



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY SEPTEMBER 22, 2014 — 4:00 P.M.
 1520 MARKET ST. #2000
 ST. LOUIS, MISSOURI 63103
www.stlouis-mo.gov/cultural-resources**

Roll call - Approval of the July 28, and August 25, 2014 minutes - Approval of the Agenda.

APPEALS OF DENIALS	Jurisdiction	Project	Pg.
A. 2124 VICTOR STREET.....	Benton Park HD.....	Replace slate roof and repair woodwork.1
B. 2335 ANN AVENUE	McKinley Heights HD.....	Install windows.5
C. 5149 WESTMINSTER	Central West End HD	Repair front porch.....9
D. 2400-08 S. 9 th STREET	Soulard HD	Convert ice house to residential use.14



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**

Cultural Resources Department

A.

DATE: September 22, 2014
ADDRESS: 2124 Victor Street
ITEM: Appeal of Director's Denial to replace a slate roof
JURISDICTION: Benton Park Local Historic District — Ward 9
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2124 VICTOR STREET

OWNER:
Robert T. Watson & Celia M. Wesloh

APPLICANT:
MLK Construction/Matt Ketner

RECOMMENDATION:
That the Preservation Board uphold the Director's Denial, as the proposed slate does not comply with the Benton Park District Standards.



THE CURRENT WORK:

The applicant has a building permit application to install a replacement slate roof on a mansard and repair woodwork. The applicant proposes to replace the distinctively shaped slate tiles with rectangular slate. The permit application was denied as the change in configuration of the slate tiles does not meet the Benton Park historic district standards.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

201.5 Roofing Materials on Mansard Roofs

1. Roofing materials on mansard roofs shall be one of the following:
 1. Materials which can be documented as being original to the building;
 2. Slate shingles;
 3. Synthetic slate shingles of a cementitious composition and reinforced with fiberglass;
 4. Composition shingles which replicate the proportions of slate shingles.
Comment: GAF Slateline or an equivalent fulfills this requirement.
 5. Asphalt or fiberglass composition shingles; standard 3-tab design of 235 lb. per square minimum construction.
Complies. Slate shingles are the proposed material.

2. Slate or synthetic slate shall be used to replace missing or damaged shingles on mansard roofs where more than 50% of the original slate shingles are in existence.
Comment: Mansard roofs with composition shingles existing at the time of implementation of these Standards may continue to be covered with new composition shingles though slate or synthetic slate are more compatible with the original character of the building.
Complies. Slate shingles are being proposed.

3. Patterns on Mansard Roofs:
 1. Patterns created by the arrangement of slate of differing colors or configurations shall not be altered by the subtraction or addition of shingles;
 2. Patterns may be painted where no pattern existed originally based on a Model Example.
 3. Reconstructed mansard roofs may be patterned through the use of slate or synthetic slate shingles of differing colors or configurations. Such patterns shall be based on a Model Example.
Does not comply. The change from the distinctive shaped slate tiles to a simple rectangular shape would be a significant alteration to the roof configuration.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the Benton Park District standards and the specific criteria for roofing materials on mansard roofs led to these preliminary findings.

- 2124 Victor is located in the Benton Park Local Historic District.
- The applicant is proposing to replace shaped slate shingles with typical rectangular slate shingles which would present a quite different appearance than patterned slate.
- The shape of the slate shingles is a character-defining element of the historic building. The arched pattern is consistent with the arched dormer roofs and the unusual arcaded detail of the building cornice. Changing the shape of the shingles would be a significant alteration to the building's design.
- Slate in this configuration would be available from a roofing contractor or someone who specializes in slate who would have to cut each slate.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Benton Park Local Historic District standards.



DETAIL OF SHAPED SLATES – NOTE RELATION OF SHINGLE SHAPE TO DORMER AND CORNICE DETAILS



MANSARD WITH RECTANGULAR SLATE



B.

DATE: September 22, 2014
ADDRESS: 2335 Ann Avenue
ITEM: Appeal of Director's Denial to retain nine vinyl windows on front facade
JURISDICTION: McKinley Heights Local Historic District — Ward 7
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



2335 ANN AVENUE

OWNER/APPLICANT

Jim Pitts

RECOMMENDATION:

That the Preservation Board uphold the Director's Denial, as the installed vinyl windows do not comply with the McKinley Heights District Standards.



THE CURRENT WORK:

The applicant has installed nine non-compliant vinyl windows without building permits. The violations were reported to the Citizens Service Bureau in late July of 2014 and the property owner was cited.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, the McKinley Heights Historic District:

203 WINDOWS

Windows are crucial to a building's historic character.

203.1 Windows at Public Facades:

1) Windows in Public Facades shall be one of the following:

- a. The existing window repaired and retained;
- b. Replacement window, duplicating the original, which meets the following requirements:
 - i. Replacement windows or sashes shall be made of wood or finished aluminum,
 - ii. The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.
 - iii. The number, arrangement and proportion of lights shall match the original or be based on a Model Example.
 - iv. The method of opening shall be the same as the original.

Does not comply. The windows installed on the public façade are made of vinyl, a material that does not comply with the Standards. The windows do not replicate the original as the sashes have uniformed sized rails and do not replicate the dimension of historic wood windows. The original windows had a three-over-one muntin configuration; the replacement windows have no muntins. The new windows present a flat appearance and do not convey the depth shown in the offset sashes of historic windows.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the McKinley Heights District standards and the specific criteria windows on public façades led to these preliminary findings:

- 2335 Ann is located in the McKinley Heights Local Historic District.
- Nine vinyl windows were installed without permits on the front façade over the course of the past two years.
- The installed windows are vinyl; do not replicate the appearance of historic wood sash; and do not conform to the McKinley Heights Local Historic District standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the applications as the vinyl windows do not comply with the McKinley Heights Local Historic District standards.



DETAIL OF ORIGINAL WINDOWS (BEHIND ALUMINUM STORM SASH)



REPLACEMENT WINDOWS



PROPERTY IN JULY OF 2011 (GOOGLE MAPS)



C.

DATE: September 22, 2014
ADDRESS: 5149 Westminster Place
ITEM: Appeal of Director's Denial to replace front porch balustrade and columns
JURISDICTION: Central West End Local Historic District — Ward 28
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



5149 WESTMINSTER

OWNER/ APPLICANT:

Clifton and Carolyn Harmon/
Tom Riggs-Riggs Construction

RECOMMENDATION:

That the Preservation Board uphold the Director's Denial, as the proposed replacement fiberglass capitals do not replicate the original and do not comply with the Central West End District Standards.



THE CURRENT WORK:

This is an appeal of the Director's denial of a building permit to rebuild a front porch in the Central West End historic district. The existing front porch has a failing roof beam and the cast-concrete balustrade is deteriorated. The owner wishes to replace the balustrade and columns with a fiberglass system that generally resembles the existing porch details, retaining the cast concrete base and posts. As the historic district standards require that historic porches on front elevations be retained or if necessary, replicated, the permit was denied.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69112, the Central West End Historic District:

3) Porches and Balconies

Porches, verandas and balconies are considered to be character-defining features on building in the historic district, and careful attention should be paid to their maintenance and/or restoration. Original or historic porches, verandas and balconies, including their component elements such as columns, pilasters, handrails, balusters, pediments, cornices, steps, etc., shall be preserved through in-kind repair and maintenance when visible. Photographic evidence will be provided of the deteriorated condition of an original or historic porch, veranda, or balcony or any of its component elements to justify replacement. The replacement element shall replicate the originals in size, dimensions, proportion, profile, shape, geometric pattern, color and, in the case of column shafts, taper or entasis. Replicas shall be made of the same materials as the historic porch or porch component. In rare instances when a persuasive argument is presented, a compatible substitute material may be considered. In the case of non-structural ornamental detail situated at or above cornice-level, replicated elements may be fabricated of a substitute material, for example, cast stone or molded fiberglass, that exactly replicates the details and dimensions of the original. If an original or historic porch, veranda or balcony, or any constituent element thereof, has/have been removed, these may be replicated when evidence, (e.g., an historic drawing or photograph) is available to document what was previously there.

Does not comply. The proposed porch alterations will not replicate the original in material, size or appearance. The loss of viable sound historic material is detrimental to the historic integrity of the porch and house in general.

The Cultural Resources Office inspected the site and confirmed that the cast concrete balusters were cracked and spalled and not salvageable. The applicants propose fiberglass balusters that are close in size and fairly close in detail to the existing balusters, and a handrail will be similar in size but not in profile. The staff acknowledges that both these replacement elements are about as close to the balustrade's original appearance as could be found without re-casting the historic elements. However, the existing wood columns above the cast-concrete posts are undamaged and carry very elaborate Ionic capitals. The staff suggested that in

mitigation for the loss of the historic balustrade, the owners retain the columns in the new porch structure. The owners wish to proceed with fiberglass columns without entasis and with a simplified Ionic capital.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the Central West End Historic District standards and the specific criteria for low fences and appendages led to these preliminary findings.

- 5149 Westminster is located in the Central West End Local Historic District.
- The Central West End standards require that any original or historic porch or its components be kept and maintained if possible and require any replaced elements to exactly replicate the dimensions and details of the original.
- The wood columns have been examined in the field and need only cosmetic maintenance to remain in service.
- The proposed replacement fiberglass columns and capitals do not do not replicate the existing elements. The capitals are smaller in size than the original, of a different material and do not have the same design as the original. The new columns do not have the ornamentation at the neck or the same entasis as the original columns.
- The existing cast concrete balustrade is a historic alteration that has attained significance, but is not original to the house. The proposed fiberglass balustrade system would be an acceptable substitution if the original columns and capitals are retained.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as the proposed alterations to the porch do not comply with the Central West End Local Historic District standards.

EXISTING COLUMN CAP
18-1/4" WIDE
7" TALL



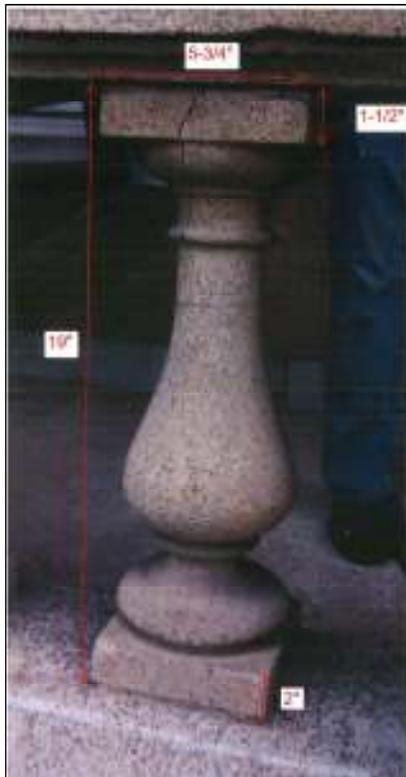
NEW COLUMN CAP
16-5/8" WIDE
5-1/16" TALL



ORIGINAL AND PROPOSED CAPITAL



DETAIL OF EXISTING BALUSTERS



EXISTING BALUSTER



PROPOSED BALUSTER



D.

DATE: September 22, 2014
ADDRESS: 2400-2408 S. 9th Street
ITEM: Appeal of Director's Denial of Exterior alterations to a Public Facade
JURISDICTION: Soulard Neighborhood Certified Local Historic District — Ward 7
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2400-2408 S. 9TH ST.

OWNER:
Polar Ice, LLC

APPELLANT:
KWA Klitzing Welsh/Joe Klitzing

RECOMMENDATION:
That the Preservation Board approve the application based upon the revised design for the reconstructed loading dock area, with the condition that final drawings and exterior materials are reviewed and approved by the Cultural Resources Office.



THE CURRENT WORK:

The appellant applied for a permit for interior and exterior remodeling. The project requires new window openings to be cut into the building. Originally the window openings were to be on the alley (east) façade, a Private Façade under the definition of the Soulard Standards, but the National Park Service, reviewing the project under the Federal Historic Tax Credit program, requested that some of the openings be moved to the west façade, which is a Public Façade. The appellant is also reconstructing the loading dock area on the 9th Street elevation with a corrugated metal façade and large triple windows. The permit was denied as the proposed windows and design of the reconstructed loading dock area do not comply with the Soulard Historic District standards. The appellant has appealed the Director's denial.

RELEVANT LEGISLATION:

Excerpt from Ordinance #62382, the Soulard Neighborhood Historic District:

202.1 Exterior Masonry Walls

Reconstructed Masonry Walls

Comment: Reconstructed masonry walls include the replacement of missing masonry within a wall and the reconstruction of a masonry wall which has collapsed.

Construction

Reconstructed masonry wall shall be one of the following types of construction;

Solid brick masonry;

Concrete block back-up with masonry exterior; or

Masonry veneer on metal or wood studs.

Comment: City building codes may prohibit this type of construction near a property line.

Mortar thickness and coursing shall match the original.

Material

One of the following materials shall be used;

New or used masonry units which match the original in size, shape, color (variety and pattern of color), surface hardness and ornament.

The original ornamental masonry units (pressed brick and terra cotta) or replica units constructed of the materials outlined in Section 201.8: Cornices.

Does not comply. The reconstructed wall at the loading dock area, along with a new roof, will enclose occupied space. Remnants of the original wall of the loading dock enclosure at this location show that it was brick. The reconstructed wall is proposed to be faced with corrugated sheet metal. In discussion with the project architect, it was found that adding brick to this elevation would add approximately \$12,000 to the costs of the project. The corrugated sheet metal is a material associated with industrial buildings and may be appropriate for this property. The architect has agreed that the metal will be dark gray and have a matte finish.

203.1 Windows at Public Facades

Windows in Public Facades shall be one of the following:

The existing window repaired and retained.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lights, their arrangement and proportion shall match the original or be based on a Model Example.

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Reconstructed windows and sashes in a Public Facade shall be based on the following;

An adjacent existing window in the same facade which is original; or

If all windows on a facade are being replaced then they shall be based on a Model Example or the window detailed in Figure S.

New Window Openings Are Prohibited in a Public Facade except as required by City Health and Safety Codes,

No new window openings shall be created in a Public Facade. No existing window opening in a Public Facade shall be altered in length or width.

Does not literally comply. However, only two of the windows proposed to be added to the upper wall would be visible from any nearby street. The locations of the new windows has been carefully studied and the north portion of the windowless wall facing 9th Street will maintain the historic character of the cold storage warehouse.

The windows originally proposed for the reconstructed loading bay area were wide windows with a residential character; this design has been revised at the request of the Cultural Resources Office and the new wall now displays taller, triple windows with proportions that more closely aligned with those of the adjacent office building.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the Soulard District standards and the specific criteria for reconstructed masonry walls and windows led to these preliminary findings.

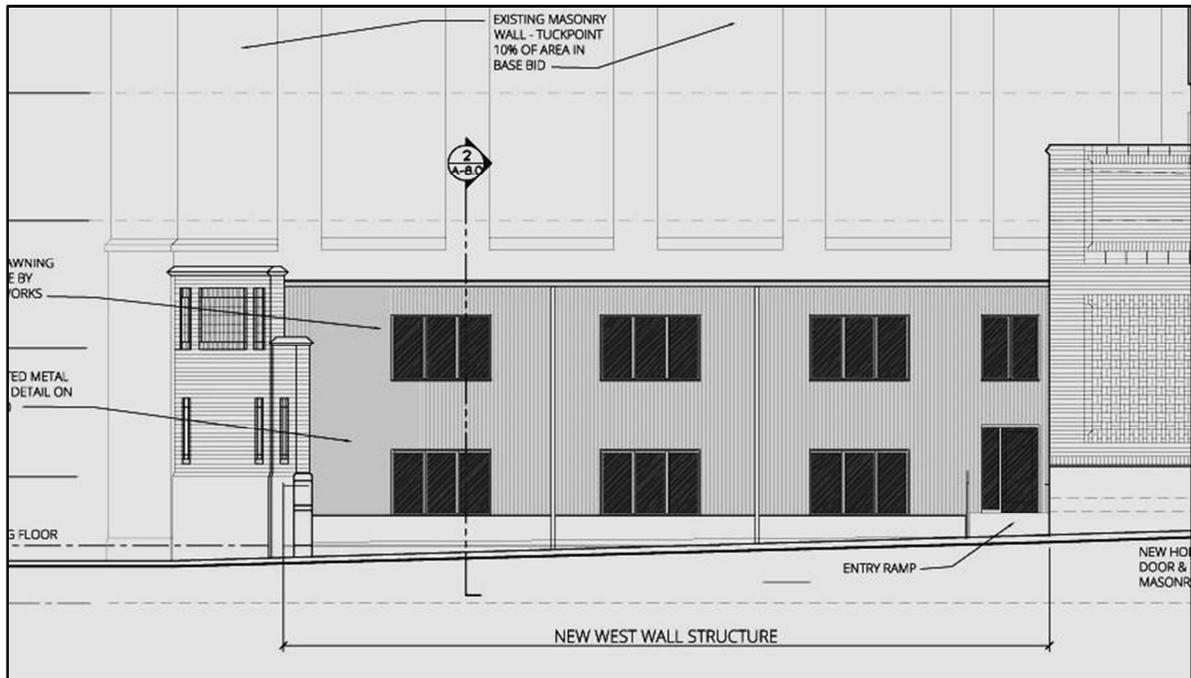
- 2400-08 S. 9th St. is located in the Soulard Neighborhood Local Historic District.
- The owner proposes to cut new openings into the 9th Street façade; under the Soulard Historic District standards, no new openings may be made in a Public Façade. But because the visibility of the new openings would be so limited, and the windows are necessary for residential use, some latitude with this standard seems reasonable.
- The proposed new openings on the alley side of the building, a Private Façade, would be acceptable under the Standards.

- The use of corrugated sheet metal proposed for the reconstructed loading dock area does not meet the standards but could be considered an appropriate material in this instance, as the original use of the property was industrial. The design of the fenestration of this portion of the complex has been revised to be more compatible with the other openings in the complex, to be in line with the intent of the Soulard Neighborhood Local Historic District Standards.

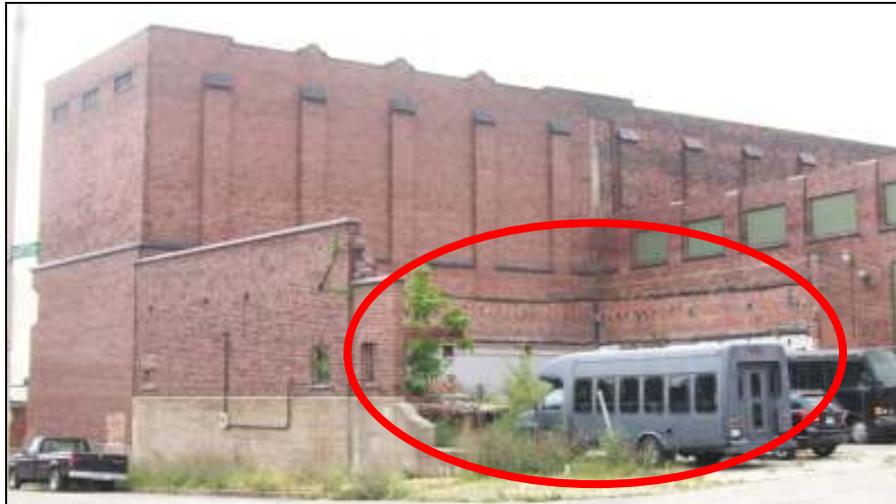
Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board overturn the Director’s denial of the application based upon the revised west elevation, and subject to the condition that final plans and exterior materials will be reviewed and approved by the Cultural Resources Office.



PROPOSED WEST ELEVATION



DETAIL OF ADDITION



LOCATION OF ADDITION/RECONSTRUCTED AREA



HISTORIC PHOTO OF ORIGINAL LOADING DOCK



PROPOSED WINDOW OPENINGS AT 3RD & 4TH STORIES



APPROXIMATE LOCATION OF NEW OPENINGS ON 9TH STREET FAÇADE