Hospital, South Hospital Building, Sisters' Home, Chapel, Boiler House, and Hampton-Oakland Garage at 6150 Oakland
- B. Demolition of the Gerhold Hall-School of Nursing at 6161 Berthold
- C. Demolition of the Centennial Pavilion at 6216 Oakland

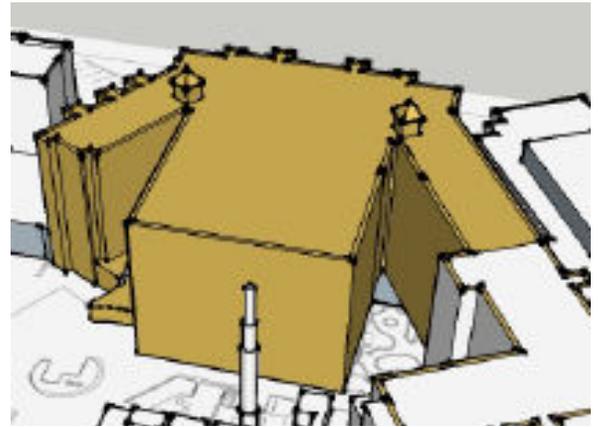
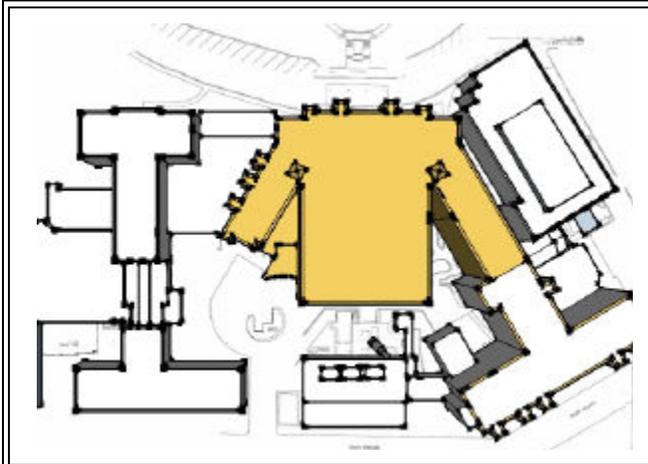
These recommendations are based on the fact that the main portion of the property is not a High Merit property; and that the Saint Louis Zoo proposes interim and long-term redevelopment plans and the other criteria to be considered.

**CONTACT:**

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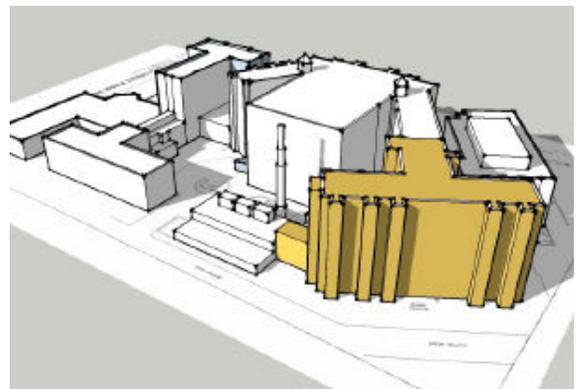
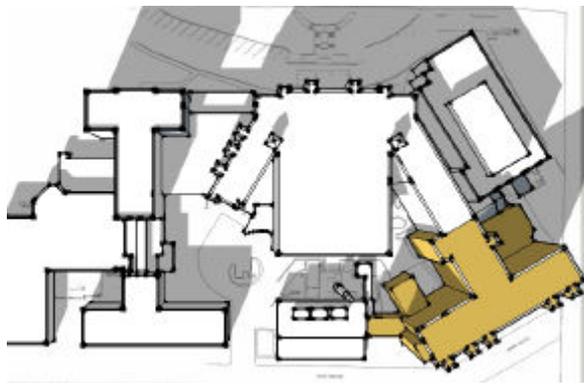
Betsy Bradley	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 206
Fax:	314-259-3406
E-Mail:	<a href="mailto:bradleyb@stlouiscity.com">bradleyb@stlouiscity.com</a>

## Former Deaconess and Forest Park Hospital Image Gallery

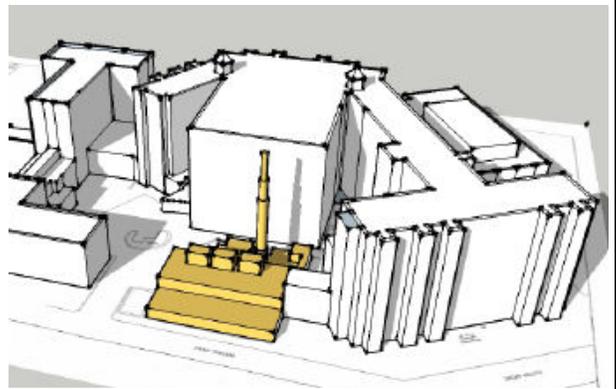
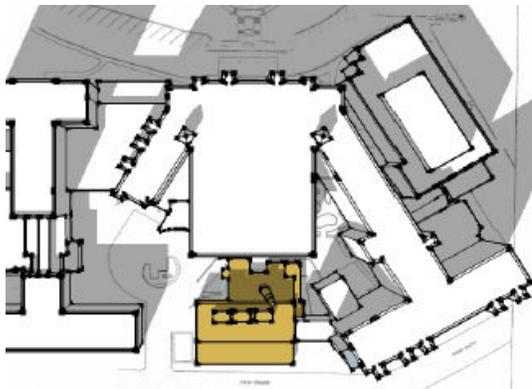


**Main Hospital**  
6150 Oakland Avenue  
1929-30, T. P. Barnett Co.  
Rear Central addition:  
1966, floors added 1970s  
New Façade: 1980s



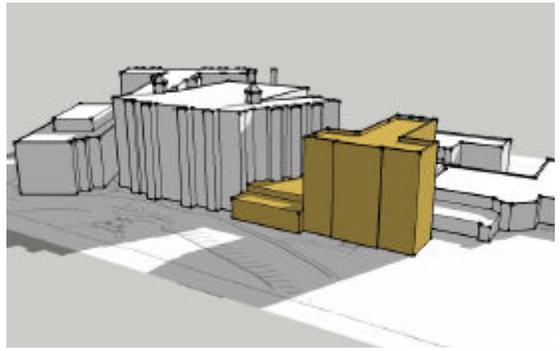
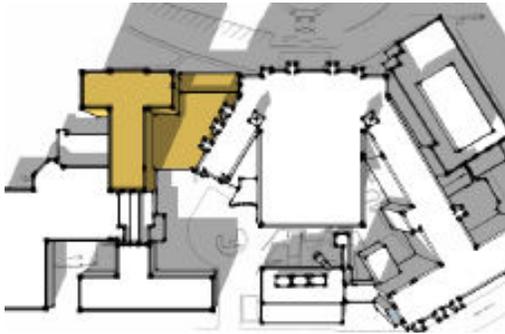


**South Building, Memorial Addition**  
 1956, Charles M Gray & Jamieson, Spearl,  
 Hammond & Grolock  
 1970: Hammon, Charle & Burns



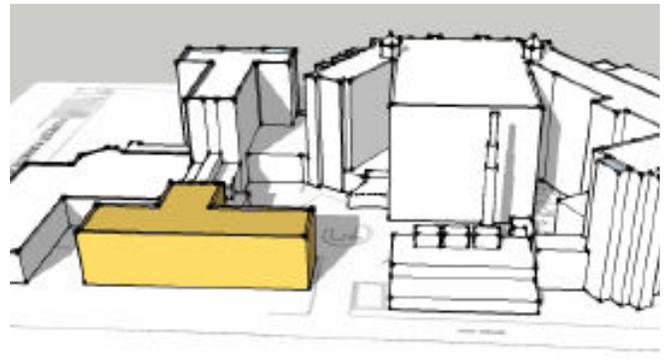
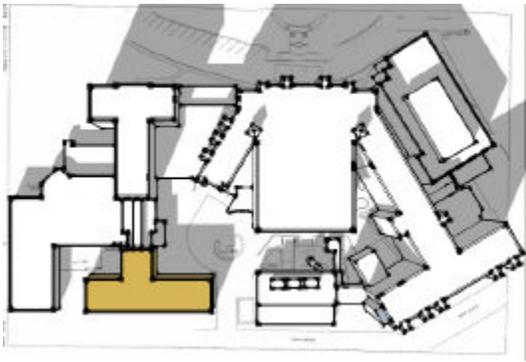
**Power Plant**  
 1930  
 1977 addition



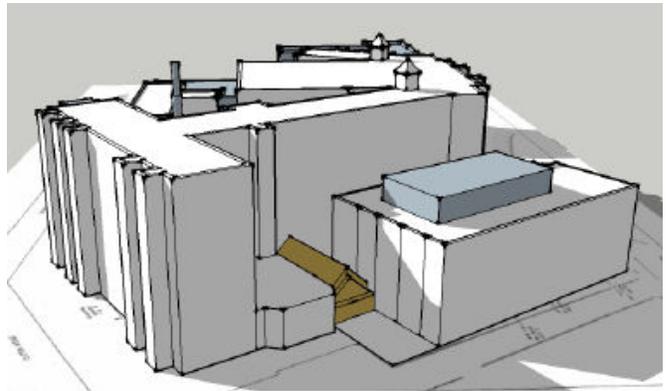
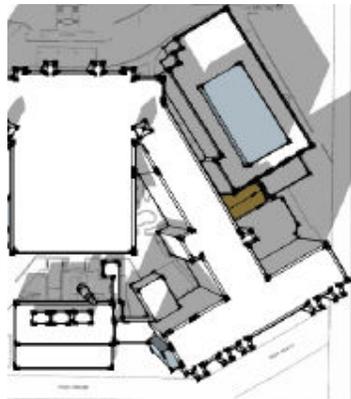


**Sisters' Home and Library**  
Home: 1942, Gray & Pauley  
Library: 1965, Hammond, Charle & Burns



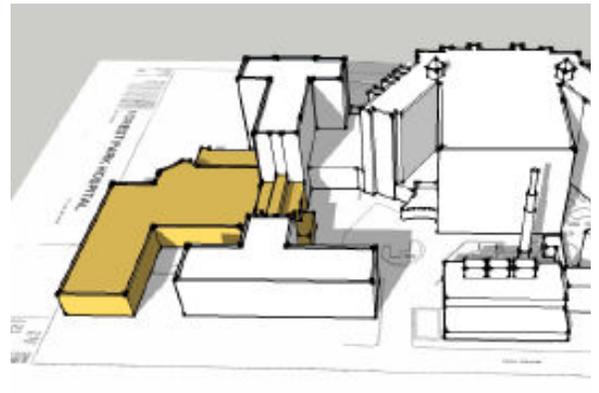
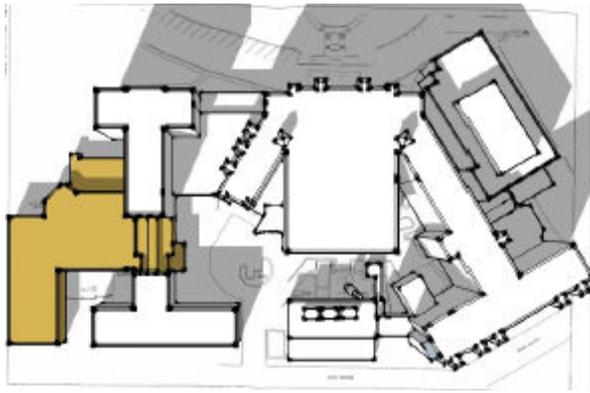


**Gerhold Hall School of Nursing**  
1942, Gray & Pauley

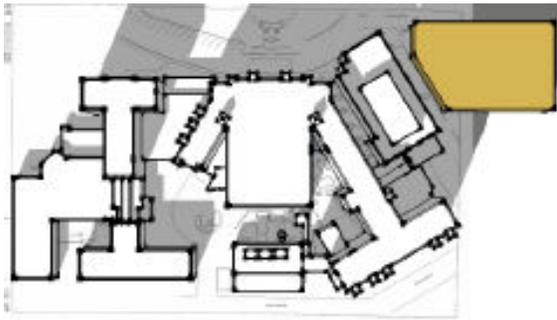


**Chapel, Memorial Addition**  
1956  
Charles M. Gray & Jamieson, Spearl,  
Hammond & Grolock





**Centennial Pavilion**  
1996  
Hastings+Chivetta



**Hampton-Oakland Parking Garage**  
1975





CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**

Cultural Resources Department

**D.**

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**Date:** March 26, 2012  
**To:** City of St. Louis Preservation Board  
**From:** Jan Cameron, Cultural Resources Office  
**Subject:** Preliminary Review: New Construction of a detached single-family house  
**Address:** 2830-36 McNair Avenue  
**District:** Benton Park Local Historic District — Ward 9



2830-36 McNAIR

**Owners:**  
Joel and Stephanie Steele

**Architect:**  
Jeff Day and Associates

**Staff Recommendation:**  
That preliminary approval be granted, subject to finalization of design details and receipt of full architectural drawings for staff review.

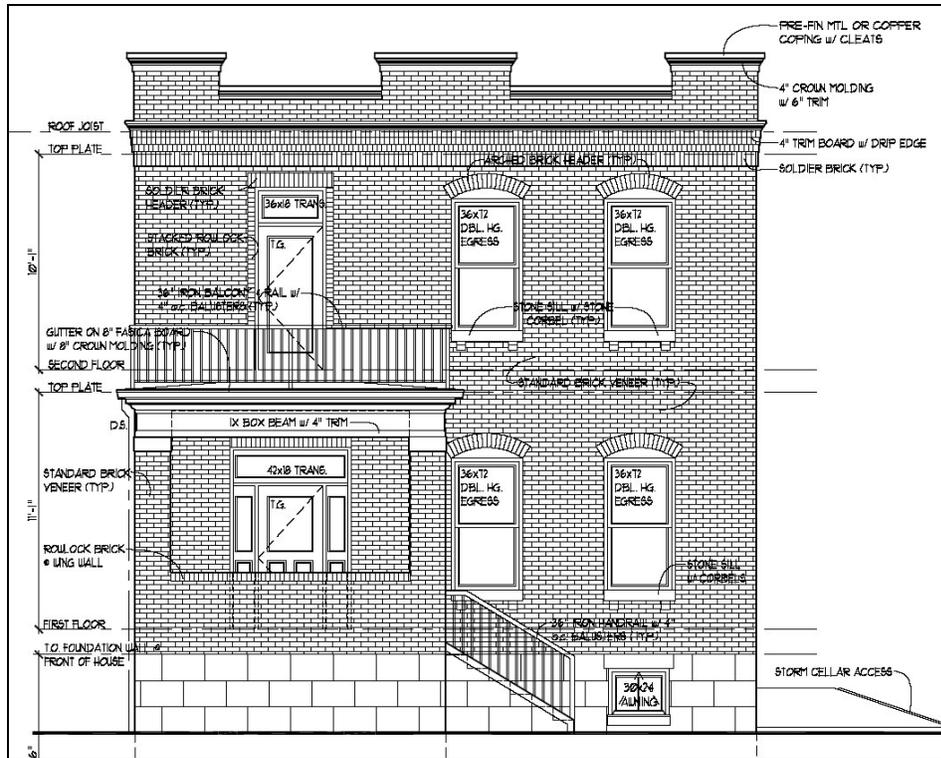




SITE WITH ADJACENT PROPERTIES

**BACKGROUND:**

The Cultural Resources Office staff received a request for a Section 106 review from the Community Development Agency, which proposed to assist the owners in developing a new single-family house in the Benton Park Local and National Register Historic District. The project was at the same time submitted for review by the Cultural Resources Office under local district standards, and scheduled for review by the Preservation Board.



FRONT ELEVATION



HOUSE ADJACENT TO SOUTH



BUILDINGS NORTH OF SITE

**RELEVANT LEGISLATION:**

Excerpt from Ordinance #67175, Benton Park Historic District:

**ARTICLE 3: NEW BUILDINGS**

**301 Public and Semi-Public Facades of New Construction**

The Public and Semi-Public Facades of new construction shall be reviewed based on a Model Example taking into consideration the following:

**301.1 Site**

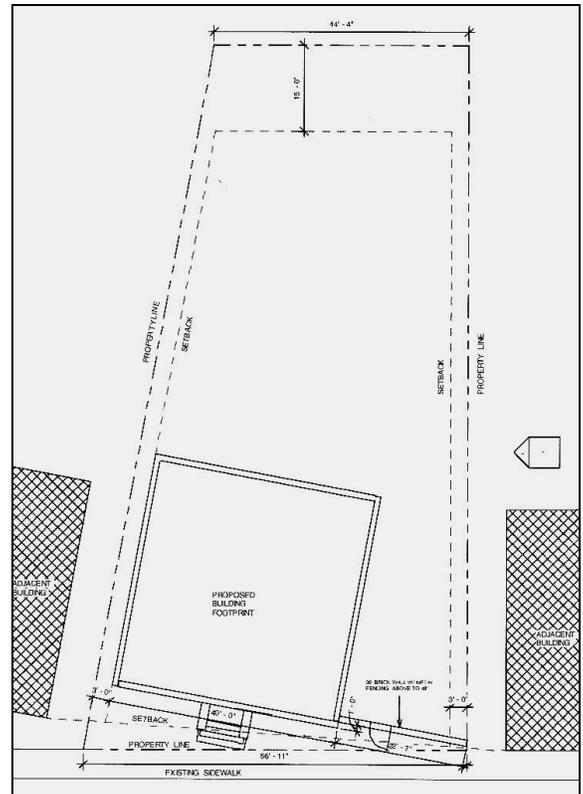
A site plan shall describe the following:

1. Alignment
  1. New buildings shall have their Public Facade parallel to the Public Facade of the adjacent buildings....

**Complies.** The block's building line and alignment is irregular; the Public Facade will face McNair and be parallel to the building to the north.

2. Setback
  1. New buildings shall have the same setback as adjacent buildings....

**Partly complies.** The house will be set back slightly from the building line to accommodate the front porch.



SITE PLAN WITH ADJACENT BUILDINGS

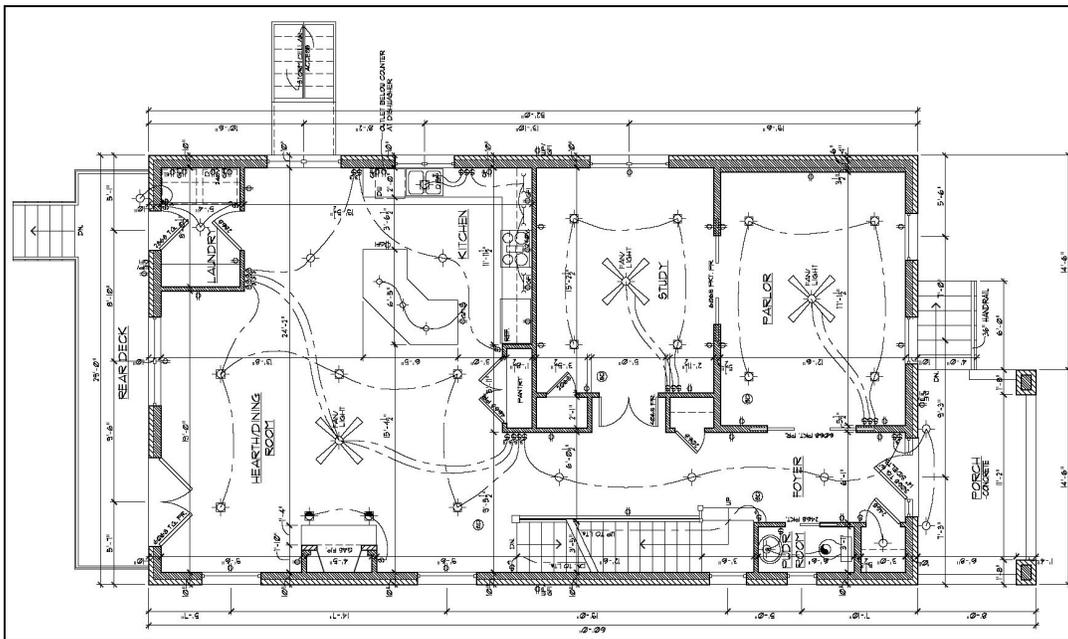


MODEL EXAMPLE SUBMITTED

**301.2 Mass**

Mass is the visual displacement of space based on the building's height, width and depth. The mass of a new building shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

**Partly complies.** The building is somewhat wider than the Model Example submitted, having a front façade width of 39 feet. It is sited on two parcels, however, and there is a variety of building widths on the block. Floor-to-ceiling heights are 11 feet on the first story and 10 feet on the second, which is typical for later, turn-of-the-19<sup>th</sup>-century properties that the design intends to reproduce.



FIRST FLOOR PLAN

### **301.3 Scale**

1. Scale is the perceived size of a building relative to adjacent structures and the perceived size of an element of a building relative to other architectural elements (e.g., the size of a door relative to a window).
2. A new building shall appear to be the same number of stories as other buildings within the block. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings....

**Complies.** The building is two stories in height, consistent with the majority of historic structures on the block. Floor-to-ceiling heights are compatible as well.

### **301.4 Proportion**

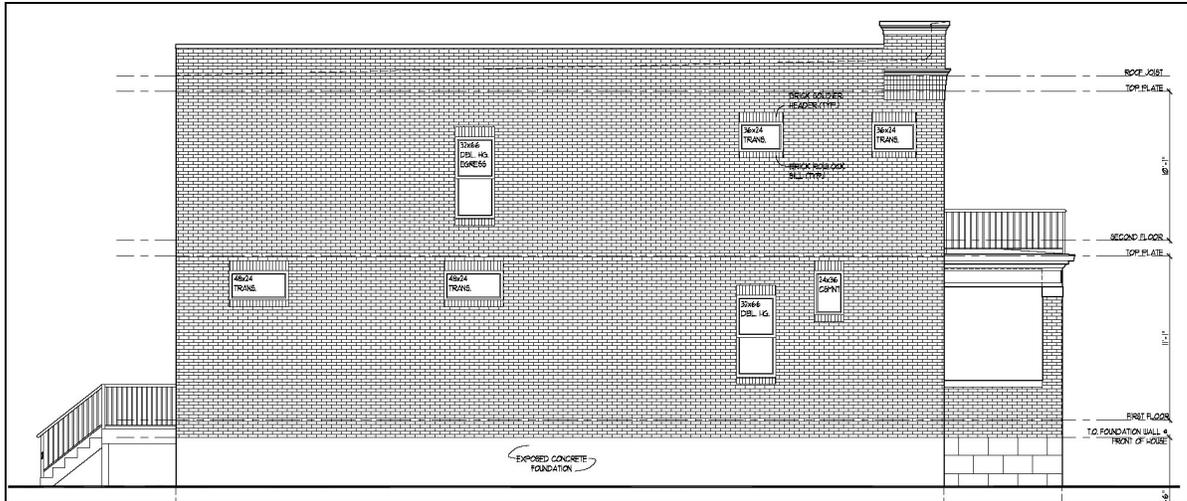
Proportion is a system of mathematical ratios which establish a consistent set of visual relationships between the parts of a building and to the building as a whole. The proportions of a new building shall be comparable to those of adjacent build buildings. If there are no buildings on the block then the proportions shall be comparable to those of adjacent blocks.

**Complies.**

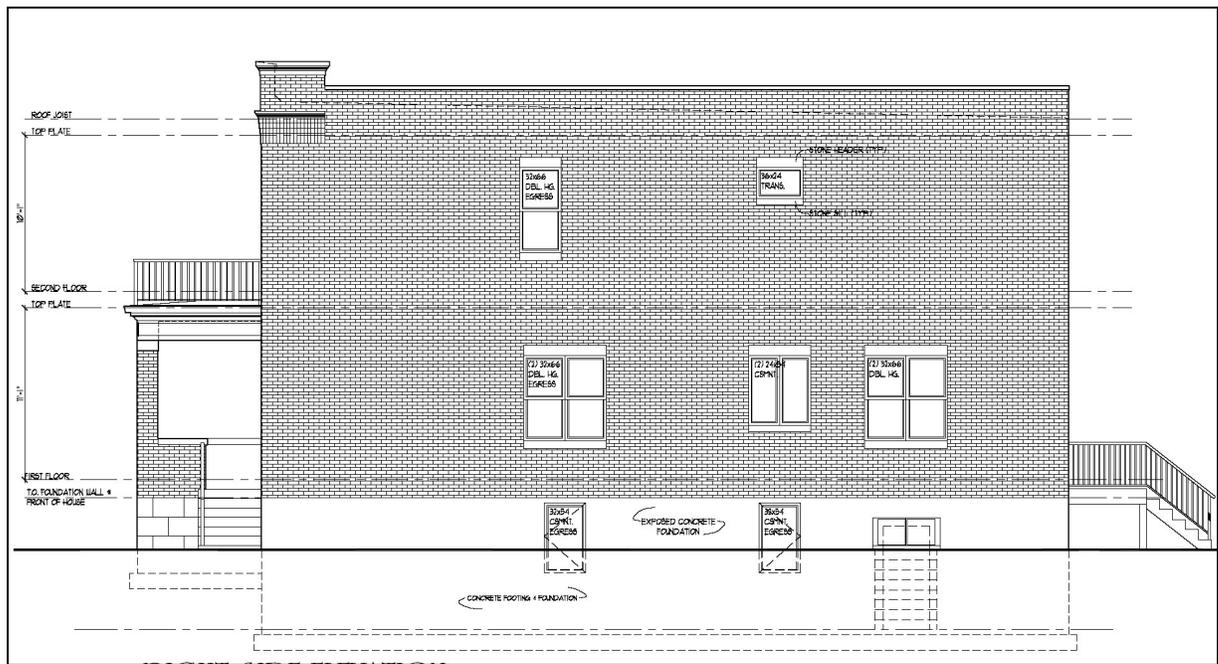
### **301.5 Ratio of Solid to Void**

1. The ratio of solid to void is the percentage of opening to solid wall. Openings include doors, windows and enclosed porches and vestibules.
2. The total area of windows and doors in the Public Facade of a new building shall be no less than 25% and no more than 33% of the total area of the facade.
3. The height of a window in the Public Facade shall be between twice and three times the width.
4. The ratio of solid to void may be based on a Model Example.

**Complies with all requirements.**



NORTH ELEVATION



SOUTH ELEVATION — NOTE BASEMENT ACCESS AT RIGHT

### 301.6 Facade Material and Material Color

1. Finish materials shall be one of the following:
  1. For walls:
    1. Kiln-fired brick (2-1/3" by 8" by 3-5/8")  
*Comment: Brick within the Benton Park Historic District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove. Most brick within the Benton Park Historic District is red or orange with only minor variations in coloration.*
    2. Stone common to the Benton Park Historic District.

3. Scored stucco and sandstone.
4. 4" lap wood siding or vinyl siding which appears as 4" wood siding based on a Model Example.

**Complies.** All four facades will be brick.

2. For foundations:
  1. Stone, new or reused, which matches that used in the Benton Park Historic District;
  2. Cast-in-place concrete with a stone veneer; or
  3. Cast-in-place concrete, painted.

**Complies.** The front foundation will be veneered with ashlar stone.

2. Finished facade materials shall be their natural color or the color of the natural material which they replicate or if sandstone, painted. Limestone may be painted.

**Complies.**

3. Glazing shall be clear, uncolored glass or based on a Model Example.

**Complies.**



MODEL EXAMPLE: FRONT PARAPET



MODEL EXAMPLE: FRONT SILLS

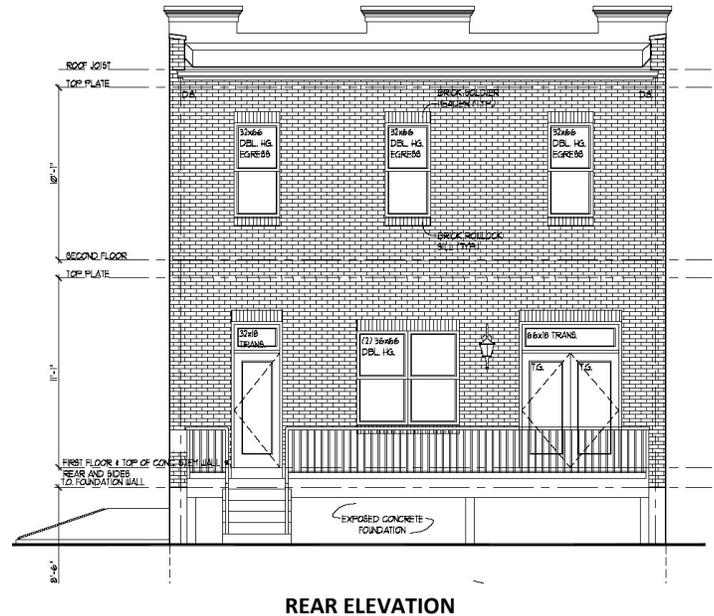


MODEL EXAMPLE: FRONT FOUNDATION VENEER

### 302 Private Facade of New Construction

Materials at private Facades of new construction shall be one of those listed in 301.6(1)(1) except that wood or vinyl siding need not be based on a Model Example.

**Complies. The rear elevation will be brick.**



#### COMMUNITY CONSULTATION:

To date, no comments have been received from the ward Alderman. Representatives of the Benton Park Neighborhood Association have commented on the design and have suggested slight revisions to the window trim and front foundation and porch.

#### COMMENTS:

The Cultural Resources Office believes that the proposed building is generally in compliance with the Benton Park Historic District standards, with some revisions to exterior detailing:

1. Foundation stone veneer and watertable should return on each side elevation the same distance as the cornice/parapet;
2. The brick railing at the front porch should carry a stone or precast cap in place of the rowlocks indicated on the elevation;
3. The second story entry to the front balcony should be similar in detail to the front façade windows, with a segmental arch in place of the flat soldier arch; over the main entry the form is acceptable, as most historic buildings had similar flat arches or lintels under a porch roof;
4. The windows of the side elevations should have flat soldier arches and limestone or precast sills. Precast or stone lintels as shown on the south elevation are not appropriate.

**CONCLUSION:**

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The Cultural Resources Office recommends that preliminary approval be granted, subject to the stipulations above and finalization of design details with staff.

**CONTACT:**

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Jan Cameron	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	<a href="mailto:cameronj@stlouiscity.com">cameronj@stlouiscity.com</a>



**E.**

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**DATE:** March 26, 2012  
**FROM:** Andrea Gagen, Preservation Planner, Cultural Resources Office  
**SUBJECT:** Preliminary review to construct two attached townhouses  
**ADDRESS:** 1300-02 Dolman St.  
**JURISDICTION:** Lafayette Square Historic District — Ward 7

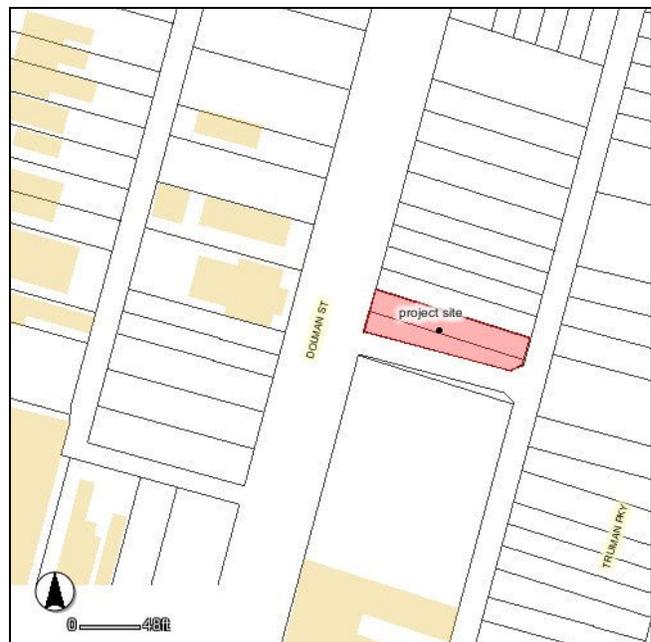


1300-02 DOLMAN

**Owner:**  
Jeff Winzerling

**Applicant:**  
Paul Hohmann

**Recommendation:**  
Staff recommends preliminary approval be granted to the project concept, with the condition that the Cultural Resources Office staff approve final drawings, details, finishes and exterior materials.

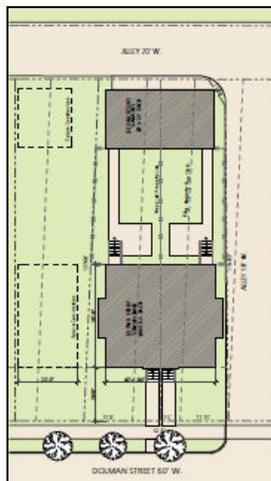




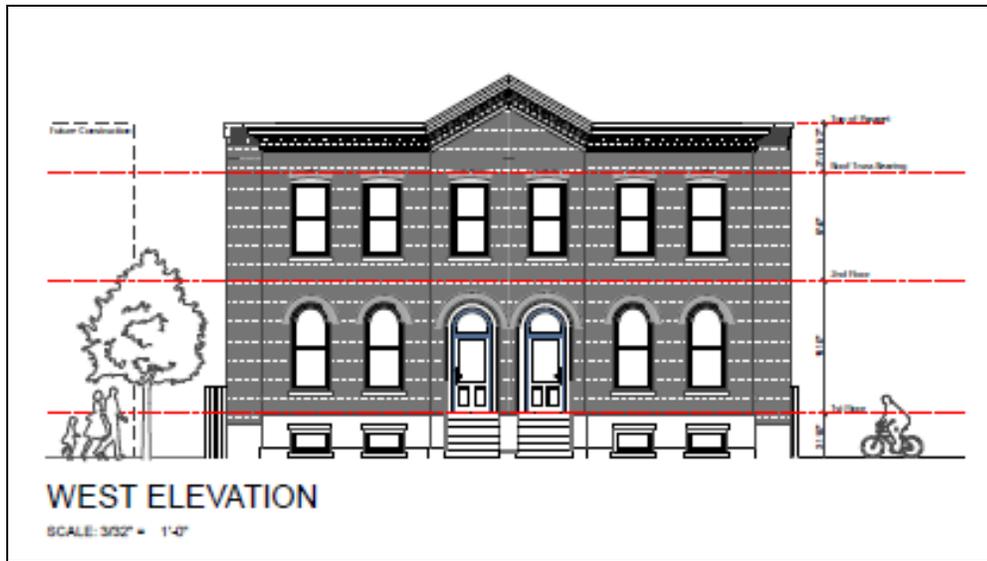
**AERIAL VIEW OF SITE**

**BACKGROUND:**

On February 24, 2012, the Cultural Resources Office received a preliminary review application for the construction of two attached, single-family townhouses at 1300-02 Dolman St., midway between Park Av. and Hickory St. The developer owns two adjacent lots and plans two attached townhouses. The site is on a block with only one other building, a large 3 ½ story industrial building. The developer is requesting Preservation Board preliminary approval of the proposal prior to proceeding to construction documents.



**PROPOSED SITE PLAN**



PROPOSED FRONT ELEVATION



DESIGN EXAMPLE

**RELEVANT LEGISLATION:**

Excerpt from Ordinance #63327, Lafayette Square Historic District:

**ARTICLE ONE – DEFINITIONS**

*16 Intermediate Facade*

*Term used to describe the architectural elevation(s) of a building which meet the following criteria:*

- (1) Side elevation which faces an alley,*
- (2) The section of a side elevation that is in front of the building line of adjacent structures,*

- 3) *For a side elevation next to a vacant lot or side yard, all stories of the first 15 feet of this elevation behind the Public Facade.*
- 4) *For the remainder of the side elevation(s) that face a vacant lot or side yard (behind the 15 foot line), the elevation shall be Intermediate for certain respects and Private for others. The first story of the side elevation that faces a vacant lot or a side yard shall be considered Private in all respects of the Code, beginning 15 feet back from a Public Facade. All stories above the first story of a side elevation facing a vacant lot or side yard shall comply with the provisions for Intermediate Facade in all the sub-sections of 201 - Roofs, all the sub-sections of 202 - Exterior Walls, and Section 203.2 - Windows at Intermediate Facades. For the issues covered in Sections 204, 205, 206, 207, and 208, these elevations are to be considered Private. See Article 210 for special provisions for additions at these elevations.*
- 5) *No rear elevation of any building is considered an Intermediate Facade.*

**Comment: The side elevations of the building are Intermediate Façades. The rear elevation is considered a Private Façade.**

*28 Public Façade*

*Term used to describe the architectural elevation(s) of a building which fronts on a public street. The Public Facade includes those sections of the elevation which are recessed. The facade of a carriage or alley house which faces the rear of the main structure on the same lot is the Public Facade.*

**Comment: The primary elevation facing Dolman is a Public Facade.**

**ARTICLE 3: NON-HISTORIC BUILDINGS, NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS**

*This article shall apply to existing Non-Historic Buildings, New Construction and permitted additions to existing Historic Buildings.*

**301 PUBLIC AND INTERMEDIATE FACADES**

1. *The Public and Intermediate Facades of Non-Historic Buildings, New Construction and permitted Additions to existing Historic Buildings shall be reviewed based on the following:...*

**301.1 Site**

1. *Alignment*
  1. *New construction and additions shall have Public Facade(s) parallel to the Public Facade(s) of the adjacent buildings...*  
**Complies.** Public and Intermediate Facades will take their alignment from the buildings across Dolman as there are no residential structures on the block.

2. *Setback*

1. *New construction shall have the same setback as adjacent buildings...*  
**Complies.** Setbacks will be similar to the buildings across Dolman.

3. *Every unit shall have a Public Façade.*

**Complies.**

4. *There shall be a sidewalk along all public streets. The sidewalk shall align with adjacent sidewalks.*

**Complies.**

5. *Ancillary buildings or construction shall not be visible from public streets, unless they comply with Section 301, except 301.1(B) and 301.3.*

**Complies.** Proposed garages will be located at the rear of the property, directly behind the main building.

6. *No curb cuts shall be allowed.*

**Complies.** Entry to the garages is made from the rear alley.

7. *Grading*

1. *The existing grades of a site may not be altered beyond minor grading to affect water runoff.*

2. *In all new buildings, a least one Public Façade that faces the street shall contain an entrance.*

**Complies.**



**STREETScape WITH PROPOSED BUILDING INSERTED**

### **301.2 Mass**

1. *The mass of new construction shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.*

**Complies.** There are no adjacent buildings or other residential structures on the block. The building's massing is similar to the Design Example submitted.



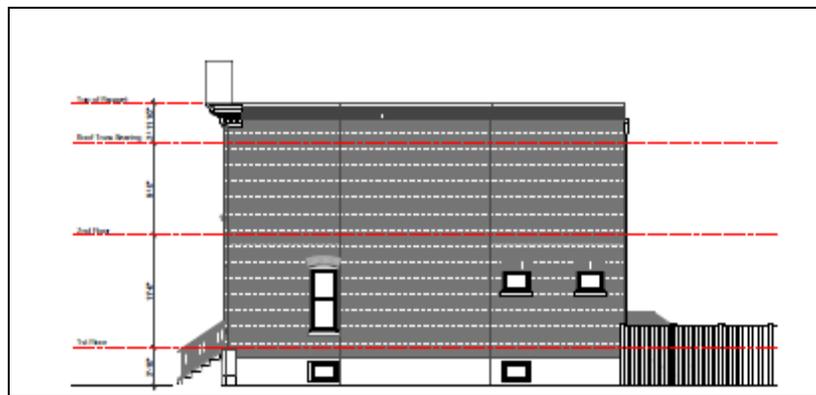
BUILDINGS ACROSS DOLMAN FROM SITE

2. All new buildings shall be up on a base. The elevation of the first floor shall be at least 3 steps higher than the grade and there shall be steps leading to the entry. On the Public and Intermediate Facades, there shall be a differentiation in the facade near the level of the first floor that defines the base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that facade.

**Complies.** The buildings will be raised a similar height above grade as the buildings to the south; the foundations will an appropriate material.



NORTH ELEVATION — INTERMEDIATE FACADE



SOUTH ELEVATION — INTERMEDIATE FACADE

### 301.3 Scale

1. *New construction shall appear to be the same number of stories as other buildings within the block, or shall have the same number of stories as the building original to that site. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.*

**Complies.** The new townhomes will have two stories above a raised basement similar to the two-story attached buildings originally on the site and the floor to ceiling heights are comparable to the design example submitted.



REAR ELEVATION

2. *The building height shall be within 2' above or below the average height within the block....*

**Complies.** There are no other residential buildings on this block. The proposed building is within 2' of the height of the submitted design example.

### 301.4 Proportion

1. *The proportions of new construction and additions shall be comparable to those of adjacent buildings.*

**Complies.** The proportions of windows and doors on the Public Façade are appropriate.

### 301.5 Ratio of Solid to Void

1. *The total area of windows and doors in the Public Façade of new construction and additions shall be no less than 25% and no more than 50% of the total area of the façade.*

**Complies.**

2. *The proportion of a window in the Public Façade of new construction and additions shall be between one of the following:*

1. *1:2 and 1:3. The height shall be at least twice the width ( $W \times 2 < H$ ).*
2. *Approved by the Lafayette Square Restoration Committee.*

**Complies.** The individual windows of the Public Façades are of appropriate proportions.



BUILDINGS FURTHER TO THE NORTH ON DOLMAN



INDUSTRIAL BUILDING AT THE CORNER OF DOLMAN & PARK

### **301.6 Public and Intermediate Facade Materials and Material Color**

1. *Finish materials shall be one of the following:*
  1. *Kiln-fired brick, 2-2/3" x 8" x 4" nominal, or brick size based on a model example.*

*Comment: Brick within the District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove (See figure 8). Most brick within The District is hard and smooth and red or orange in coloration with only minor variations in coloration.*
  2. *Stone common to The District*
  3. *Replica stone including scored stucco*
  4. *Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels.*
  5. *Approved by the Lafayette Square Restoration Committee....*

**Complies.** All elevations will be brick. The brick will be of a consistent color to be approved by the Cultural Resources Office.
2. *Clear and non-reflective panes of glass shall be used in Public and Intermediate facade windows, transoms and doors.*

**Complies.**
3. *Gutters and downspouts shall comply with Section 201.8(A)(3)&(4).*

**Complies.** The gutter will be located at the rear elevation and will be color-clad aluminum.
4. *A proposed structure that uses brick on the Public Facades shall also use brick on the Intermediate Facades.*

**Complies.**

### **301.7 Public and Intermediate Facade Roofs**

1. *Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.*
2. *Visible roofing material shall be limited to the following:*
  1. *slate,*

2. *synthetic state,*
3. *asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,*
4. *standing seam, copper or pre-finished sheet metal roofing,*
5. *Plate or structural glass....*

**Not Applicable.** The roofs will be flat, sloped minimally to the rear of the building.

### **303 GARAGES, ALLEY HOUSES & CARRIAGE HOUSES**

1. *Garages shall be set within 10' of the alley line.*
2. *Garages shall be directly behind the main structure on the site.....*
3. *Vehicular access shall only be from the alley. See also Section 301.1(F)*
4. *Garage doors shall be parallel to, and face, the alley.*

#### **Complies with these requirements.**

5. *Construction materials:*
  1. *Consistent with a model example.*
  2. *Brick*
  3. *Stone or replica stone, including scored stucco or block.*
  4. *Siding*

**Unable to determine.** A detached garage is intended, but no drawings have been submitted.

### **COMMUNITY CONSULTATION:**

There has been no communication from the 7<sup>th</sup> Ward Alderman concerning the project. The Cultural Resources Office is in receipt of a letter from Tim Delahanty of Lafayette Square Restoration Committee Development Committee, indicating that they have reviewed the design and suggested revisions, which are reflected in the drawings presented to the Preservation Board. The LSRC is therefore in support of the project.

### **COMMENTS:**

The proposal generally complies with the existing Lafayette Square Historic District Standards and to adhere to the proposed revised standards as well. There are some details of the proposal, such as foundation materials, cornice details and brick color which will be submitted for review by the Cultural Resources prior to final construction documents.

### **CONCLUSION:**

The Cultural Resources Office recommends preliminary approval be granted to the project concept, but requests that the developer continue to work with the Cultural Resources

Office to refine elements and details such as the design of the cornices, window and door specifications and exterior materials.

**CONTACT:**

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Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	<a href="mailto:GagenA@stlouiscity.com">GagenA@stlouiscity.com</a>



F.

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**DATE:** March 26, 2012  
**FROM:** Betsy Bradley, Director, Cultural Resources Office  
**SUBJECT:** Report on proposed new Preservation Review Districts  
Wards 14, 18 and 22

**BACKGROUND:**

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The adjustment of the ward boundaries in 2011 has caused many wards and Preservation Review District (PRD) boundaries to no longer be identical. This is an occasion to discuss with aldermen the possibilities benefits of establishing Preservation Review Districts in all or parts of their wards.

**RELEVANT LEGISLATION:**

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St. Louis City Ordinance #64689

*PART IX – PRESERVATION REVIEW DISTRICTS*

*SECTION FIFTY-FIVE.*

*Preservation Review Districts may be established by ordinance for areas of the City in which the Board of Aldermen finds, by ordinance, reviews of the effects of demolitions on the area are in the public interest. Prior to adoption of a Preservation Review District ordinance, i) the alderman for the ward in which the proposed district is located shall have requested the Cultural Resources Office and the Preservation Board to assess the architectural and/or cultural quality of the proposed district, and ii) within forty-five (45) days thereafter the Cultural Resources Office and the Preservation Board shall have reported its findings to the Planning Commission and the Board of Aldermen. The Cultural Resources Office and the Preservation Board shall assess the proposed district as having i) high historic district potential; ii) possible historic district potential; iii) low historic district potential; iv) demolitions within the last two years in excess of the average for similar areas in the City. Districts which are reported as being in categories i), ii) or iv) may be designated Preservation Review Districts. Preservation Review District ordinances may be repealed by ordinance at any time without Cultural Resources Office or Preservation Board action.*

**The Cultural Resources Office considers the pre-PRD survey to assess the architectural and cultural qualities to be equivalent to a windshield-level, or reconnaissance, survey of an area, not one based on property-by-property**

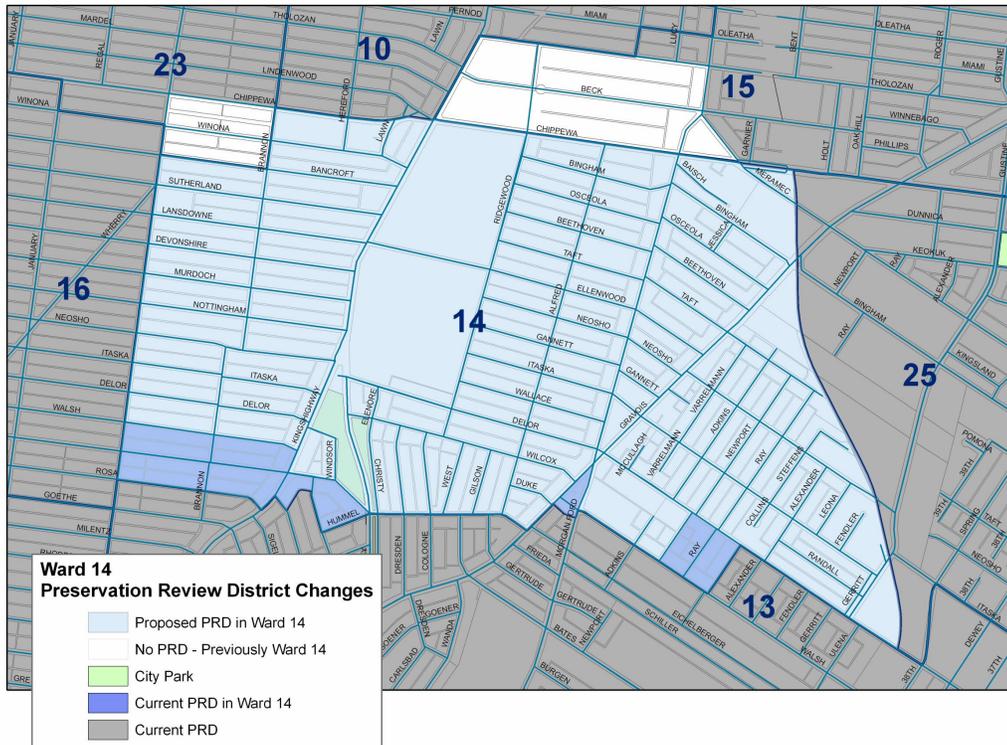
evaluation and supported by research. Small areas that may not strictly meet the requirements for a PRD are included to have a cohesive review area.

As the Alderman initiates the steps to be taken to establish a PRD in her/his ward, the surveys focus on one ward. Nevertheless, CRO is mindful the architectural and cultural character of adjacent areas and the potential for an historic district to include areas in more than one ward. Though recommendations are developed within this context, the new PRDs will be within a single ward.

The recommendations that follow are based on the findings of pre-PRD surveys conducted by the Cultural Resources Office at the request of three aldermen. The Preservation Board’s consideration of this report is the first step outlined for the adoption of a PRD. The next steps are forwarding the Preservation Board’s recommendations in terms of this report to the Planning Commission and drafting legislation for submittal to the Board of Aldermen.

**PROPOSED PRESERVATION REVIEW DISTRICTS:**

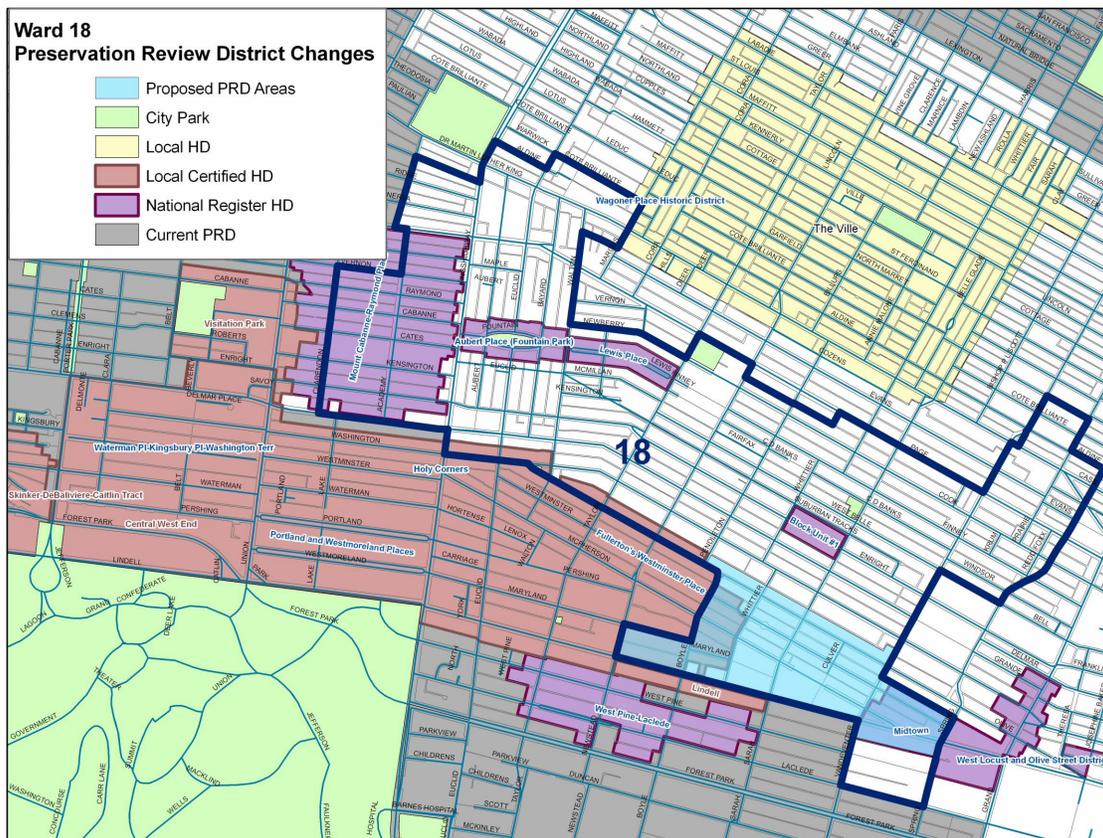
1. **Ward 14.** At the request of Alderwoman Howard, the Cultural Resources Office surveyed the Ward in terms of its architectural and cultural character and the PRD criteria. One large PRD, which would include the entire ward, is recommended as the area consists mainly of areas with possible or high historic district potential.



2. **Ward 18.** Portions of Ward 18 have demolition review because they are in local and National Register historic districts. These areas, shown on the map below, include the Mount Cabanne-Raymond Place, Aubert Place (Fountain Park), Lewis Place, Block Unit # 1, Midtown, and the Central West End historic districts. At the request of Alderman Kennedy, the Cultural Resources Office surveyed the architectural and cultural character of a portion of the Ward identified by the alderman. One area was identified as meeting the criteria for PRDs.

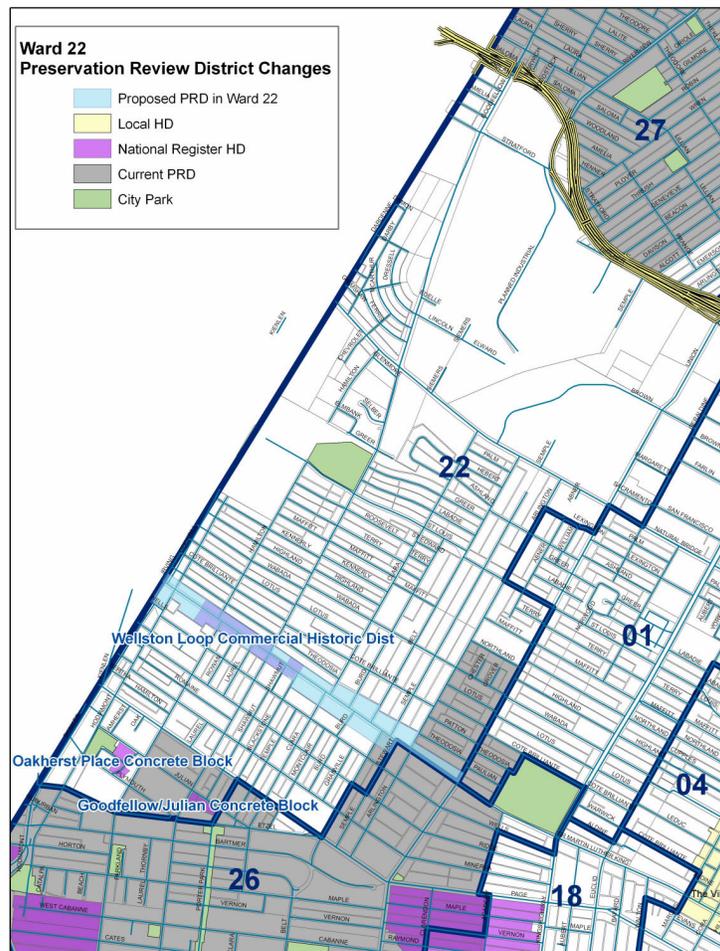
A portion of the central corridor area has the architectural and cultural character related to the Midtown and Central West End Historic Districts and inclusion in a PRD would provide uniform demolition review in the area flanking Lindell Avenue. The proposed boundaries for the PRD are, on the north, the alley north of Olive; on the west, Pendelton, Boyle and Newstead; on the south, Lindell and the alley south of Lindell; and on the east, Spring and Vandeventer. This area includes blocks that are in and adjacent to historic districts and have possible historic district potential.

The Cultural Resources Office recommends that this area in Ward 18 become a Preservation Review District.



3. **Ward 22.** At the request of Alderman Boyd, the Cultural Resources Office surveyed the Ward to identify any areas with architectural and cultural character that meet the criteria for PRDs. Three small historic districts in the ward have demolition review: the Wellston Loop Commercial Historic District and the Oakhurst Place and Goodfellow/Julian Concrete Block Historic Districts.

At this time, one new PRD is recommended in Ward 19: the length of Dr. Martin Luther King Drive in Ward 19, including the Wellstone Loop National Register Historic District. Some of the blockfronts facing this prominent thoroughfare have the architectural and cultural character to possibly be historic districts. This area, shown on the map below, include the blockfronts on the north side of Dr. Martin Luther King Drive from the Irving Avenue east to Union Avenue, and those on the south side of the street from Irving Avenue to Belt Avenue. The Cultural Resources Office recommends that the Dr. Martin Luther King Drive blockfronts in Ward 19 become a Preservation Review District.



**RECOMMENDATION:**

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As Preservation Review Districts afford the opportunity to review proposed demolitions, an action considered to be in the public interest, and as the Cultural Resources Office has made the surveys mandated by Ordinance 64689 at the request of three Aldermen, and as the areas recommended for new Preservation Review Districts meet the criteria outlined in the Ordinance, the Cultural Resources Office recommends that the Preservation Board report such findings to the Planning Commission and Board of Aldermen.

**CONTACT:**

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Betsy Bradley Planning and Urban Design, Cultural Resources Office  
Telephone: 314-622-3400 x 206  
Fax: 314-259-3406  
E-Mail: [bradleyb@stlouiscity.com](mailto:bradleyb@stlouiscity.com)



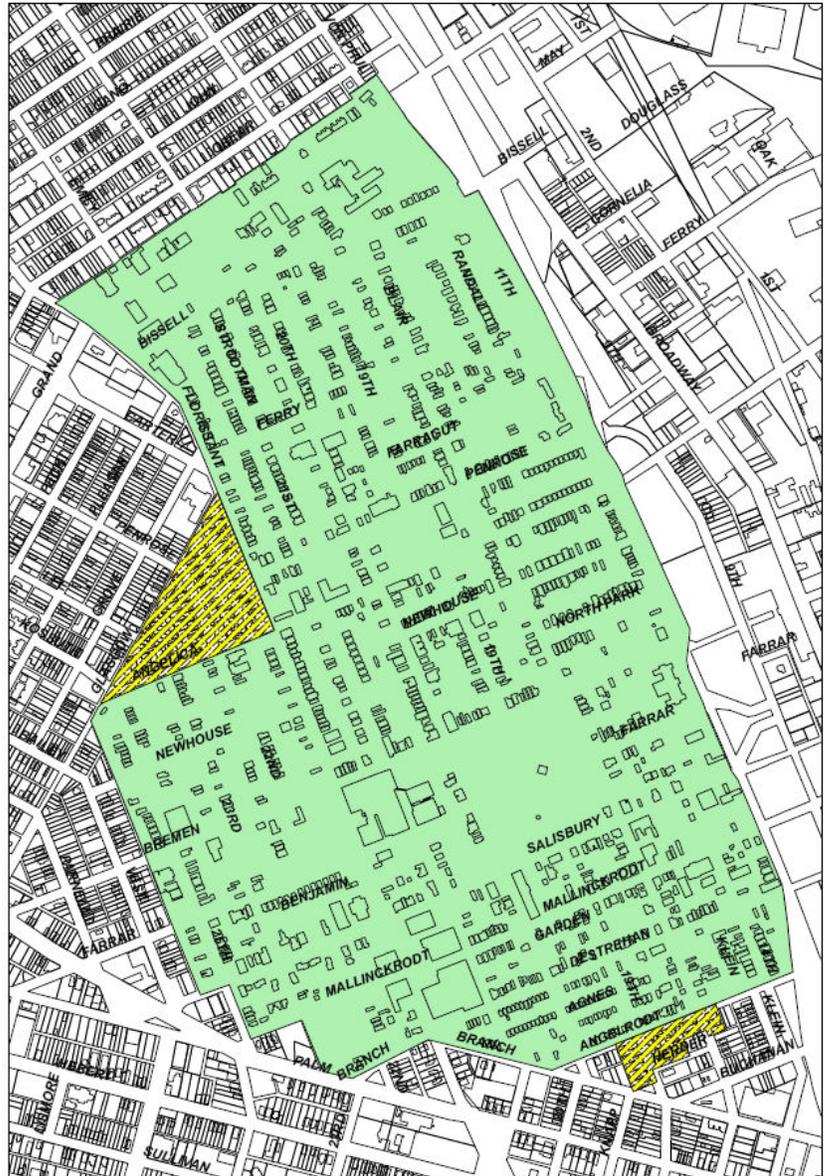
**G.**

**DATE:** March 26, 2012  
**FROM:** Bob Bettis, Cultural Resources Office  
**SUBJECT:** Expansion of the Hyde Park Certified Local Historic District Ward 3

**Petitioner:**  
 Honorable Freeman M. Bosley, Sr.  
 3<sup>rd</sup> Ward Alderman

**Recommendation:**  
 That the Preservation Board find that the areas proposed to be added to the local district meet the criteria for designation and that the petition be transmitted to the Planning Commission and to the Board of Public Service for their review.

**HYDE PARK LOCAL HISTORIC DISTRICT  
 AND TWO PROPOSED EXPANSION AREAS**







The second area, south of Angelrodt, was surveyed by the Landmarks Association of St. Louis in 2010. The survey indicated that 23 residential properties on Angelrodt, Herder, Blair and 19th Street are building types found in the existing district and should be added to the existing district rather as there was no potential for a small district in this vicinity. All of the contributing properties in this expansion area were constructed between 1888 and 1925, within the existing district's period of significance. Architecturally, the southern addition is comprised of single and multi-family buildings designed in Vernacular, Federal, Second Empire, Shaped Parapet, and Craftsman styles. The small houses on Angelrodt are quite similar to dwellings opposite that are within the established district. Once the local district has been expanded, the National Park Service certification of the Hyde Park Local Historic District can be extended to include these properties.



**SOUTH ADDITION**





**RELEVANT LEGISLATION:**

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***St. Louis City Ordinance #64689, as modified by Ordinance # 64925:***

***PART IVA - DESIGNATION OF HISTORIC DISTRICTS***

***SECTION SEVENTEEN. Generally - Historic District Designation.***

- A. *Notwithstanding its present zoning designation, an area together with the Improvements therein may be designated an Historic District by ordinance provided that the Preservation Board finds that the area meets one or more of the criteria for designation set out in Section Sixteen.*

**This overview and the Petition that follows provide information on which the Preservation Board can base a determination of whether the two expansion areas meet the requirements for designation. The Cultural Resources Office concludes that the expansion areas meet Criterion A: *Has significant character or value as part of the development, heritage or cultural characteristics of the City.***

**The petition prepared by the Cultural Resources Office at the request of Alderman Bosley, which meets the requirements found in Section 18 of Ordinance #64689, is attached. The existing Hyde Park Certified Local Historic District Standards, which are proposed for adoption for the Extension as well, are included in the petition.**

**COMMENTS:**

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The two areas proposed for inclusion in the Extension of the Hyde Park Certified Local Historic District, though both quite small, are being addressed in different ways. This approach also limits the number of properties that the National Park Service will be asked to extend certification to, a practice that is now greatly curtailed. The Lange Subdivision achieved National Register status through listing as a separate district. Though distinct enough to be separately listed, it has a strong relationship with the area in the Hyde Park Local Historic District. The properties south of Angelrodt have no collective identity other than being quite similar to the buildings in the local historic

district. Consequently, the process selected for this area is adding them to the district and asking for the extension of certification to this small area.

The extension of a certified local historic district involves several steps. If this project goes forward, the Cultural Resources Office will be working with Alderman Bosley to hold a public meeting in March in the Hyde Park area to present and explain the proposed expansion of the district. A public hearing on the proposed district expansion is likely to be on the agenda for the April Preservation Board meeting, after which the Board can decide whether to approve the petition and direct the Cultural Resources Office to draft a historic district designation bill for consideration by the Board of Aldermen.

**RECOMMENDATION:**

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Staff recommends that the Preservation Board find that the areas proposed to be added to the Hyde Park Certified Local Historic District meet the criteria for designation and that the petition be transmitted to the Planning Commission and to the Board of Public Service for their review.

**CONTACT:**

---

Bob Bettis	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 277
Fax:	314-259-3406
E-Mail:	<a href="mailto:bettisb@stlouiscity.com">bettisb@stlouiscity.com</a>

## ST. LOUIS LOCAL HISTORIC DISTRICT NOMINATION PETITION

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1. Name of Proposed Historic District: **Hyde Park Certified Local Historic District Extension**
2. Other Name(s) if applicable: **N/A**
3. Applicable City Ward(s): **3rd Ward**
4. Applicable City Neighborhood(s): **Hyde Park Neighborhood**
5. Does the proposed district have any existing City or Federal preservation status? If so, please describe and give date of designation:

**No. It will be an extension to the existing Hyde Park Certified Local Historic District.**

6. Petition Requirements: Please submit the following as required by Ordinance No. 64689, Section 18 — Petition Filing Requirements – Historic District Designation

- A. A general location map of the proposed district.

The legal description of the district boundaries (by metes and bounds or other legal description that readily identifies the area).

**See Attachment I**

- B. A statement documenting the area’s historic, architectural, cultural, archaeological or aesthetic significance. Describe the current economic condition of the proposed historic district and the advantages to residents and to the City that may be anticipated as a consequence of this designation:

An architectural survey map evaluating the significance of each improvement and/or geographic feature within the proposed historic district:

**See Attachment II**

- C. A plat at a scale of not more than 300 feet to the inch indicating the existing uses of all properties within the proposed historic district:

**See Attachment III**

- D. A general plan for the area, indicating all planned or proposed (public or private) restoration, development and demolition within the proposed historic district.

**See Attachment IV**

- E. Proposed historic district standards to be applied within the district, including but not limited to: Design and Construction Standards for

building facades, setbacks, height, scale, material, color and texture, trim roof design and landscaping; standards for the design details of all fences, streets and drives, street furniture, signs and landscape materials; and standards for the demolition of improvements within the district:

**See Attachment V**

- F. A statement of amendments (if any) to the existing zoning classification and boundaries necessary to conform to the proposed plan:

**See Attachment VI**

Author of Petition: Betsy H. Bradley  
Name of Organization: City of St. Louis Cultural Resources Office  
Name and Position: Director  
Address: 1015 Locust Street  
City/State: St. Louis, MO 63101  
Telephone: 314-622-3400  
Email: [bradleyb@stlouiscity.com](mailto:bradleyb@stlouiscity.com)

**Attachment I — A general location map and legal description of the proposed Extension to the Historic District by metes and bounds or other legal description that readily identifies the area**



**Legal Description:**

South addition:

Commencing at the point of intersection of the north line of the public alley west of 19<sup>th</sup> Street with the center line of the alley and center of Angelrodt; thence proceeding south along said center line of public alley to its point of intersection with southern edge of the parcel containing 3007 19<sup>th</sup> Street proceeding northeast along said property line to the center of 19<sup>th</sup> Street; thence proceeding north along said center line of 19<sup>th</sup> Street to its intersection with the center line of Herder Street; thence proceeding northeast along said center line of Herder Street to its point of intersection with the north line of the Blair Street; thence proceeding north along said northwest line to its point of intersection with the center line of public alley located to the south of Angelrodt Street; thence proceeding east along said center line to its point of intersection with the east property line of the parcel containing 3332 Blair Street; thence proceeding north along said north line to the to its intersection with the center line of Angelrodt Street; thence proceed west along said center line to the point of beginning.

Lange Subdivision Addition:

Commencing at the point of intersection of the center point of North Florissant Avenue and Glasgow Avenue; thence proceeding southwest along center line of Glasgow Avenue to its point of intersection with Angelica Street; thence proceeding northeast along center line of Angelica Street to its intersection with the center line of North Florissant Avenue; thence proceeding north along said center line to the point of beginning.

**Attachment II — A statement documenting the area’s historic, architectural, cultural, archaeological or aesthetic significance, as well as an architectural survey map (see attached map) and also a description of the advantages to residents and the City which can be anticipated as a consequence of designation.**

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The Hyde Park Local Historic District derives its name from the park located in the heart of the neighborhood. The district expansion areas were not included in the Hyde Park Certified Local District, designated (locally) in 1978 by the City of St. Louis; and certified in 1982 by the National Park Service. At that time, the significance of the district was determined to be local and based on the neighborhood's eclectic collection of vernacular architecture, much of which was constructed by German and Irish immigrants during the mid-to-late nineteenth century. The period of significance was determined to be 1830 to 1930.

The original Hyde Park CLG district boundaries established in 1978 were based loosely on the city limits of the town of Bremen, an early German enclave established in 1845 and later (in 1855) incorporated into the City of St. Louis. The original district boundaries were influenced heavily by concerns about endangered historic properties situated north of Bremen Avenue. Though several boundaries were considered for the historic district in 1977, Angelrodt was consistently the southern boundary; this decision appears to have been based on more varied land uses south of Angelrodt and its stable condition, rather than any notable differences in the building stock. One boundary considered included the area between the current western boundary and Glasgow, including the Lange addition. These two areas were not considered unrelated to that area included in the district, though they were not in the original historic district.

Two areas adjacent to the original historic district are proposed for inclusion in this Hyde Park District Boundary Extension. The buildings in these areas meet the City’s Criterion A: *Has significant character or value as part of the development, heritage or cultural characteristics of the City* for designation as a historic district, as well as the National Register Criterion C: Architecture.

The northern area proposed to be added to the Hyde Park Local Historic District was listed in the National Register in 2011 as the William A. Lange Subdivision. This area, consisting of 64 contributing properties, represents development during the period between 1895 and 1940 that was related to the streetcar line on Florissant, as well as some infill development that extended to 1962 that provided garages for automobile owners. Craftsman and Revival styles in bungalow and multi-family forms establish the character of this area. Much of the history and character of the Lange Subdivision exemplify the later part of the existing district’s period of significance, which extends to 1930. This small area has four blockfronts that face the existing Hyde Park Historic District across Angelica and Florissant and is clearly related to the district due to geography, developmental history, and building stock.

The second area, south of Angelrodt, was surveyed by the Landmarks Association of St. Louis in 2010. The survey indicated that 23 residential properties on Angelrodt,

Herder, Blair and 19th Street are building types found in the existing district and should be added to the existing district rather than as there was no potential for a small district in this vicinity. All of the contributing properties in this expansion area were constructed between 1888 and 1925, within the existing district's period of significance.

Architecturally, the southern addition is comprised of single and multi-family buildings designed in Vernacular, Federal, Second Empire, Shaped Parapet, and Craftsman styles. The small houses on Angelrod are quite similar to dwellings opposite that are within the established district. Once the local district has been expanded, the National Park Service certification of the Hyde Park Historic District can be extended to include these properties.

The establishment and enforcement of rehabilitation and new construction standards for exterior architectural features within the Hyde Park Historic District Extension will ensure the on-going historical and economic value of the Hyde Park Historic District. At the same time, the standards will reasonably accommodate contemporary design and changes that would maintain and improve the quality of life of those residing within the Hyde Park Historic District.

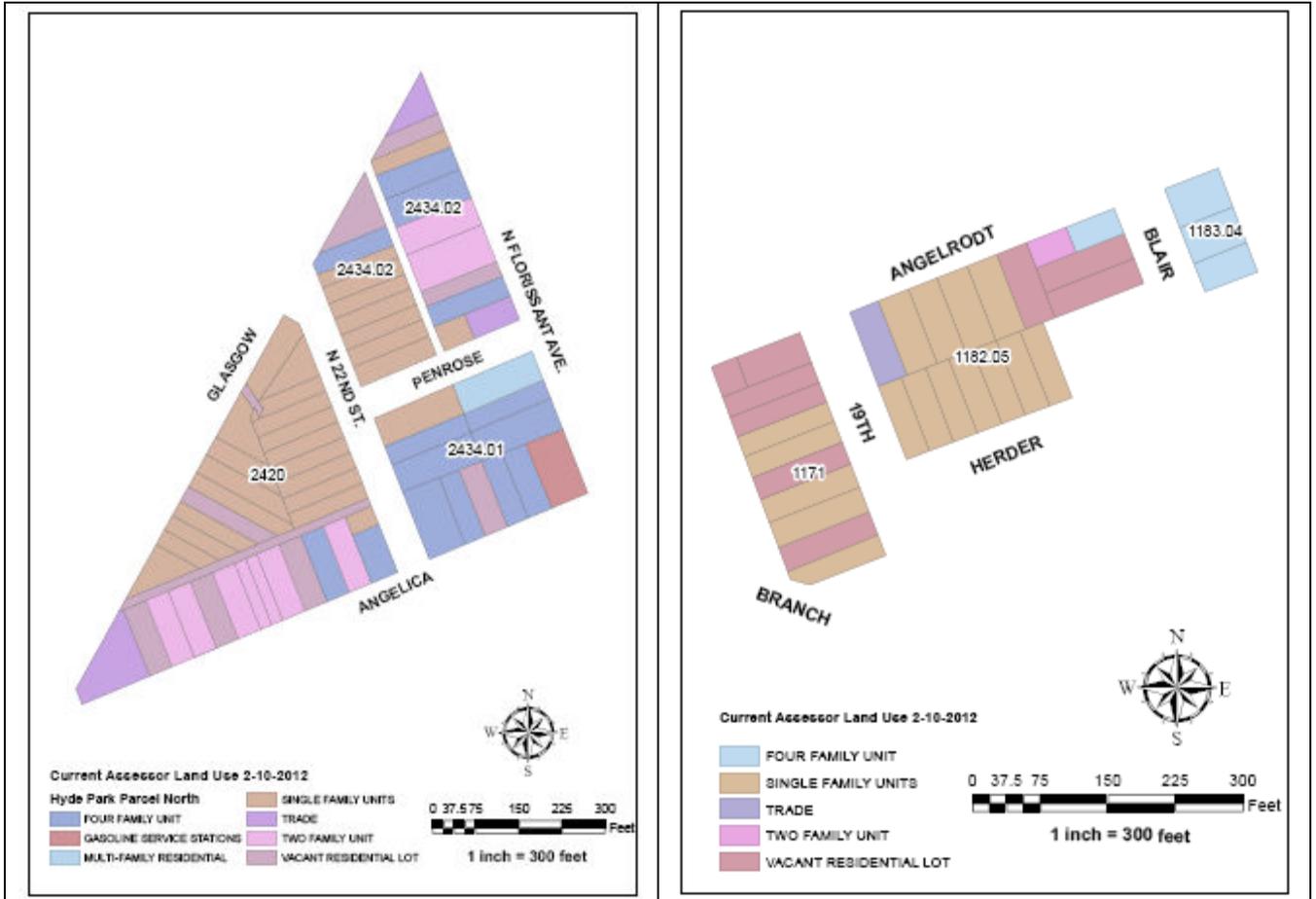
As is usually the case, establishment of local design controls has resulted in increased property values within the current Hyde Park district. During the last decade a considerable number of rehabilitation projects have been completed in the existing certified local historic district, using state and local historic tax credits. It is anticipated that inclusion of the two additions within the historic district will confer similar advantages upon the newly designated areas.

A copy of the architectural survey map below at 300 feet to the inch is on file at the Cultural Resources Office.



**Attachment III — A plat at a scale of not more than 300 feet to the inch indicating the existing uses of all properties within the proposed Historic District:**

A copy of the Land Use map below at 300 feet to the inch is on file at the Cultural Resources Office.



**Attachment IV — A general plan for the area indicating all planned or proposed (public or private) restoration, development and demolition within the proposed Historic District.**

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Under the 2005 St. Louis Strategic Land Use Plan the Hyde Park Boundary Extension area is designated as a **Neighborhood Preservation Area (NPA)**. This is defined as follows:

*“Areas where the existing housing and corner commercial building stock will be preserved and augmented with new infill residential and corner commercial development physically integrated with, and primarily serving the immediate neighborhood. These areas generally consist of stable residential areas of the City, including but not limited to historic districts, where the character of the neighborhood is currently well preserved with relatively few vacant lots and abandoned buildings. The plan contemplates continued preservation and improvement, with quality rehabilitation and infill new construction that is sensitive to the character of existing residences. Commercial and institutional uses catering to the immediate needs of the neighborhood are acceptable and reflect the traditional role such activity has played in the history of the City.”*

The designation of much of the District Extension under the St. Louis Strategic Land Use Plan as a **Neighborhood Preservation Area** is consistent with the general plan for the area. Development of for-sale housing, including conversion of two and four family houses into single-family or two-family townhouses is contemplated to be encouraged.

**Attachment V — Proposed Historic District standards to be applied within the district including, but not limited to, Design and Construction Standards for building facades, setbacks, height, scale, material, color and texture, trim, roof design and landscaping; standards for the design details of all fences, streets and drives, street furniture, signs and landscape materials; and standards for demolition of Improvements within the district.**

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The standards for the current Hyde Park Local Historic District will apply to the Boundary Extension. These standards follow:

**HYDE PARK HISTORIC DISTRICT  
CONSTRUCTION AND RESTORATION STANDARDS**

The prime objective in the proposed Hyde Park Historic District Use, Construction and Restoration Standards is to maintain the distinctive architectural character found throughout much of the neighborhood. There are a few existing sections where there are residential structures of later construction but the impression remains of one predominant style characterized by structures built predominantly in the mid to late 1800's.

Throughout the district there are entire blocks that exhibit continuity of design through height, width, material, window size, shape and overall spacing. These elements help to create an unusually strong "streetscape" which should receive considerable emphasis during the review process. Particularly when new construction is proposed, consideration of the "streetscape" and the relationship of the new structures to the existing buildings is of the utmost importance.

The following are specific standards to control the use of structures and establish criteria by which alterations to existing structures as well as new construction can be reviewed. Some of the guidelines are precise whereas others are, by necessity, more general, allowing a range of alternative solutions all of which are compatible with the existing neighborhood. In order for these criteria to best become working tools for the developer, architect and client, they should be studied thoroughly before design work begins.

It is not the intention of these regulations to discourage contemporary design which through careful attention to scale, materials, siting and landscaping can be harmonious with the historic, existing structures.

**I. RESIDENTIAL (PROPOSED "B" AND "C" ZONING DISTRICTS)**

- A. Use:  
A building or premises shall be utilized only for the use permitted in the zoning district within which the building or premises is located.
- B. Structures: (New construction or alterations to existing structures)

1. Location  
New or moved structures shall be positioned on their lot so as to continue the existing pattern on the block with respect to front yards, side yards, rear yards, etc.
2. Height (scale, size and proportion).  
Maintaining the scale and proportion of all buildings in Hyde Park is very important. All new construction should complement and respect existing buildings.
  1. New residential structures shall be within 15% of the average height of the nearest existing buildings on the block in which it is built.
  2. New apartments or row houses shall be designed in such a manner as to give the impression of single attached units rather than of one large structure.
  3. The first floor elevation of new residential structures shall approximate the first floor elevation of the house(s) on either side of it.
3. Exterior Materials.  
The texture and color of basic building materials give continuity to Hyde Park and future construction should utilize these same materials wherever possible. Exterior materials shall be stone, brick (red to match in most cases), stucco, terra cotta, wood, (only on bays, dormers, porches and other architectural features and garages and similar accessory buildings), and concrete (only on foundation walls not facing a street.) Mortar shall be of a color similar to buildings on either side. Color finished aluminum of appropriate gauge may be used to replace siding on existing frame structures in Hyde Park area. However, architectural details or features are NOT to be removed in the application of the siding. Asphalt shingle siding is not considered proper.
4. Roof Materials (and roof shape).  
Roof materials shall be slate, tile, copper or asphalt shingles where the roof is visible from the street. Where asphalt shingles are used it is suggested that colors shall be black or dark green. Bright colored asphalt shingles are not acceptable. Any commonly used roof materials may be utilized where the roof is not visible from the street. Any new construction shall be compatible to the nearest existing buildings in regards to roof shape.
5. Details.  
Architectural details on new construction need not imitate details on existing buildings but should always be compatible. Architectural details on existing buildings shall be maintained in a similar size, detail and material. Where they are badly deteriorated, similar details salvaged from other buildings may be

substituted. New and replacement window frames and door frames shall be limited to wood or color finished aluminum. A color code of white, dark green, gray, or wood tones shall be followed. Raw or unfinished aluminum is not acceptable. Windows and doors on new construction shall be similar to adjacent buildings. raw or unfinished aluminum shall not be acceptable. Windows and doors in existing structures shall be maintained in the same size and shape as the original openings. Metal awnings and canopies are not acceptable. Roll up canvas awnings on large display windows of commercial buildings only will be considered proper. Awnings of canvas only are acceptable on residential structures.

Storm doors and windows, if used, shall be of wood or color finished aluminum. A color code of white, dark green, gray or wood tones is suggested. Raw or unfinished aluminum shall not be acceptable.

Exterior shutters, if used, shall be made of wood or color finished aluminum the correct size and shape needed to fit the entire opening for which they are intended. A color code of dark green or black is suggested.

Cornices on existing structures shall be maintained as originally constructed.

New gutters and downspouts on all structures shall be of copper, or color finished aluminum or other acceptable color coordinated material. A color code of dark green, black, or brick red is suggested. Color shall be coordinated with structure involved.

6. Walls, Fences and Enclosures.  
New walls (free standing or retaining) shall be faced with brick (red) stone (white) or stucco. Existing walls shall be kept in repair of existing material. Fences shall be either privacy, security or ornamental. Material for fences shall be cast iron or wood when visible from the street. Wooden fences shall be a maximum of five feet. The suggested color code for fences shall be: Cast iron - Black, Wood - Gray
7. Landscaping.  
Small flower gardens in front or rear yards are encouraged wherever possible. Installation of street trees by request to the City is encouraged. Type of trees used shall be compatible with

other street trees in Hyde Park. If a lawn area exists between the side walk and street curb, this area should either be planted with ground cover or paved with brick or cobblestones.

8. Street Furniture and Utilities.  
Where possible, all new utility lines shall be underground or enter above ground from rear of property. All free-standing light standards or fixtures attached to a structure shall be of a design which is compatible with lighting throughout Hyde Park. The design and location of all items of street furniture shall be compatible with the area. Special permits must be obtained if street furniture is to be located within public right-of-way.
9. Drives and Parking (Paving or ground cover materials). Off-street parking at the rear of residential property shall be provided if at all possible. Drives shall be constructed of brick, granite pavers, Portland cement concrete or asphalt concrete.
10. Walks. All public walks shall conform to existing walks on the block. Private walks may be located in any appropriate place. They shall be constructed of stone, red brick, or concrete. Asphalt concrete or crushed rock shall not be acceptable.
11. Signs. No signs shall be allowed in the residential districts except:
  - a. One (1) temporary sign, not exceeding six (6) square feet in area pertaining to the lease, rent or sale of the building. Signs shall be placed in window of structure. Free-standing signs shall not be allowed. Special permits must be obtained as required.
  - b. On multi-family buildings, a sign upon which is placed the name of the building. In no case shall such a sign be free-standing or exceed six (6) square feet in area.
  - c. Free-standing signs for institutional uses not to exceed a total of thirty (30) square feet in area. These signs shall be non-flashing, without moving parts and neither neon or backlighted.

## II. COMMERCIAL/INDUSTRIAL (PROPOSED "F", "G", "J" ZONING DISTRICTS)

- A. A building or premises shall be utilized only for the uses permitted in the zoning district within which the building or premises is located, except that none of the following shall be permitted:
  1. Drive-in Restaurants
  2. Service Stations

3. Any use that requires materials, in raw form, emits obnoxious odors, is of an explosive nature, or is a high hazard potential to the general public as the result of the assembly or compounding process.

B. Structures: (New Construction or Alterations to Existing Structures)

1. Location.  
New or moved commercial structures shall be positioned on the lot to enhance the character of the commercial location.
2. Height (scale, size and proportion).  
New buildings must be constructed within 15 percent of the average height of existing commercial buildings on the block. In no case shall a commercial structure of less than two stories be permissible.
3. Exterior Materials.  
In Hyde Park brick masonry, stone masonry or stucco are dominant with terra cotta and wood used for trim and other architectural features. All new building materials shall be compatible in type and texture with the dominant materials of adjacent buildings. Artificial masonry such as "Perma-Stone" is not permitted. A submission of all building material samples including mortar shall be required prior to approval.
4. Roof Materials (and roof shape).  
Roof materials shall be slate, tile, copper or asphalt shingles where the roof is visible from the street. Brightly colored asphalt shingles are not appropriate. When there is a strong, dominant roof shape in a block, any proposed new construction or alteration should be viewed with respect to its compatibility with the existing adjacent buildings.
5. Details.  
Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated similar details salvaged from other buildings may be substituted. Both new and replacement window and door frames shall be limited to wood or color finished aluminum. Raw or unfinished aluminum is not acceptable. Awnings of canvas only are acceptable.
6. Walls, Fences and Enclosures.  
Walls and fences form an important part of the overall streetscape. These should be of brick, stone or stucco, wood,

wrought iron or evergreen hedge when visible from the street, as is consistent with existing dominant materials.

7. Landscaping.  
If there is a predominance of particular types or qualities of landscape materials, any new planting should be compatible by considering massing and continuity. The installation of street trees by request to the City is encouraged and in some instances may be required.
8. Street Furniture and Utilities.  
All free-standing light standards placed in the front yard of any structure or premises shall be either authentic period styling or high quality contemporary design. The design and location of all items of street furniture must be approved prior to placement. Special permits must be obtained if street furniture is to be located within public right-of-way. Where possible, all new utility lines shall be underground.
9. Drives and Parking (Paving or Ground Cover Materials) and Walks.  
The use of masonry units compatible with adjacent building materials is encouraged. Pedestrian walks, courts, sitting areas, etc., shall be surfaced by a permanent material including textured concrete, brick pavers, cobblestone or street pavers or any other material consistent with adjacent surfaces. Asphalt paving shall not be acceptable on any areas for pedestrian use, exclusively, and acceptable on vehicular use areas only.

All off-street parking shall be located behind or to the side of commercial structures. Where visible from the street, screening with visually opaque landscaping or 5' minimum high masonry, shrubbery or concrete wall shall be necessary.

10. Signs.  
Signs within the commercial district shall be in accordance with the zoning ordinance except that in no case will the following be allowed:
  - a. Non-appurtenant advertising signs.
  - b. Pylon signs in excess of 25' in height.
  - c. Wall signs above the second floor window sill level.  
Wall signs should be designed to complement the existing building and never cover windows or other architectural elements. Where more than one wall sign exists on a

single structure or a series of related structures, all signs should be basically similar in character and placement. Office buildings without first floor retail establishments shall have no more than one wall sign per facade located below the second floor window sill line designating only the name and address of the building.

- d. Roof top signs.
- e. Projecting signs are not acceptable if they obstruct the view of adjacent signs, obstruct windows or other architectural elements or extend above the second floor window sill level. Only one projecting sign is allowed per street frontage for each establishment.
- f. Flashing or rotating elements.
- g. Painted wall signs.

These standards shall not be construed to prevent the ordinary maintenance or repair of any exterior feature in the Historic District which does not involve a change in design, material, color, or outward appearance, nor to prevent the demolition of any structure or detail which the building inspector certifies as dangerous and unsafe. Any building feature or detail so removed shall be replaced by a material consistent with the original appearance. No building or structure within the Historic District shall be demolished, and no permit shall be issued for the demolition of any such building or structure, unless the Landmarks and Urban Design Commission and the Community Development Agency both shall find that the building or structure is in such a state of deterioration and disrepair or is so unsound structurally as to make rehabilitation impracticable.

In the event an element of these proposed uses, construction and restoration standards is not consistent with the zoning ordinance for the City of St. Louis, or other City codes or ordinances, the more restrictive shall apply.

**Attachment VI — A statement of amendments (if any) to the existing zoning classification and boundaries necessary to conform to the proposed plan**

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No amendments to the existing zoning classifications and/or boundaries are required or proposed.