



**CULTURAL RESOURCES OFFICE  
 PRESERVATION BOARD  
 REGULAR MEETING  
 MONDAY SEPTEMBER 23, 2013 — 4:00 P.M.  
 1520 MARKET ST. #2000  
[www.stlouis-mo.gov/cultural-resources](http://www.stlouis-mo.gov/cultural-resources)**

Roll Call. Approval of the August 26, 2013 meeting minutes. Approval of the current agenda.

Discussion of December’s meeting date.

**SPECIAL AGENDA ITEM Page**

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CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**  
CULTURAL RESOURCES OFFICE  
FRANCIS G. SLAY, Mayor

A.

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**RESOLUTION NO. ONE**  
**PRESENTED TO THE PRESERVATION BOARD SEPTEMBER 23, 2013**

**TO: PRESERVATION BOARD AND MR. RICHARD CALLOW, CHAIRMAN**

**FROM: BETSY BRADLEY, DIRECTOR**  
**CULTURAL RESOURCES OFFICE**  
**CITY OF ST. LOUIS PLANNING AND URBAN DESIGN AGENCY**

**RE: RESOLUTION AUTHORIZING APPLICATION FOR AND ACCEPTANCE OF A GRANT**  
**FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES STATE HISTORIC**  
**PRESERVATION OFFICE TO THE CITY OF ST. LOUIS TO CONDUCT A PROJECT:**  
**THEMATIC SURVEY OF FLOUNDER HOUSES IN ST. LOUIS CITY, MO**

This Resolution seeks authorization of the acceptance of a Historic Preservation Fund (HPF) grant from the Missouri Department of Natural Resources State Historic Preservation Office in an amount not to exceed Seven Thousand Five Hundred Dollars (\$7,500) to the City of St. Louis. The total cost of the project is approximately \$20,000.00. The additional amount is considered to be a local cash match to the Grant that will be provided by time spent by the staff of the Cultural Resources Office of the City of St. Louis Planning and Urban Design Agency.

The proceeds of the grant from State Historic Preservation Office will be used to purchase up-to-date software and computer equipment. All procurement under the project will be conducted according to City of St. Louis procedures.

The Cultural Resources Office of the St. Louis Planning & Urban Design Agency proposes to undertake an amplified reconnaissance level survey of 19<sup>th</sup>- 20<sup>th</sup> century "Flounder" houses, a vernacular property type that occurs in only a few cities in the United States and of which St. Louis has an unusual and varied supply. The completed survey will expand the identification of extant Flounders and document the condition of the buildings. The survey will serve as the foundation for several planned subsequent initiatives to encourage the preservation and rehabilitation of these endangered properties, which we have tentatively titled *Flounders for the Future*.

**REQUESTED ACTION:** Approval of this Resolution

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF ST. LOUIS PRESERVATION BOARD, THAT:**

1. The City of St. Louis Preservation Board hereby approves this Resolution and authorizes staff to submit the final Historic Preservation Fund grant application for the project Thematic Survey Flounder Houses in St. Louis City, and to accept the grant and enter into a grant agreement with the Missouri Department of Natural Resources, State Historic Preservation Office, in an amount not to exceed \$7,500.
2. This project will address a significant component of the city's historic built environment, will provide a greater understanding of this vernacular building type, many examples of which are threatened by deterioration and demolition.
3. The Director of the Cultural Resources Office, her designee, and the appropriate staff members are hereby authorized to take all actions necessary to effectuate the intent of this Resolution.
4. This Resolution shall take effect and be in full force immediately after its passage and approval by the Preservation Board.

ADOPTED this 23rd Day of September, 2013.

CITY OF ST. LOUIS PRESERVATION BOARD

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By: RICHARD CALLOW  
Title: CHAIRMAN

ATTEST:

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Adona Buford  
Secretary



CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**  
CULTURAL RESOURCES OFFICE  
FRANCIS G. SLAY, Mayor

**B.**

DATE: September 23, 2013  
SUBJECT: Appeal of Director's Denial to retain alterations to porch and porch steps installed without a permit  
ADDRESS: 2144-2146 Geyer Avenue  
JURISDICTION: McKinley Heights Local Historic District — Ward 7  
STAFF: Betsy Bradley, Director, Cultural Resources Office



2144-2146 GEYER

**OWNER:**  
St. Louis Reconstructing, LLC

**APPLICANT:**  
Killeen Studio Architects

**RECOMMENDATIONS:**  
That the Preservation Board uphold the Director's Denial, as the alterations to the porch and steps do not comply with the McKinley Heights Historic District Standards.



**RELEVANT LEGISLATION:**

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Excerpt from Ordinance #67901, the McKinley Heights Historic District Design Standards:

**Article 2: Existing Buildings in Residential Preservation Areas**

**206.4 Stone Elements on Appendages:**

**1) Stone steps and porch elements shall be replaced, as opposed to repaired, only when needed to ensure Public and occupant safety.**

- a. Steps and porch elements shall retain their original location and shall maintain their original configuration.**
- b. Stonework shall not be painted or receive any adhesively applied finishes.**

**2) Replacement materials at Public Facades**

- a. For architectural elements see the acceptable replacement materials listed under stone cornices (section 201.8).**
- b. Replacement steps shall be made of the following;**
  - i. New or re-used stone duplicating in shape, size, and coloration that which is being replaced.**
  - ii. Concrete that replicates the stone in shape, size, and coloration and will maintain its shape, size and coloration over time.**

Does not comply. The use of brick to encapsulate the concrete steps to the porch, widening of the steps by two feet, and removal of the low brick wall at the edge of the porch does not comply with these standards. The applicant proposes to restore the low front porch wall flanking the wider porch steps. Increasing the width of the front porch steps by two feet does not retain the shape and size of the replacement steps, as required, and furthermore requires the removal of a portion of the porch wall. The standards specifically state that concrete that replicates stone in coloration shall be used for replacement steps.

**404 SIDEWALKS AND STEPS:**

**At Public Facades, sidewalks shall be one of the following:**

- 1) Red brick, is the preferred material, and is not to be replaced with concrete.**
- 2) Cast-in-place concrete with an exposed aggregate finish.**
- 3) Bomanite or equivalent.**
- 4) A combination of the above.**

**Exterior handrails at steps located in a yard and not attached to a house shall be erected as a simple, non-decorative wrought iron or equivalent (aluminum or steel) rail.**

**Wood stair rails are not historically appropriate on stone, brick or concrete steps, even if the house's porch has a wood handrail.**

Since brick is an acceptable material for sidewalks, its use cannot be prohibited. The standards indicate that a simple pipe rail handrail is preferred; the proposed handrail has balusters and is acceptable.

**PRELIMINARY FINDINGS AND CONCLUSION:**

The Cultural Resource Office’s consideration of the criteria for changes to porches, steps, private sidewalks and steps, led to these preliminary findings:

- 2144-46 Geyer Avenue is located in the McKinley Heights Local Historic District.
- Extensive changes were made to the porch, porch steps, private sidewalk, and lower steps without a permit.
- The McKinley Heights district standards require that steps and porch elements retain their original location and configuration, which includes porch walls and the width of attached steps.
- The applicant proposes to restore the front wall of the porch to its appearance before the recent work was undertaken, but leave a wider opening for the wider steps.
- Brick is not an approved material for porch steps.
- The concrete steps remain in place under the brick and the reversal of the changes to the steps and porch wall can be reasonably accomplished.
- Brick is an approved material for sidewalks and the section heading of the standards implies that it is also approved for on-premise steps not extending from a porch.
- As the standards are ambiguous about the need to retain the historic width of terrace steps and on-premise sidewalks, the wider lower steps and brick sidewalk can be approved.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as the alterations to the porch wall and porch steps are not in compliance with the McKinley Heights Historic District Standards.



**PORCH AND STEPS PRIOR TO WORK**



**PORCH AND STEPS AS ALTERED**



**SIDEWALK AND PLANTING AREAS**



**ON-PREMISE STEPS**



**ELEVATION DEPICTING PARTIALLY RESTORED PORCH WALL AND RAILING**



CITY OF ST. LOUIS  
**PLANNING & URBAN  
 DESIGN AGENCY**  
 CULTURAL RESOURCES OFFICE  
 FRANCIS G. SLAY, Mayor

**C.**

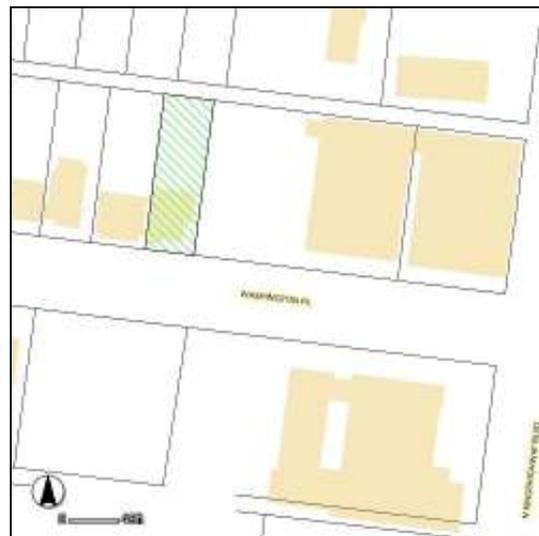
DATE: September 23, 2013  
 ADDRESS: 5033 Washington Place  
 ITEM: Appeal of Director’s Denial to install non-complaint roofing  
 JURISDICTION: Central West End Certified Local Historic District — Ward 28  
 STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



5033 WASHINGTON PLACE

**OWNER:**  
 Terry MacHaffie  
**APPLICANT**  
 Cary Babinec

**RECOMMENDATION:**  
 That the Preservation Board uphold the Director’s Denial, as the proposed roof does not comply with the Central West End Historic District Standards.



**RELEVANT LEGISLATION:**

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Excerpt from Ordinance #69423, the Central West End Historic District:

**7) Roofs**

**The visible form of the roof, as in its shape and pitch, and the presence or absence of dormers and other roof elements, shall not be altered. Materials used on historic pitched roofs and dormers in the historic district are slate, terra cotta mission tile, copper, and terne metal. Original or existing slate, tile and metal roofs shall be preserved through repair and maintenance. Original or historic roof material shall not be replaced with another type of historic material that would change the character of the roof: i.e., replacing historic ceramic tiles with slate shingles. Photographic evidence shall be provided of the deteriorated condition of roofing materials to justify replacement. Original or historic roofing material shall be used wherever the roof is visible. Materials that replicate the original may be used if the original or historic material is unavailable and the substitute material is approved by the Cultural Resources Office.**

The owner wishes to install a metal panel system that resembles red terra cotta tile. The building's historic, original roof – which almost certainly would have been slate shingles – has been replaced with composition shingles. Since the proposed material does not replicate the original, the proposal is not compliant with the Central West End standards. The proposal will be adding a conjectural element – a clay tile roof – which would change the character of the building.

**PRELIMINARY FINDINGS AND CONCLUSION:**

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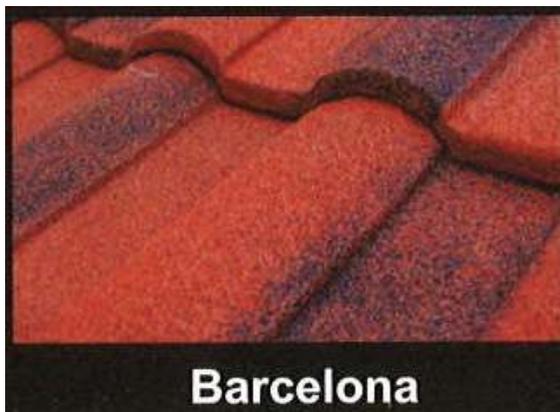
The Cultural Resources Office consideration of the Central West End District standards and the specific criteria for roof replacement led to these preliminary findings.

- 5033 Washington Place is located in the Central West End Local Historic District.
- The original, historic roofing – slate – was replaced with asphalt shingles many years ago.
- The installation of the metal/clay tile is not appropriate for the architectural style of the house.
- The appropriate replacement roofing materials are architectural grade asphalt shingles, slate, or one of the materials that appears to be slate. A similar metal roofing product that replicates the look of slate shingles is available.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Central West End Local Historic District standards.



LOOKING WEST AT BUILDING



**Barcelona**

PROPOSED MATERIAL



CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**  
CULTURAL RESOURCES OFFICE  
FRANCIS G. SLAY, Mayor

**D.**

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DATE: September 23, 2013  
ADDRESS: 3301 Salena Street  
ITEM: Appeal of Director's Denial of alterations to the storefront area and construction of a noncompliant garage and rear deck  
JURISDICTION: Benton Park Local Historic District — Ward 9  
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office

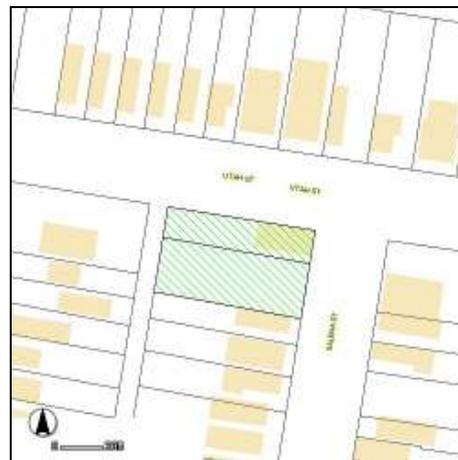


3301 SALENA

**OWNER:**  
Johnny Hernan Martinez

**APPLICANT:**  
Mike Killeen

**RECOMMENDATION:**  
That the Preservation Board uphold the Director's Denial, as the windows do not comply with the Benton Park Historic District Standards.



**RELEVANT LEGISLATION:**

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Excerpt from Ordinance #67175, the Benton Park Local Historic District:

**101.2 Appendages**

**Steps, stoops, porches, and decks attached or immediately adjacent to the primary building**

**206.3 New Appendages to Semi-Public and Private Facades**

- 1. New porches, stoops and steps at Semi-Public and Private Facades shall be based on a Model Example.**
- 2. Decks are prohibited at Semi-Public Facades except when those occur at the rear of a building.**
- 3. Decks, whether constructed at a Semi-Public Facade at the rear of a building or at a Private Facade, must not:**
  - 1. Obscure any architectural detail of the building such as windows, doors, or ornamental brick work; or**
  - 2. Be visually dominant because of mass, scale, or topology of the land.**

The proposed rear deck is not based on a Model Example. The deck would be significantly larger than traditional exterior staircase configurations. The deck would extend over 14 feet into the back yard at its furthest point. Since the property occupies a corner lot, the new deck would have a visually dominant appearance from Utah Street, due to its mass and scale.

**208 STOREFRONTS**

**Comment: Storefronts are of particular importance in the Benton Park Historic District. Owners are encouraged to restore store fronts to their original style.**

**208.1 Reconstructed Storefronts**

**Reconstructed storefronts shall meet the following:**

- 1. The glazing shall be insulating glass.**

**Comment: This material is required by City Building Codes.**
- 2. All exposed materials shall be painted, including wood and metal.**
- 3. Be based on a Model Example consistent with the building's original character.**

The proposed storefront is not based on an appropriate Model Example. The storefront being used for the example has been altered and does not retain its original bulkhead or transom bar. However, the example provided does have original storefront components around the entry, but this design was not used for the majority of the proposal, especially at the bulkhead. The historic bulkhead has a recessed panel while the proposed has a projecting center detail. In addition, the owner wishes to leave a portion of the modified bricked-in storefront along Salena Street, which would present an appearance that is not historic.

**303 GARAGES AND CARPORTS IN NEW CONSTRUCTION**

**Garages and carports are not regulated except as follows:**

1. Garages and carports shall be set within 10' of the alley line.
2. Vehicular access shall only be from the alley.
3. Garage doors shall be parallel to, and face, the alley.
4. Construction requirements per form:
  1. Garages shall be sided with 4" cover siding of wood, vinyl or finished aluminum, 4" beaded tongue and groove siding, brick or brick veneer. Unfinished siding is prohibited.
  2. Based on a Model Example.
5. Garage and carport roofs shall be as set forth in Section 201.
6. The mass and scale of garages and carports shall be appropriate for their use and shall not visually dominate the main building.

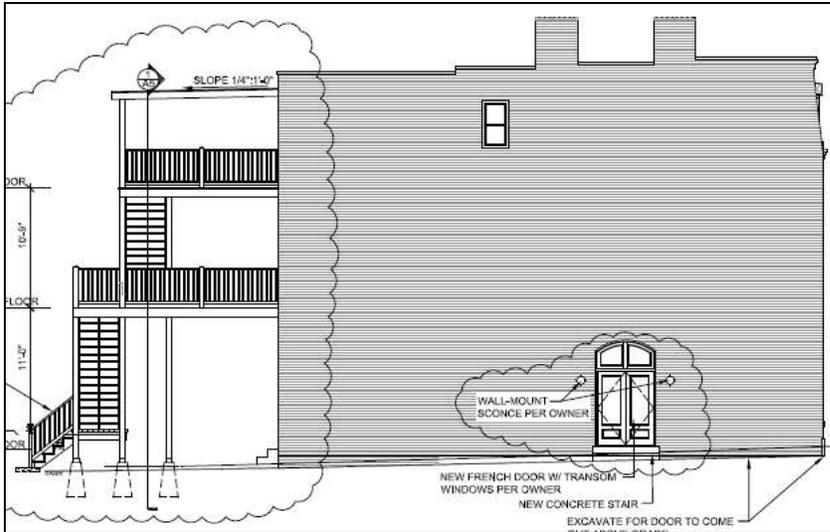
The proposed garage is not based on a Model Example. The proposed three car garage would have a footprint of 46 feet by 24 feet, which is slightly larger than the existing building and is greatly out of scale with the main building.

#### **PRELIMINARY FINDINGS AND CONCLUSION:**

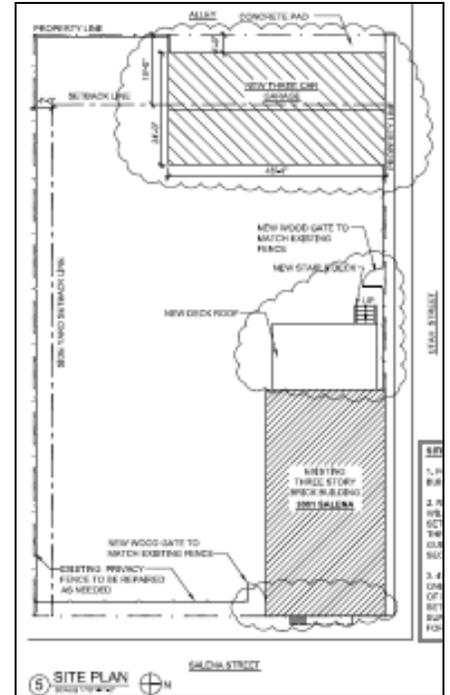
The Cultural Resources Office consideration of the Benton Park District standards and the specific criteria for decks and garages led to these preliminary findings.

- 3301 Salena Street is located in the Benton Park Local Historic District.
- The proposed rear deck is not based on a Model Example and would be visually dominant from Utah.
- The proposed garage is not based on a Model Example and is out of scale with the main building; it would be visually dominant due to its large footprint.
- The proposed storefront is not based on an appropriate Model Example. A portion of the altered storefront would remain, presenting an appearance that would not have occurred historically.

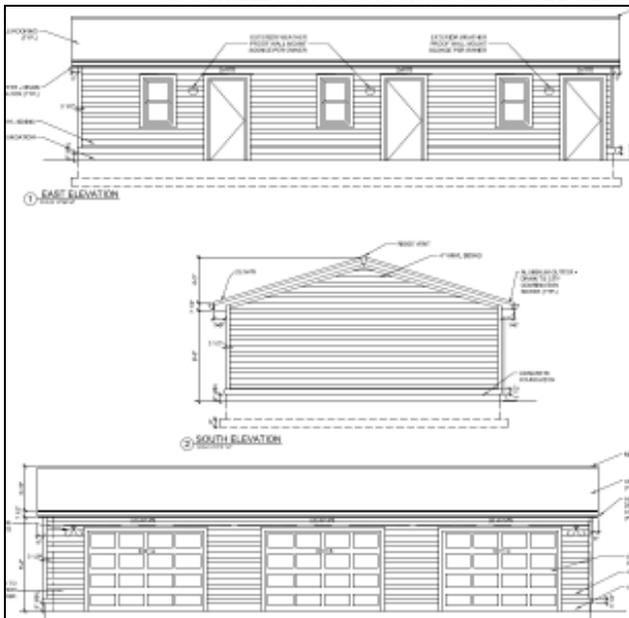
Based on the preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the storefront, garage and rear deck as they are not in compliance with the Benton Park Local Historic District Standards.



**SOUTH ELEVATION SHOWING PROPOSED REAR DECK**



**PROPOSED SITE PLAN**



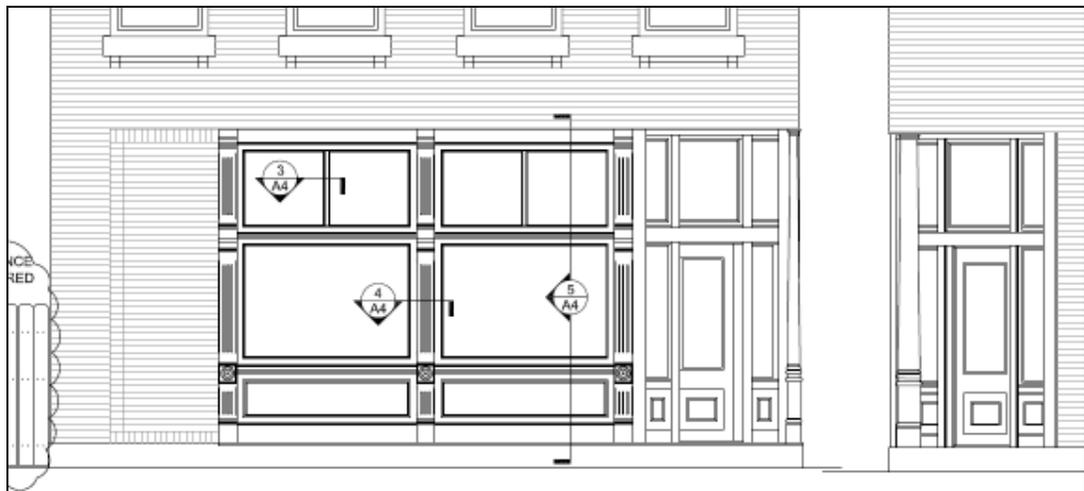
**PROPOSED GARAGE ELEVATIONS**



**LOCATION OF PROPOSED DECK**



LOCATION OF PROPOSED GARAGE



PROPOSED STOREFRONT



EXISTING STOREFRONT



EXISTING STOREFRONT



CITY OF ST. LOUIS  
**PLANNING & URBAN  
DESIGN AGENCY**  
CULTURAL RESOURCES OFFICE  
FRANCIS G. SLAY, Mayor

**E.**

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DATE: September 23, 2013  
ADDRESS: 4970 Pershing Place  
ITEM: Appeal of Director's Denial to retain non-complaint roofing material installed without a permit  
JURISDICTION: Central West End Certified Local Historic District — Ward 28  
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



4970 PERSHING PLACE

**OWNER/APPLICANT**

Remigius Onwumeri

**RECOMMENDATION:**

That the Preservation Board uphold the Director's Denial, as the installed roof does not comply with the Central West End Historic District Standards.



#### RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, the Central West End Historic District:

##### **7) Roofs**

**The visible form of the roof, as in its shape and pitch, and the presence or absence of dormers and other roof elements, shall not be altered. Materials used on historic pitched roofs and dormers in the historic district are slate, terra cotta mission tile, copper, and terne metal. Original or existing slate, tile and metal roofs shall be preserved through repair and maintenance. Original or historic roof material shall not be replaced with another type of historic material that would change the character of the roof: i.e., replacing historic ceramic tiles with slate shingles. Photographic evidence shall be provided of the deteriorated condition of roofing materials to justify replacement. Original or historic roofing material shall be used wherever the roof is visible. Materials that replicate the original may be used if the original or historic material is unavailable and the substitute material is approved by the Cultural Resources Office.**

The owner replaced the original slate roof with an architectural grade asphalt shingle roof without a building permit. The standards require that evidence be provided to justify replacement of historic roofing material and that historic roofing material must be replaced with the same or similar product. No evidence was submitted to justify replacement of the original roof. Slate or a material that appears to be slate would be the replacement roofing materials that could be approved.

#### PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the Central West End District standards and the specific criteria for storefront alterations led to these preliminary findings.

- 4970 Pershing Place is located in the Central West End Local Historic District.
- The roof was replaced without a building permit.
- Historic slate shingles were removed from the roof without providing evidence that justifies replacement.
- The owner has removed the historic slate and installed a non-compliant asphalt shingle that does not comply with the requirements of the standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Central West End Local Historic District standards.



**DETAIL OF ROOF**