



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

**CULTURAL RESOURCES OFFICE
PRESERVATION BOARD
REGULAR MEETING
MONDAY MARCH 23RD, 2009
1015 LOCUST ST. #1200
4:00 P.M.**

APPROVAL OF MINUTES FROM FEBRUARY 23RD, 2009
APPROVAL OF MINUTES FROM MARCH 12TH, 2009

PRELIMINARY REVIEWS

- | | | |
|----|---------------------------|------------------------------------|
| A. | 1824 KENNETT PL. | LAFAYETTE SQUARE HISTORIC DISTRICT |
| B. | 4414 N. FLORISSANT | HYDE PARK HISTORIC DISTRICT |

APPEALS OF STAFF DENIALS

- | | | |
|----|------------------------------------|------------------------------------|
| C. | 2014 RUTGER ST. | LAFAYETTE SQUARE HISTORIC DISTRICT |
| D. | 2200 S. 12TH ST. | SOULARD HISTORIC DISTRICT |

NEW APPLICATIONS

- | | | |
|----|-----------------------------|------------------------------------|
| E. | 4608 WASHINGTON AVE. | PRESERVATION REVIEW DISTRICT |
| F. | 4610 OLIVE ST. | CENTRAL WEST END HISTORIC DISTRICT |



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**

Cultural Resources Department

A.

Date: March 23, 2009
To: City of St. Louis Preservation Board
From: Jan Cameron, Cultural Resources Office
Subject: Preliminary Review: Construct 2-story addition; detached “carriage house,” and two 2-car garages in side yard of 2-story single-family house in the Lafayette Square historic district
Address: 1824 Kennett Place
District: Lafayette Square Historic District **Ward: 6**



1824 KENNETT PLACE AND SIDE YARD ON WEST

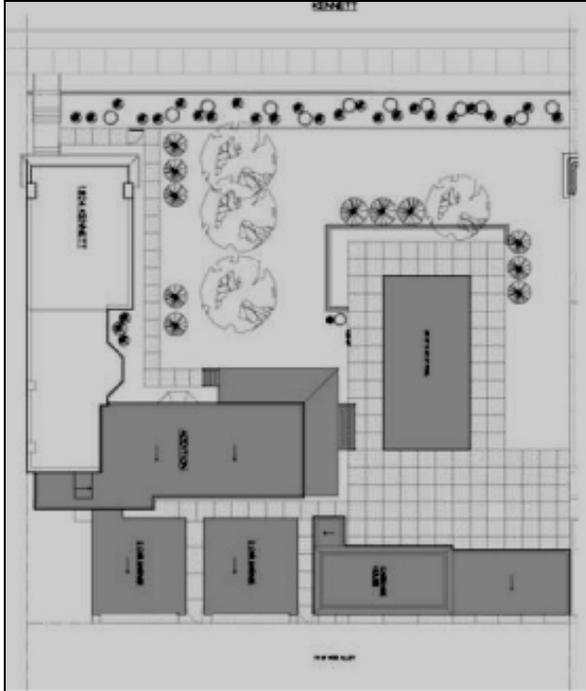
Owners:
 Scott Jones and Susan Wofford Jones

Architect:
 Joseph Klitzing/Klitzing Associates

Purpose:
 To review a preliminary request to construct a two-story addition and other ancillary structures.

Staff Recommendation:
 That preliminary approval be granted, subject to revision of high fence, finalization of design details and receipt of full architectural drawings for staff approval.





**PROPOSED SITE PLAN SHOWING ADDITION,
POOL RETAINING WALL AND ANCILLARY
BUILDINGS SHADED**

Background

On February 13, 2006, the Cultural Resources Office staff received a request for a preliminary review for the construction of a two-story addition to an historic two-and-one-half-story house to be rehabilitated on Kennett Place, in the Lafayette Square Historic District. Also included in the project was the construction of a detached story-and-a-half “carriage house,” actually an ancillary building with recreation space; two separate 2-car garages; and an in-ground pool.

The Cultural Resources Office staff met with the contractor for the project and suggested revisions, that included: brick veneer on the addition to match the historic house, and simplification of its facade detailing; turning the “carriage house” 90 degrees and aligning it at the alley. Because of the scope of the project, it was scheduled as a preliminary review before the Preservation Board..



NORTH SIDE OF KENNETT PLACE FROM WEST TO EAST



Site and Surrounding Area:

The site is comprised of a single-family house (converted to apartments) and four adjacent parcels on Kennett Place, one of the prime residential areas of the Lafayette Square neighborhood. Kennett Place, developed between 1885 and 1890, is a private street originally composed of 2- or 2-1/2 -story, single-family houses, most in the Italianate style. All are architecturally significant, many with incised limestone fronts, including 1824 Kennett. There has been some compatible infill on the north side of the Place.



INFILL PROPERTIES AT EAST END OF KENNETT

Reasons for Application:

The developer wishes to obtain preliminary approval for the project design before proceeding to construction documents.



SOUTH SIDE OF KENNETT PLACE, FROM EAST TO WEST



SOUTH SIDE OF KENNETT PLACE — PROJECT SITE ON RIGHT



SOUTH SIDE OF KENNETT PLACE — PROPERTIES ADJACENT ON WEST TO PROJECT SITE



NEW CONSTRUCTION AT KENNETT AND MISSISSIPPI

Relevant Legislation

Excerpt from Ordinance #63327, Lafayette Square Historic District:

ARTICLE ONE: INTRODUCTION

101 DEFINITIONS

16 Intermediate Facade

Term used to describe the architectural elevation(s) of a building which meet the following criteria:

- (1) Side elevation which faces an alley,*
- (2) The section of a side elevation that is in front of the building line of adjacent structures,*
- (3) For a side elevation next to a vacant lot or side yard, all stories of the first 15 feet of this elevation behind the Public Facade.*

For the remainder of the side elevation(s) that face a vacant lot or side yard (behind the 15 foot line), the elevation shall be Intermediate for certain respects and Private for others. The first story of the side elevation that faces a vacant lot or a side yard shall be considered Private in all respects of the Code, beginning 15 feet back from a Public Facade. All stories above the first story of a side elevation facing a vacant lot or side yard shall comply with the provisions for Intermediate Facade in all the sub-sections of 201 - Roofs, all the sub-sections of 202 - Exterior Walls, and Section 203.2 - Windows at Intermediate Facades. For

the issues covered in Sections 204, 205, 206, 207, and 208, these elevations are to be considered Private. See Article 210 for special provisions for additions at these elevations....

28 Public Facade

Term used to describe the architectural elevation(s) of a building which fronts on a public street. The Public Facade includes those sections of the elevation which are recessed. The facade of a carriage or alley house which faces the rear of the main structure on the same lot is the Public Facade.

The proposed addition will be constructed towards the rear of the house’s west elevation, and will attach to a Private Façade at the first story and an Intermediate Façade at the second story. The addition will have a Public Façade facing Kennett Place and a Private/Intermediate Façade facing west. (see underscored section above.)

The “carriage house” will similarly have a Public Façade facing Kennett; all other elevations will be Private. All elevations of the two proposed garages will be Private.



WEST ELEVATION OF 1824 — ADDITION TO BE ATTACHED BEHIND PROJECTING BAY



LOCATION OF "CARRIAGE HOUSE"



LOCATION OF ADDITION

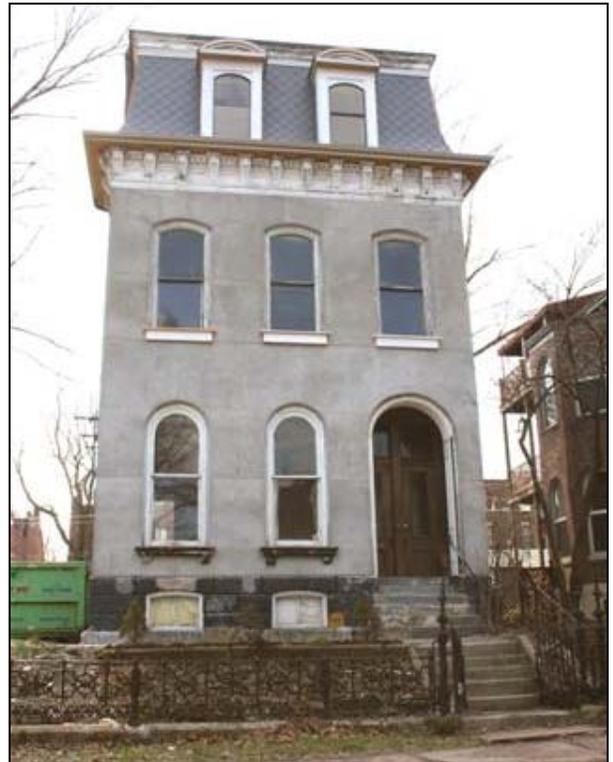
ARTICLE 2: NON-HISTORIC BUILDINGS, NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS
210 NEW ADDITIONS TO EXISTING BUILDINGS

1. *No new additions shall be made to the Public or Intermediate Facades of historic buildings, except as previously allowed by 206.1(C)(3) New Appendages, and except that new additions may be made to the side elevation that faces a vacant lot or private yard.*

Comment: New additions constructed at Private Facades may lengthen an adjacent Intermediate Facade. New additions made at the side elevation that faces a vacant lot or private yard may extend the Public Facade.

Complies. The proposed addition will be made to the rear of the west elevation, which is an Intermediate Façade.

2. *See Article 3, Non-Historic Building and New Construction, for restrictions relating to new additions to existing buildings.*



1824 KENNETT PLACE — TO BE REHABBED



STREET ELEVATION SHOWING PROPOSED NEW CONSTRUCTION

ARTICLE 3: NEW CONSTRUCTION

301 PUBLIC AND INTERMEDIATE FACADES

1. *The Public and Intermediate Facades of Non-Historic Buildings, New Construction and permitted Additions to existing Historic Buildings shall be reviewed based on the following:...*

301.1 Site

1. *Alignment*

1. *New construction and additions shall have Public Facade(s) parallel to the Public Facade(s) of the adjacent buildings....*

Complies. Front facades of addition and “carriage house” will align with adjacent buildings on Kennett Place.

2. *Setback*

1. *New construction shall have the same setback as adjacent buildings....*

Partly complies. The proposed addition does not adhere to the overall building line of the block; however, additions to other buildings on Kennett Place are also set back from the front elevation.





EXISTING ADDITIONS/APPENDAGES ON SIDE ELEVATIONS ON KENNETT PLACE

3. *Every unit shall have a Public Facade....*

Complies.

4. *In all new buildings, at least one Public Facade that faces the street shall contain an entrance.*

Not Applicable.

301.2 Mass

1. The mass of new construction shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.

Does not comply. The mass of the addition is not comparable to any addition or appendage on Kennett Place, or in Lafayette Square.



FRONT ELEVATION OF PROPOSED ADDITION

2. All new buildings shall be up on a base. The elevation of the first floor shall be at least 3 steps higher than the grade and there shall be steps leading to the entry. On the Public and Intermediate Facades, there shall be a differentiation in the facade near the level of the first floor that defines the base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that facade.

Complies. The addition's first floor level will be the same as that of the historic house.

301.3 Scale

1. New construction shall appear to be the same number of stories as other buildings within the block, or shall have the same number of stories as the building original to that site. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.

Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the crown molding on a Mansard building, to the roof eave on a building with a sloping roof.

Complies. The addition will have two stories and will have the same floor-to-ceiling heights as the historic house..

2. The building height shall be within 2' above or below the average height within the block.

Complies. There is a wide variety of heights on the block, including two-stories, two and one-half stories and one building that is a full three stories. The height of the addition will be similar to other two-story structures on Kennett Place.

3. When several buildings, or a long building containing several units, are constructed on a sloping street; the building(s) shall step down the slope in order to maintain the prescribed height. The step shall occur at a natural break between units or firewalls.

Not Applicable.



EAST ELEVATION OF PROPOSED ADDITION

301.4 Proportion

1. *The proportions of new construction and additions shall be comparable to those of adjacent buildings.*

Complies. Detailing of the addition and “carriage house” is similar in proportion to detailing on the house.

301.5 Ratio of Solid to Void

1. *The total area of windows and doors in the Public Facade of new construction and additions shall be no less than 25% and no more than 50% of the total area of the facade.*
2. *The proportion of a window in the Public Facade of new construction and additions shall be between one of the following:*

1. *1:2 and 1:3. The height shall be at least twice the width ($W \times 2 < H$).*
2. *Approved by the Lafayette Square Restoration Committee.*

Complies. The Public Facades of the addition and carriage house comply with both these requirements.

301.6 Public and Intermediate Facade Materials and Material Color

1. *Finish materials shall be one of the following:*
 1. *Kiln-fired brick, 2-2/3" x 8" x 4" nominal, or brick size based on a model example.*
Comment: Brick within the District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove (See figure 8). Most brick within The District is hard and smooth and red or orange in coloration with only minor variations in coloration.
 2. *Stone common to The District*
 3. *Replica stone including scored stucco*
 4. *Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels.*
 5. *Approved by the Lafayette Square Restoration Committee....*

Complies. The front and side elevations of the addition and “carriage house” will be brick to match that of the house.

2. Clear and non-reflective panes of glass shall be used in Public and Intermediate facade windows, transoms and doors.

Complies.

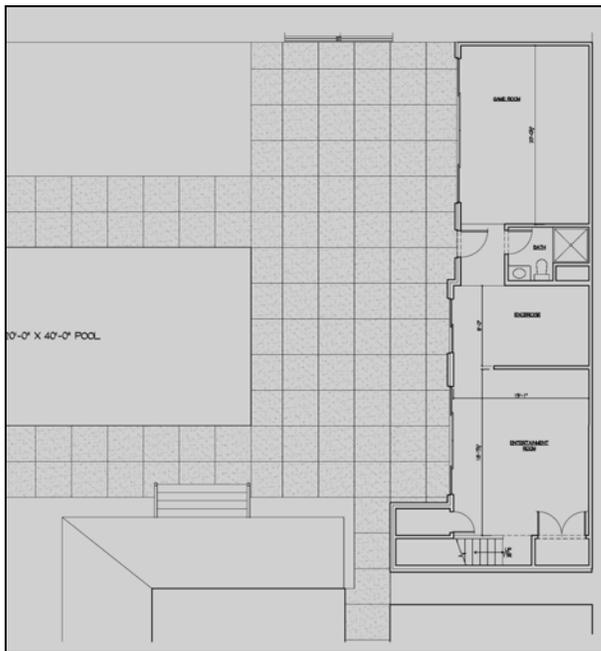
3. Gutters and downspouts shall comply with Section 201.8(A)(3)&(4).
4. A proposed structure that uses brick on the Public Facades shall also use brick on the Intermediate Facades.

Complies.

301.7 Public and Intermediate Facade Roofs

1. Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.
2. Visible roofing material shall be limited to the following:
 1. slate,
 2. synthetic slate,
 3. asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,
 4. standing seam, copper or pre-finished sheet metal roofing,
 5. Plate or structural glass....

Complies with all requirements.



STREET ELEVATION SHOWING PROPOSED NEW CONSTRUCTION — NORTH IS TO THE RIGHT

301.7 Public and Intermediate Facade Roofs

1. Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.
2. Visible roofing material shall be limited to the following:
 1. slate,
 2. synthetic slate,
 3. asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,
 4. standing seam, copper or pre-finished sheet metal roofing,
 5. Plate or structural glass....

Complies with all requirements.



STREET ELEVATION SHOWING PROPOSED NEW CONSTRUCTION

303 GARAGES, ALLEY HOUSES & CARRIAGE HOUSES

1. *Garages shall be set within 10' of the alley line.*

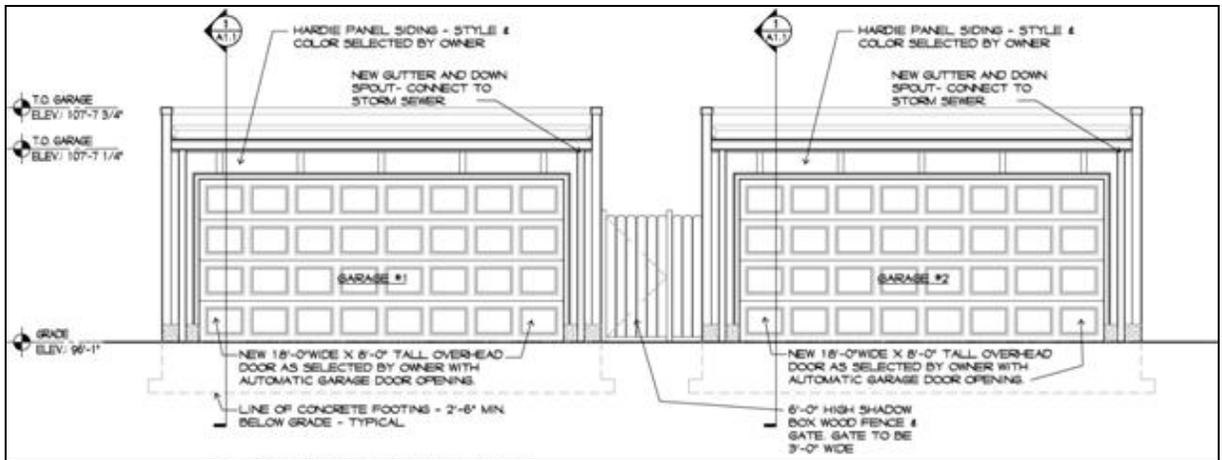
Complies. All three ancillary buildings will be within 10 feet of the alley.

2. *Garages shall be directly behind the main structure on the site. If existing site conditions prohibit this placement, then the new structure shall comply with Section 301, except 301.1(B), and 301.3.*

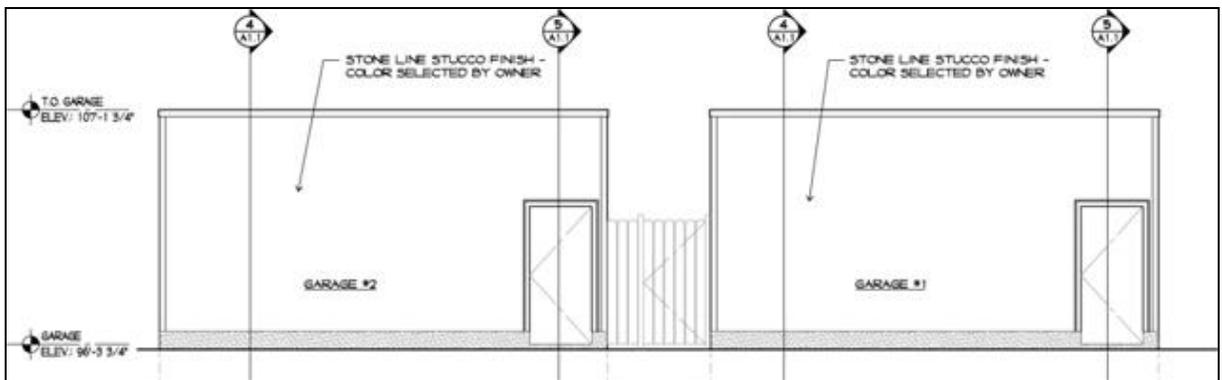
Partly complies. The two 2-car garages are located behind the proposed addition and will not be visible from the street. The “carriage house” structure will be located towards the rear of the property, but in the extensive side yard.

3. *Vehicular access shall only be from the alley. See also Section 301.1(F)*
4. *Garage doors shall be parallel to, and face, the alley.*
5. *Construction materials:*
 1. *Consistent with a model example.*
 2. *Brick*
 3. *Stone or replica stone, including scored stucco or block.*
 4. *Siding*

Complies with these three requirements. The two garages be scored stucco to replicate stone on the south elevation; proposed north elevation will be Hardiboard siding. The “carriage house” will be brick veneer with mansard sheathed in shingles, the same materials proposed for house mansard and addition.



STREET ELEVATION SHOWING PROPOSED NEW CONSTRUCTION



ARTICLE 4: SITE

This Article applies to all buildings in The District.

401 SLOPE/GRADE AT PUBLIC AND INTERMEDIATE FACADES

The historic slope of a yard shall not be altered at the Public or Intermediate Facade unless it has at some time been altered and is to be restored to its original configuration, or unless a new retaining wall that complies with a Model Example has been installed.

Complies. The original grade of the front will be restored across all parcels.

402 WALLS...

402.2 Retaining Walls At Public And Intermediate Facades

Definition: A retaining wall is constructed to allow a change in grade from one side of the wall to the other.

1. *New and reconstructed retaining walls shall be based on a Model Example.*

Complies. The existing historic retaining wall will be restored and reconstructed across all parcels.

2. *The exposed side of a retaining wall shall be vertical.*
3. *The top of the retaining wall shall be horizontal, and shall extend a maximum of*
4. *8 inches above the high point of the grade retained.*

Comment: New and reconstructed retaining walls shall replicate the appearance of an historic wall. Thus stone or brick may be applied as a veneer to a concrete wall as long as the outward appearance meets the visual qualities of the Model Example.

Complies with all requirements.

403 FENCES

Comment: Fences are a very important part of the streetscape within historic districts. Fences can frame a view of an individual's property, define public versus private ownership, and act in unison with other fences to add a sense of continuity and rhythm to the street.

403.1 Street Fences

Definition: Street fences are those fences which are located in front of the building or less than 12 inches behind any building line which is adjacent to a public street.

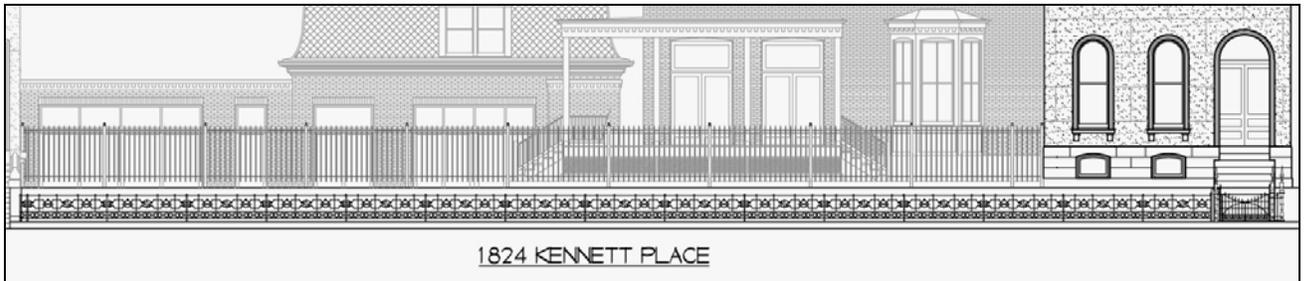
1. *Street fences are restricted to a height of 42" or less when measured above the ground. A Model Example may be used as a reason for a variance. When placed atop a retaining wall, the height shall be measured from the top of the wall.*

Low fence complies. The existing historic wrought-iron fence in front of 1824 Kennett will be replicated across all parcels.

High fence does not comply. A 6-foot high wrought-iron fence is proposed to be installed atop the terrace, and approximately 6 feet in front of the building line.



HISTORIC STONE RETAINING WALL AND WROUGHT-IRON FENCE



SIDE ELEVATION OF BUILDING IN VICINITY OF 1020 S. 18TH STREET

2. *The top level of street fences shall match the top level of adjacent street fences, or shall match the predominant top level of street fences on the same block on the same side of the street.*
3. *The top of street fences parallel to a sidewalk shall be horizontal, stepping the top at intervals as required to maintain the appropriate height.*

4. *Street fences shall be metal and duplicate the proportion and scale of a Model Example. The Model Example fence shall be located in front of a building of similar vintage to the property under consideration....*

Complies. Both fences adhere to these requirements.

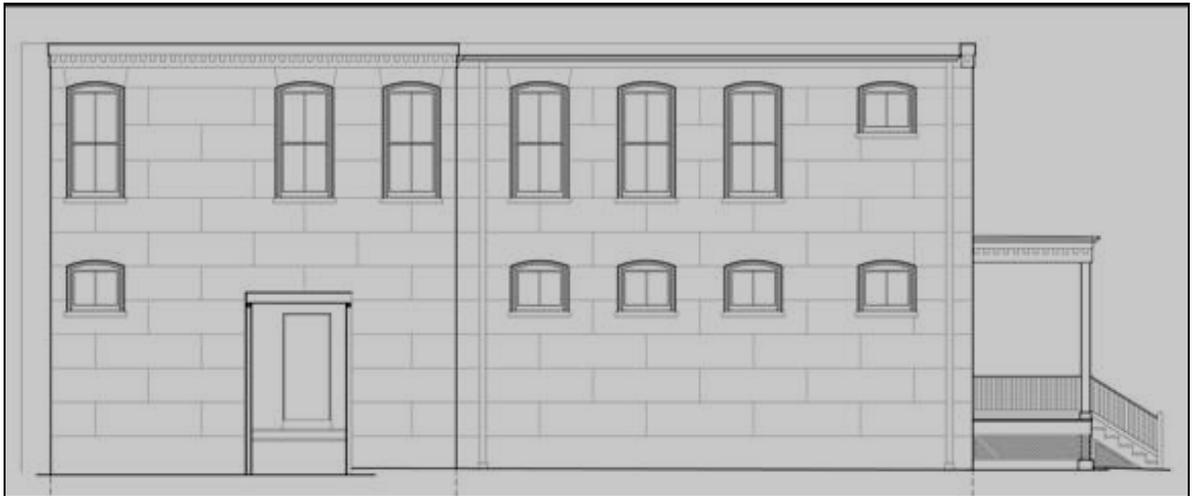
407 SWIMMING POOLS

Above ground and in ground swimming pools shall not be visible at the Public or Intermediate Facades.

Complies. A retaining wall will be constructed to hide the pool from street view.

Community Consultation

To date, no comments have been received from the ward Alderman. The staff has received a letter dated January 19, 2009 signed by Mark Etting, Vice President for Development at the Lafayette Square Restoration Committee. He states that the Development Committee has reviewed the proposal and recommended that the project proceed as submitted.



**REAR (ALLEY) ELEVATION OF ADDITION WITH SCORED STUCCO
(ORIGINALLY PROPOSED FOR ALL ELEVATIONS)**

Comments

The Cultural Resources Office staff believes that the proposed project is generally in compliance with the Lafayette Historic District standards as written. The mass of the proposed addition, although located towards the rear of the site, is much greater than Intermediate Facade additions within the neighborhood. However, the applicant has agreed to all the staff's suggestions to reduce its visual presence. The original submission proposed a scored stucco material; multi-light windows and doors, and a large porch. At the staff's request, the architect has simplified opening details, reduced the depth of the porch, and specified brick on the addition's visible elevations. Also, the "carriage house," originally intended to face the house along the western property line, was rotated 90 degrees and moved to the rear alley, to reflect the traditional siting of historic accessory structures.

The staff feels that the addition of dark red brick and simplified detailing will contribute to lessening the addition's impact on the street. The staff also recommends substantial evergreen landscaping be installed to further mitigate the effect. Several years ago, the Preservation Board

approved the construction of a greenhouse addition on another house on Kennett Place, with the requirement that it be screened with landscaping. Today, the addition is scarcely visible. (See photo below.)



GREENHOUSE ADDITION APPROVED BY PRESERVATION BOARD

The staff is recommending that the high fence to be erected at the top of the front terrace, all along the street frontage, not be approved. Although it will be of wrought-iron and visually unobtrusive, the precedent set by locating a high fence in front of the building line is a concern. Staff recommends that the fence be eliminated or withdrawn to 12 inches behind the building line, as required by the Standards.

Conclusion

The Cultural Resources Office staff recommends that preliminary approval be granted, subject to the following stipulations:

1. That the proposed wrought-iron high fence be eliminated or moved to 12 inches behind the building line;
2. that the applicant work with the staff to finalize design details; and
3. that full architectural drawings are submitted for final staff review.

Contact:

Jan Cameron Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 216 Fax: 314-622-3413
E-Mail: CameronJ@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

B.

DATE: March 23, 2009
SUBJECT: Preliminary Review for new construction of health center
ADDRESS: 4414 N. Florissant Avenue
JURISDICTION: Hyde Park Certified Local Historic District - Ward 3
FROM: Andrea Gagen, Preservation Planner, Cultural Resources Office

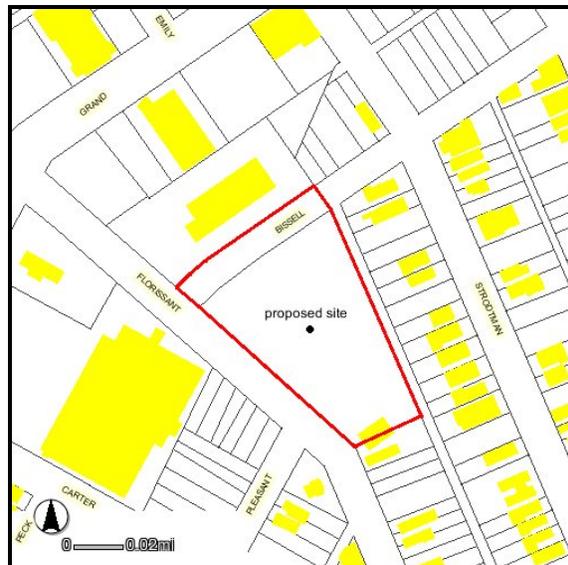


Owner:
 Grace Hill Neighborhood Health Centers,
 Inc.

Applicant:
 Jeff Morrisey (Arcturis) for
 Rick Wolf (GHNHC)

Purpose:
 To construct a new Grace Hill health
 center.

Recommendation:
 That the Preservation Board preliminary
 approve the proposed health center with the
 stipulation that final plans and construction
 documents are reviewed and approved by
 the Cultural Resources Office staff.



PROPOSAL:

To construct a new Water Tower Health Center for Grace Hill Neighborhood Health Centers, Inc. (GHNHC) on a large vacant lot at 4414 N. Florissant.



VIEW OF LOT



GHNHC WATER TOWER HEALTH CENTER
ARCTURIS
MARCH 04, 2009
SITE PLAN WITH CONTEXT NOT TO SCALE

SITE PLAN



GHNHC WATER TOWER HEALTH CENTER
ARCTURIS
MARCH 4, 2009
ILLUSTRATIVE LANDSCAPE PLAN

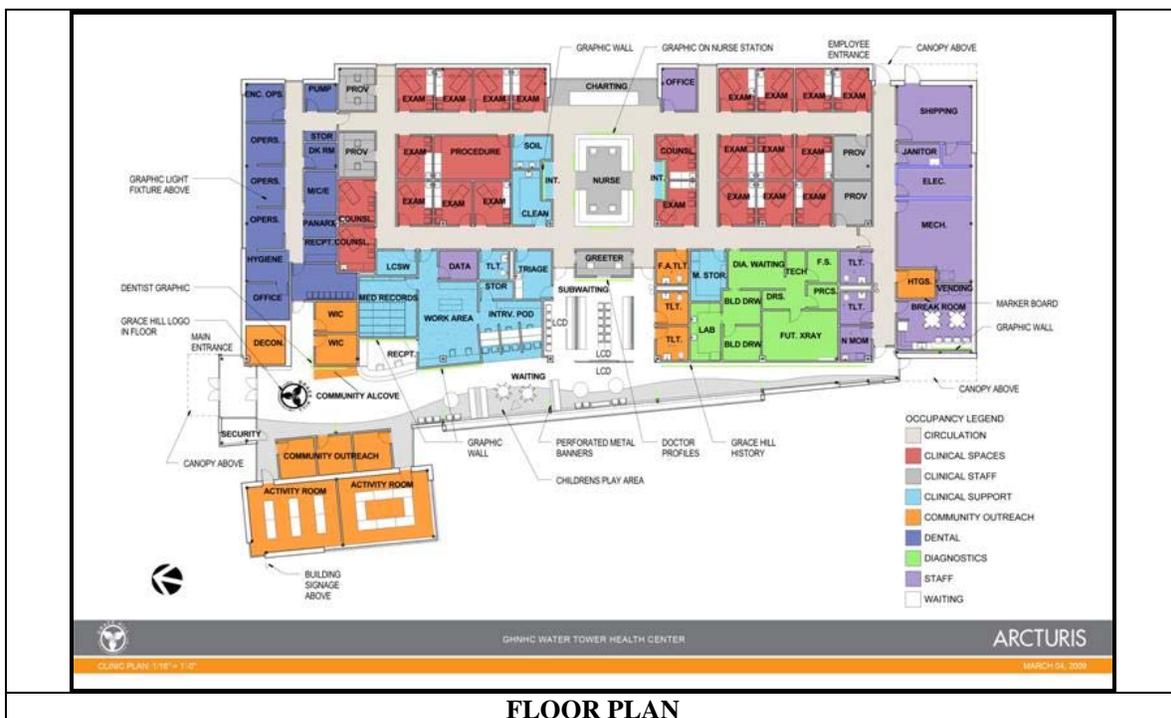
DETAIL OF SITE PLAN

BACKGROUND:

On March 4, 2009 the owner and applicant applied for a Preliminary Review of the proposed new construction of a health center at 4414 N. Florissant. A meeting with the Cultural Resources Staff was also conducted at that time. Currently the health center is operating out of a storefront in the strip mall across N. Florissant. The new health center would provide a permanent home for their services. In addition to the vacant lot, the applicant is seeking to vacate Bissell St. on the north side of the property.



WEST AND NORTH ELEVATIONS OF PROPOSED CENTER IN CONTEXT



FLOOR PLAN

SITE AND SURROUNDING AREA:

4414 N. Florissant is a large vacant lot on the northwestern edge of the Hyde Park Certified Local Historic District. The lot is bordered on the north side by Bissell Street. The areas to the south and east are mainly residential, while the areas to the north and west are more commercial in nature.



BUILDINGS DIRECTLY SOUTH OF LOT



FURTHER SOUTH ON N. FLORISSANT



VIEWS NORTH OF LOT



RELEVANT LEGISLATION:

Excerpt from Ordinance #57484, Hyde Park Historic District:

Hyde Park Historic District Use, Rehabilitation and New Construction Standards
COMMERCIAL/INDUSTRIAL (PROPOSED "F", "G", "J" ZONING DISTRICTS)

- A. Structures: (New Construction or Alterations to Existing Structures)
1. Location.
New or moved commercial structures shall be positioned on the lot to enhance the character of the commercial location.
Complies.
 2. Height (scale, size and proportion).
New buildings must be constructed within 15 percent of the average height of existing commercial buildings on the block. In no case shall a commercial structure of less than two stories be permissible.
Complies. Although the building is not actually two stories, its height approximates a two story building.
 3. Exterior Materials.
In Hyde Park brick masonry, stone masonry or stucco are dominant with terra cotta and wood used for trim and other architectural features. All new building materials shall be compatible in type and texture with the dominant materials of adjacent buildings. Artificial masonry such as "Perma-Stone" is not permitted. A submission of all building material samples including mortar shall be required prior to approval.
Partially complies. The majority of the front facade will be brick, but the metal to be used is a more modern material.
 4. Roof Materials (and roof shape).
Roof materials shall be slate, tile, copper or asphalt shingles where the roof is visible from the street. Brightly colored asphalt shingles are not appropriate. When there is a strong, dominant roof shape in a block, any proposed new construction or alteration should be viewed with respect to its compatibility with the existing adjacent buildings.
Partially complies. Much of the roof is flat, which is similar to a number of other structures on the block. The long slope of the main roof in the front of the building however is not indicative of other roof shapes on the block.
 5. Details.
Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated similar details salvaged from other buildings may be substituted. Both new and replacement window and door frames shall be limited to wood or color finished aluminum. Raw or unfinished aluminum is not acceptable. Awnings of canvas only are acceptable.
N/A

6. Walls, Fences and Enclosures.
Walls and fences form an important part of the overall streetscape. These should be of brick, stone or stucco, wood, wrought iron or evergreen hedge when visible from the street, as is consistent with existing dominant materials.

Complies.

7. Landscaping.
If there is a predominance of particular types or qualities of landscape materials, any new planting should be compatible by considering massing and continuity. The installation of street trees by request to the City is encouraged and in some instances may be required.

Complies.

8. Street Furniture and Utilities.
All free-standing light standards placed in the front yard of any structure or premises shall be either authentic period styling or high quality contemporary design. The design and location of all items of street furniture must be approved prior to placement. Special permits must be obtained if street furniture is to be located within public right-of-way. Where possible, all new utility lines shall be underground.

Complies.

9. Drives and Parking (Paving or Ground Cover Materials) and Walks.
The use of masonry units compatible with adjacent building materials is encouraged. Pedestrian walks, courts, sitting areas, etc., shall be surfaced by a permanent material including textured concrete, brick pavers, cobblestone or street pavers or any other material consistent with adjacent surfaces. Asphalt paving shall not be acceptable on any areas for pedestrian use, exclusively, and acceptable on vehicular use areas only.

Complies.

All off-street parking shall be located behind or to the side of commercial structures. Where visible from the street, screening with visually opaque landscaping or 5' minimum high masonry, shrubbery or concrete wall shall be necessary.

Partially complies. Parking is located to the side and rear of the proposed structure, but there is no visually opaque barrier to block the parking from view.

10. Signs.
Signs within the commercial district shall be in accordance with the zoning ordinance except that in no case will the following be allowed:

- a. Non-appurtenant advertising signs.

N/A

- b. Pylon signs in excess of 25' in height.

N/A

- c. Wall signs above the second floor window sill level.

Wall signs should be designed to complement the existing building and

never cover windows or other architectural elements. Where more than one wall sign exists on a single structure or a series of related structures, all signs should be basically similar in character and placement. Office buildings without first floor retail establishments shall have no more than one wall sign per facade located below the second floor window sill line designating only the name and address of the building.

Does not comply. The signs are above the point of where the second floor window sill would be located.

d. Roof top signs.

N/A

e. Projecting signs are not acceptable if they obstruct the view of adjacent signs, obstruct windows or other architectural elements or extend above the second floor window sill level. Only one projecting sign is allowed per street frontage for each establishment.

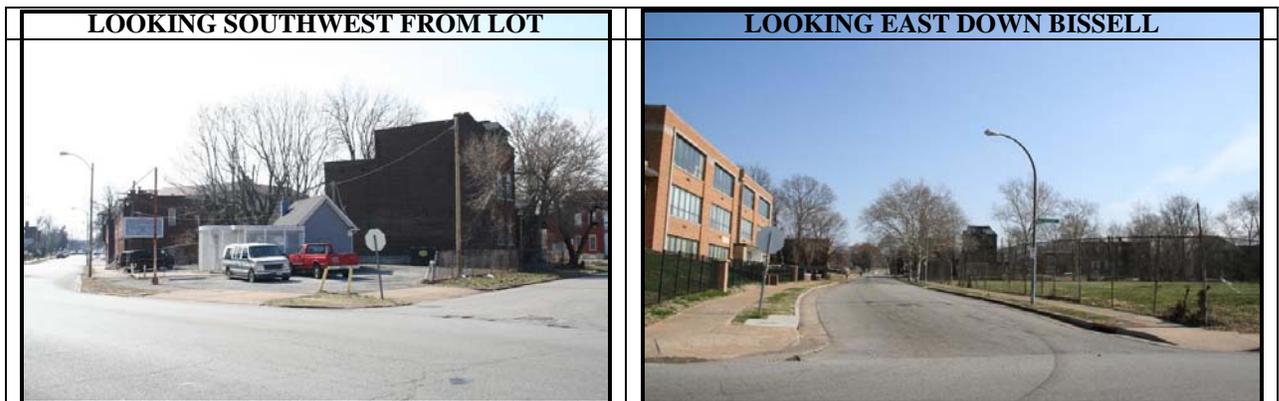
Does not comply. The projecting sign is above the point of where the second floor window sill would be located.

f. Flashing or rotating elements.

N/A

g. Painted wall signs.

N/A



COMMUNITY CONSULTATION:

The Cultural Resources Office has not been contacted by the Alderman or any neighborhood group regarding the project.

COMMENTS :

The proposed health center only partially complies with the Hyde Park Historic District standards. Although the building is contemporary in design, it does make an effort to fit within its historic surroundings, through the use of brick, a wall that approximates a base, the changes in height of the roof line and the use of landscaping.

The proposed site for the new construction is a large vacant lot on the northwestern edge of the district. That corner of the district has sustained a number of demolitions, many of which were commercial buildings. The addition of the proposed health center will provide an investment in an area that has long been neglected.

CONCLUSION:

The Cultural Resources Office is asking that the Preservation Board preliminarily approve the proposed new construction with the stipulation that final plans and construction documents are reviewed and approved by the Cultural Resources Office staff.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	gagen@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

C.

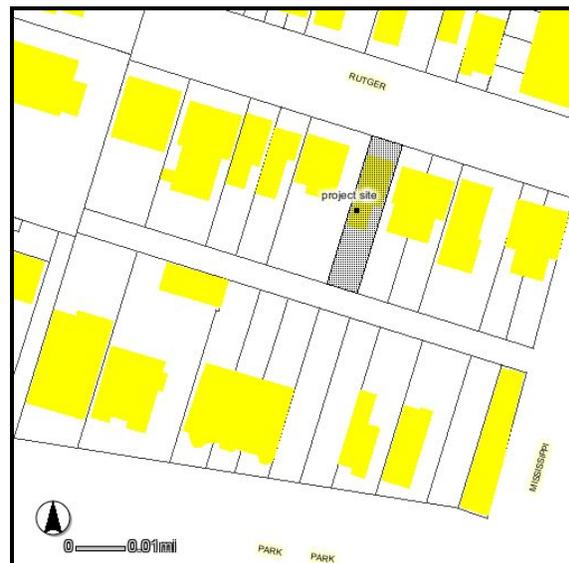
DATE: March 23, 2009
SUBJECT: Appeal of staff denial to construct a roof deck
ADDRESS: 2014 Rutger
JURISDICTION: Lafayette Square Local Historic District - Ward 6
FROM: Andrea Gagen, Preservation Planner, Cultural Resources Office



Owner/Applicant:
Ronald & Jessica Henderson

Purpose:
To construct a roof deck at the rear of 2014 Rutger.

Recommendation:
That the Preservation Board deny the roof deck as it does not meet the Lafayette Square Local Historic District Standards.

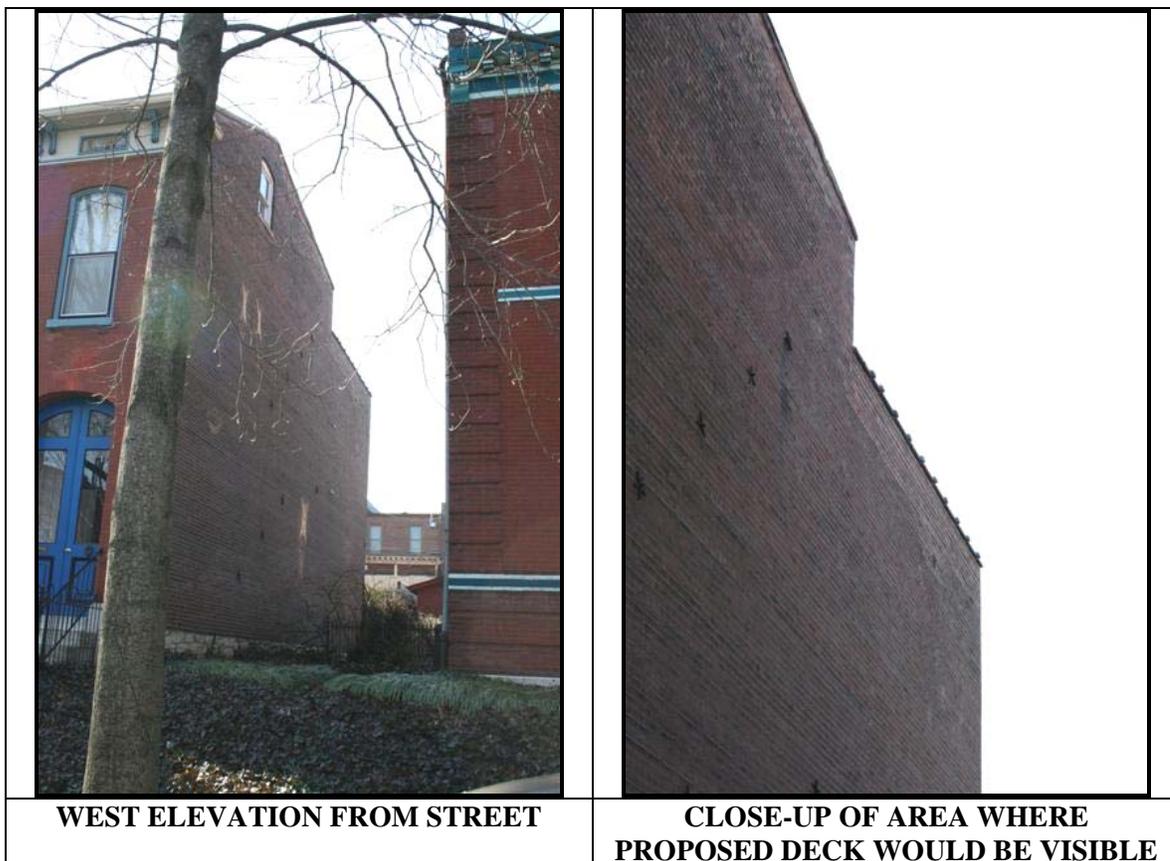


PROPOSAL:

To construct a roof deck at the Private Facade of 2014 Rutger.

BACKGROUND:

On January 29, 2009 the Cultural Resources Office received a permit application for construction of a roof deck at 2014 Rutger. The proposed deck had a 42” high handrail and the handrail on the west side ran just inside the parapet wall. Due to the visibility of this side of the building, the Cultural Resources Office ask the applicant to lower the handrail to a height of 36” and move the west side handrail over 3’ to the east, in line with the edge of the walkway. The owner was willing to lower the height of the handrail, but was not willing to move it to the east. The Cultural Resources Office denied the permit application and the owner has appealed that decision.



SITE AND SURROUNDING AREA:

2014 Rutger is located in the middle of the block, west of Mississippi Ave. The residential block consists of two- and three-story homes. It is within the boundaries of the Lafayette Square Local Historic District.



LOCATION OF PROPOSED ROOFTOP DECK FROM REAR

RELEVANT LEGISLATION:

Excerpt from Ordinance #63327, Lafayette Square Historic District:

Lafayette Square Historic District Rehabilitation and New Construction Standards

201 ROOFS

201.8 Roofing Accessories At Public & Intermediate Facades

- D. No plumbing vent stacks, attic ventilation devices, metal chimney flues or metal fireplace chimneys shall be visible, except that one roof penetration may be allowed for a plumbing vent on a sloping roof where it is impossible to hide such from view. **N/A**
- E. No skylight or roof window shall be visible. **N/A**
- F. No radio or television antennae or satellite dishes shall be visible. **N/A**
- G. No solar collectors shall be visible. **N/A**
- H. No roof decks on top of the uppermost story of a structure shall be visible. **Does not comply**
- I. No roof-top air conditioning units shall be visible. **N/A**
- J. No other items which are not original to a structure shall be visible. **Does not comply.**

COMMUNITY CONSULTATION:

The Cultural Resources Office has not been contacted by the Alderwoman or any neighborhood group regarding the project.

COMMENTS :

The owner has applied for a roof deck at the rear of 2014 Rutger. Due to the drop in height of the roof, the deck's relationship to the parapet wall, and the distance between the houses on the

west side, the Cultural Resources Office has determined that the handrail on that elevation will be highly visible from the street. The Cultural Resources office asked the owner to lower the height of the handrail and move it 3' to the east, in line with the edge of the walkway. The owner has agreed to lower the height of the handrail, but does not wish to move it to the east. The Cultural Resources Office believes that the roof deck in that configuration does not meet the Lafayette Square Historic District standards due to its visibility from the street.

CONCLUSION:

The Cultural Resources Office is asking that the Preservation Board deny the roof deck as it does not meet the Lafayette Square Historic District standards.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	gagen@stlouiscity.com



D.

Date: February 23, 2009
To: City of St. Louis Preservation Board
From: Kate Shea, Director, Cultural Resources Office
Subject: Appeal of a Staff Denial
Address: 2200 S 12th Street

Ward: 7



2200 S. 12TH LOOKING SOUTH



2200 S 12TH STREET LOOKING EAST

Owner:
 The MAC ERA, Inc
 c/o owner, Mona Parsley and tenant
 Todd Besancenez, RE/MAX Realty

Purpose:
 Appeal of a staff denial of an
 application for a building permit to
 erect a sign in the Soulard Certified
 Local Historic District

Recommendation:
 Staff recommends that the Board
 uphold the staff denial.



1.0 Proposal

Install a non-conforming sign in a City Historic District.



2.0 Background

In early December, 2008, staff received a citizen complaint about the installation of signs without a permit in the Soulard Historic District. Upon inspection, staff documented that the signs had been attached to the brick wall, but that the electricity had not yet been installed for internal illumination. During the next week, the owner applied for a building permit for the signs. Staff determined that the signs were not in compliance with the Soulard Historic District Sign Standards and contacted the owner and sign company for consultation. The owner was unwilling to make changes to the signs and so the application was denied by staff within the 45 day review time permitted by Title 24. The applicant wrote an undated letter of appeal which was received by staff on February 11, 2009.

3.0. Site and Surrounding Area



VIEW OF THE INTERSECTION OF S. 12TH STREET AND ANN AVENUE LOOKING CLOCKWISE AT THE BUILDING SITE AT 2200 S 12TH, THEN LOOKING NORTH TOWARDS THE INTERSECTION ON THE EAST SIDE OF ON S 12TH, THEN AT THE SOUTH WEST SIDE OF THE INTERSECTION AND THEN AT THE NORTH WEST SIDE.

The site is a four story corner commercial building with residential condominium units on the units on the second and third floors. The building was constructed in 1885; it is described in the

Soulard National Register nomination as having "City Significance". The building's has a tall, Romanesque architectural style typical of the period, with oversized corbelled brick trim, tall narrow windows and wide arched tri-partite ground floor window. Buildings adjacent to the site were all constructed between 1880 and 1910. The side facade of the structure has a "ghost" painted sign from the late 19th, early 20th Century.



4.0 Reasons for Application

The owner/applicant needs a building permit approved to install the sign.

5.0 Relevant Legislation

SOULARD HISTORIC DISTRICT

Ordinance 57078 (B.B. No. 40)

The character, size and quantity of the relatively unaltered historic buildings contained within the Soulard Historic District (the "District") make the Soulard Historic District unique. It is distinct for the manner in which its historic buildings relate to one another and to the street, for its cross section of architectural styles and for its uniformity of construction.

The establishment and enforcement of controls over exterior architectural features within the Soulard Historic District will ensure the on-going historical value of the Soulard Historic

District. At the same time, such controls must reasonably accommodate contemporary design and lifestyles in order to maintain and improve the quality of life of those residing within the Soulard Historic District.

These Soulard Historic District Standards (the "Standards") have been developed to establish a clear and consistent set of standards to govern the exterior architectural features within the Soulard Historic District. These Standards supplement the Building Code of the City of St. Louis (the "Building Code") and any applicable ordinances establishing standards pertaining to the construction, maintenance and repair of buildings located within the Soulard Historic District, and the areas surrounding such buildings.

207.7 Signs

Permanent Commercial Signs....

Commercial signs at structures serving a commercial purpose at the time of adoption of these Standards shall not exceed 40 square feet on each public facade or 10 percent of the area of each public facade, whichever is smaller. Each side of a protruding sign counts toward the 40 square feet so they may not be more than 20 square feet or 5 percent of the surface area whichever is smaller.

Does not meet Standards.

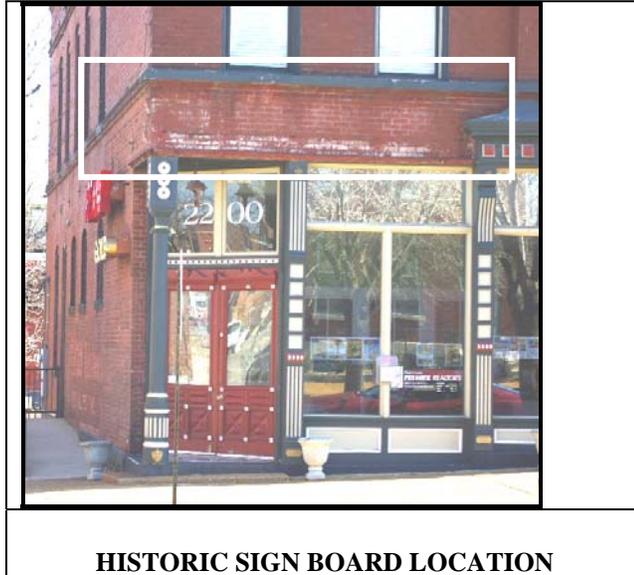
In measuring the size of signs under Historic District Codes, the entire wall area controlled by the total sign configuration is measured, instead of simply measuring the total square footage of the individual letters. Staff measured the actual sign on site and determined that the square footage covered by the letters as placed equaled over 40 square feet.

<p style="text-align: center;">10' FEET 4 INCHES WIDE</p>		<p>EACH LETTER IS 5 INCHES DEEP, ATTACHED TO A 6 INCH DEEP ELECTRICAL BOX MAKING THE DEPTH OF THE SIGN 11 INCHES FROM THE FACE OF THE BUILDING</p>
	<p style="text-align: center;">4.5 FEET TALL</p>	

Signs must be compatible with existing architectural details.

The sign is composed of individual, plastic backlit letters of a contemporary design, colors, and scale. The letters protrude from the wall face almost one foot. In addition, the placement of the letters is inappropriate for the design of the historic commercial building which was constructed

with an area for signage above the main corner entrance facing the intersection of Ann and S. 12th.



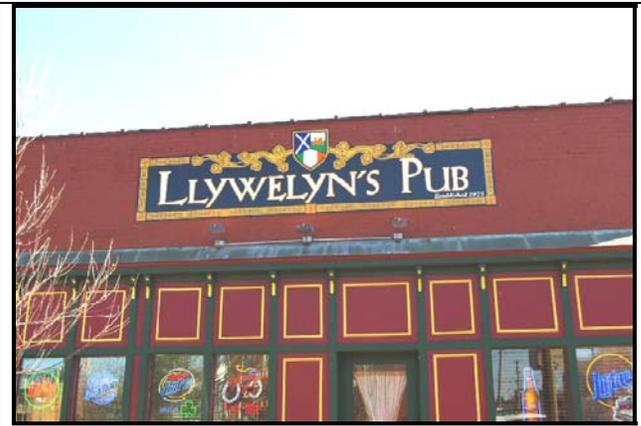
HISTORIC SIGN BOARD LOCATION



TYPICAL COMMERCIAL SIGNAGE



IN SOULARD



Signs shall be restricted to those identifying the names and/or businesses and principal products of the person or entity occupying the structure.

Meets Standards. The business identified is called Remax Gold.

Signs may not be placed in the following locations:

- *On a mansard;*
- *On a parapet;*
- *On a rooftop;*
- *On the slope of an awning;*
- *In a location which obscures significant architectural details such as cornices, windows, sills, or doors;*
- *On a pole; or*
- *On any site separate from the building.*

NA

Signs may only be lit by fixed steady front lighting. Back lighting is prohibited.

Does not meet Standards.

Signs must be fixed and silent.

Appears to meet Standards.

Signs painted on windows and interior signs, including those inside windows, are not regulated by these Standards.

NA



COMMERCIAL STOREFRONT AT 2200 S 12TH STREET

6.0 Community consultation

A complaint about the sign being installed without a permit was received from the neighborhood. No support letters for approval have been received.

PART V - HISTORIC DISTRICTS AND LANDMARKS - CONSTRUCTION, ALTERATION AND DEMOLITION

SECTION THIRTY-NINE. Permit required when: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site

No Owner or other person shall construct, demolish or alter any designated feature or Exterior Architectural Feature with respect to any Improvement situated within an Historic District, or within or part of a Landmark or Landmark Site, nor shall such person cause or permit any such work to be performed upon such property, unless an application shall have been filed with the building commissioner and a permit obtained therefor from the building commissioner. The building commissioner shall immediately upon receipt of any such application for permit forward a copy of such application to the Cultural Resources Office for review.

SECTION FORTY. Preliminary design review of proposed construction or Exterior Alterations: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site. The Preservation Board may establish procedures for preliminary design review by the Cultural Resources Director and the staff of the Cultural Resources Office of proposed construction or Exterior Alterations where Landmark or Historic District standards may be expected to apply. If, after a preliminary design review as above, an application for permit is received by the building commissioner which conforms to the plans and specifications as approved at the preliminary design review, the building Commissioner may issue the permit.

SECTION FORTY-ONE. Determination of compliance or recommendation required before permit approved: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site. No permit for any such construction, alteration or demolition shall be issued by the building commissioner unless the Cultural Resources Director shall have determined that the proposed work complies with the applicable Historic District or Landmark or Landmark site standards, or the Preservation Board or Cultural Resources Director has recommended that the application for permit be approved.

SECTION FORTY-TWO. Consideration of permit application: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site. If the proposed construction, alteration or demolition is not covered by any duly approved design standard for the Historic District, Landmark or Landmark Site in which the Improvement is situated, the Cultural Resources Office or the Preservation Board shall review the application for permit, as provided by the rules of the Preservation Board. In making such review, the Preservation Board or Cultural Resources Office, as the case may be, shall consider such application in light of the Historic District plan and Historic District standards with respect to the Historic District, or the Landmark plan and standards, as the case may be, the intent of this ordinance, the effect of such proposed construction, alteration or demolition on the significant features or characteristics of the Historic District or Landmark or Landmark Site which were the basis for the Historic District or Landmark or Landmark Site designation and such other considerations as may be provided by rule of the Preservation Board. The Preservation Board or the Cultural Resources Office, as the

case may be, shall forward its determinations or recommendations with respect to the application to the building Commissioner within forty five (45) days from the date of application for permit. The building commissioner shall deny the application for permit if the Preservation Board or the Cultural Resources Office, as the case may be, recommends that the permit be denied or if the Applicant refuses to accept conditions to approval that may be required by the Cultural Resources Office or Preservation Board or by the building Commissioner on direction of the Cultural Resources Office or the Preservation Board.



E.

Date: March 23, 2009
To: *City of St. Louis Preservation Board*
From: Kate Shea, Cultural Resources Office
Subject: Proposed demolition of a three-story single-family house
Address: 4608 Washington
Jurisdiction: Proposed National Register District **Ward: 18**



Owner and Applicant:
 Alex McPheeters-Bowood Farms, Inc.

Proposal
 Demolition of a three-story, single-family house in a pending National Register District.

Comment:
 The application should be considered in response to the needs of both the emerging business and the surrounding homeowners on Washington.





SITE WITH SURROUNDING PROPERTIES - BOWOOD FARMS IS LOCATED AT THE TOP OF THE PHOTOGRAPH, ACROSS OLIVE TO THE SOUTH AND ACROSS WASHINGTON ON THE NORTH. THIS AERIAL WAS TAKEN IN 2007, THE VACANT LOTS SHOWN ARE NOW OCCUPIED BY TWO NEW HOUSES.



TWO NEWLY CONSTRUCTED HOUSES ON THE VACANT LOTS ILLUSTRATED ABOVE TO THE EAST OF 4606 AND 4608

Background:

The owners, Bowood Farms Inc., applied for a demolition permit on February 26, 2009 to demolish the house located at 4608 Washington Avenue. Their stated intent is to use the area as a commercial lot to store and display landscaping materials.

Because the building is a contributing structure in a pending National Register District, the project was scheduled for the March 23, 2009 Preservation Board. The building is sound under the Ordinance.

The site is located within a possible (and pending) National Register Historic District. In 2006, the Landmarks Association of St. Louis was hired by the Central West End Association to prepare a Boundary Extension to the Central West End Certified Local Historic District. This Extension was intended to facilitate historic building redevelopment projects in the area which, although eligible for listing in the National Register, could not take advantage of the Tax Credit for Historic Preservation Programs, because the sites were not listed in the National Register or Certified under the **Secretary's of the Interior's Standards on Historic Preservation**.

Under the Secretary's Standards, buildings and districts can be listed in the National Register of Historic Places in two ways,

1.) preparation of National Register Nomination and its' submission to the State Historic Preservation Office (MO-SHPO); the Nomination is reviewed by staff and ultimately approved by the State Advisory Council on Historic Preservation. Upon a positive recommendation, the nomination is then forwarded to the Keeper of the National Register for review and final listing; or

2.) preparation of the equivalent of a National Register Nomination for an area or site located within a City or town which has been designated a Certified Local Government - CLG- (such as St. Louis City). The local municipal legislature of the CLG passes a local Ordinance, based upon the Nomination, establishing the proposed area as a Local Historic District.

The Ordinance and Nomination is then reviewed and commented upon by MO-SHPO and, if the recommendation is positive, forwarded to the National Park Service for acceptance and Certification. The sites within the area are then viewed and treated as National Register sites for all purposes.

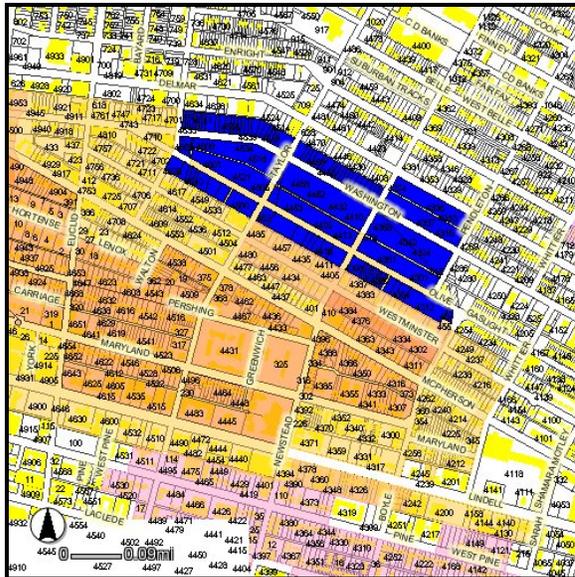
Most of the Central West End Historic District is a Certified Local Historic, only certain areas as in the District are listed in the National Register of Historic Places.



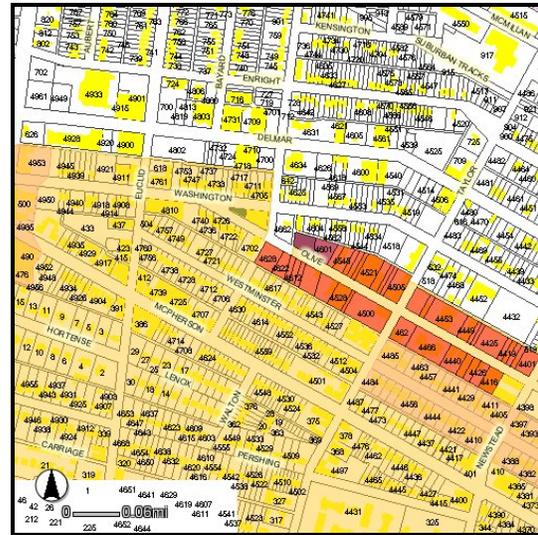
HISTORIC HOUSES IN THE 4500 BLOCK OF WASHING WHICH WOULD CONTRIBUTE TO THE DISTORIR DISTRICT EXTENSION

In 2006-07 the Nomination (or Certification Document) prepared by the Landmarks Association included entire 4500-4600 block of Washington as well as the 4500-4600 blocks of Olive and other blocks to the east. When the Certification Nomination was introduced and adopted by local Ordinance, however, several blocks along Washington Avenue were not included in the legislation.

Removal of the sites on Washington may have rendered the remaining historic context incomplete, and it is unclear if the MO-SHPO will recommend Certification of the District as currently submitted under in the Local Ordinance.



ORIGINALLY PROPOSED CERTIFIED LOCAL HISTORIC DISTRICT EXTENSION IS IN BLUE, CENTRAL WEST END CERTIFIED LOCAL HISTORIC DISTRICT IS IN LIGHT YELLOW, NATIONAL REGISTER SITES WITHIN THE DISTRICT ARE ORANGE AND THE PINK AREA TO THE SOUTH IS A NATIONAL REGISTER DISTRICT NOT INCLUDED IN THE LOCAL HISTORIC DISTRICT BOUNDARIES.



PROPOSED CERTIFIED LOCAL DISTRICT EXTENSION IS IN RED, WITH WASHINGTON AVENUE NOT INCLUDED. BECAUSE OF THE NUMBER OF VACANT LOTS ON OLIVE, IT IS NOT CLEAR THAT THE DISTRICT BOUNDARY EXTENSION WILL BE APPROVED AS CURRENTLY SUBMITTED.

This site at 4608 Washington, as well as adjacent sites along the 4500 and 4600 blocks of Washington Ave were part of the original Nomination (Certification) Document, and may need to be included in the eventual Certified Local District Extension if the area is to be listed by the Keeper of the Register.

Site and Surrounding Area:

4608 Washington was constructed in 1900 as part of the general middle and upper class development that occurred in the area because of the pending 1904 World's Fair in Forest Park and the construction of streetcar lines. The house is a three story Renaissance Revival style building, located near the corner of Washington and Walton in the Central West End

neighborhood the 18th Ward. The pending National Register nomination for the area, which was prepared by the Landmark's Association of St. Louis, describes the sites as:



4608 Washington

Photograph 23

1900, single-family dwelling

W.J. Barber, builder; J.P. McCarthy, architect

***Late 19th & Early 20th Century Revivals
3 stories; red brick; hipped roof with asphalt shingles. Features: Entry porch with rough stone base. Ionic columns and low, hipped gable with dentil cornice above entryway. Window grouping recessed within flattened archway and surround by cut stone, at first story. Four windows upon stone sills and with key stone lintels at second story. Wood cornice and pitched, hipped roof with asphalt shingles and two front gabled dormers with broken pediments. Contributing to the District***



The area is eligible for listing in the National Register of Historic Places under Criterion A for Planning and Development and Criterion C for Architecture. The building is adjacent to several other Bowood Farms properties.



**4608 WASHINGTON WITH 4606 WASHINGTON TO THE LEFT.
THIS ADJACENT PROPERTY IS OWNED BY ANOTHER ENTITY WHO HAS ALSO INQUIRED
ABOUT THE POSSIBLY OF DEMOLITION. . ALL THE PROPERTY TO THE WEST UP TO THE
INTERSECTION IS OWNED BY BOWOOD FARMS FARMS.**

The site is surrounded by vacant lots, and at least one site containing a contributing building, which are owned either by Bowood Farms, the Bowood Farms owner, the owner and a partner or the partner. Given the number of parcels controlled by the owner and his partner, the proposed use of the sites, and anticipated further demolition, the area is a prime example of a development which could be assisted by various Planning and Development tools offered under Chapters 99 or 100 under the Missouri State Statutes or under local Planning Laws. In this way, the City could anticipate the future development of surrounding properties, and could assist the owner with development incentives such as Tax Abatement or Tax Increment Financing.



**ALL SITES ON OLIVE
AND WASHINGTON
OWNED OR
CONTROLLED BY
BOWOOD FARMS OR
PARTNERS**



CONTRIBUTING BUILDINGS TO THE ORIGINALLY PROPOSED DISTRICT EXTENSION ON WASHINGTON ACROSS FROM AND ADJACENT TO SITES OWNED BY MR. MCPHETERS OR BOPWOOD FARMS. TWO HOUSES IN THE ROW ARE OWNED BY BOWOOD FARMS.

Reasons for application:

The owner and partners are acquiring land in the area surrounding their main facility. The use for this particular site is a commercial lot to store and display landscaping materials. He has begun to store debris on the vacant lot adjacent to the house.



REAR OF 4608 LOOKING WEST TOWARD VACANT LOT AND ADJACENT BOWOOD PROPERTY



VIEW OF HOUSE PROPOSED FOR DEMOLITION WITH OPEN STORAGE ON ADJACENT VACANT LOT



BUILDING ADJACENT TO THE WEST WAS CONSTRUCTED AS A COMMERCIAL BUILDING IN 1908. THE SITE ADJACENT TO THE WEST WAS FORMERLY USED AS AN AUTOMOBILE BODY SHOP AND CONSTRUCTED AS A GAS STATION IN 1952. IT IS NOW OWNED BY BOWOOD FARMS.

Relevant legislation

St. Louis City Ordinance 64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

*Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) **for which National Register Designation is pending** or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.*

A. *Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance shall be approved except in unusual circumstances which shall be expressly noted.*

No Redevelopment Plan has been approved by ordinance. The recent pattern of land acquisition and proposed development makes the site and surrounding properties an ideal candidate for a Redevelopment Plan under Chapter 99 or 100 of the State Statutes.

B. *Architectural Quality. A Structure's architectural Merit, uniqueness, and/or historic value shall be evaluated and the Structure classified as High Merit, Merit, Qualifying, or non Contributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of Sound High Merit Structures shall not be approved by the Office. Demolition of Merit or Qualifying Structures shall not be approved except in unusual circumstances which shall be expressly noted. **The building is a Merit Revival Style structure constructed in 1900.***

C. *Condition. The Office shall make exterior inspections to determine whether a Structure is Sound. If a Structure or portion thereof proposed to be demolished is obviously not Sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the Structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable Structure.*

1. *Sound Structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subparagraphs A, D, F or G of this section indicates demolition is appropriate.....*

The Building was inspected on March 12, 2009, and is sound under the Ordinance. The owner has not submitted any evidence showing the building is in poor or unsafe condition.

D. *Neighborhood Effect and Reuse Potential.*

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

The 4500 and 4600 blocks of Washington are in stable condition with the recent new construction of two substantial houses on lots directly east of the site. Aproximately half of

the houses on the blocks have owner-occupants. The two blocks are zoned C-Multiple Family. The houses on the block in very good to fair condition.

2. Reuse Potential: The potential of the Structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

This building is sound under the Ordinance.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present Owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

No evidence of economic hardship has been submitted by the owner.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

NA

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of Structures within the block.

Demolition will lessen the integrity of the block face. No plans have been submitted to staff regarding the proposed screening of the lot after demolition.

3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

Retention of this building and other buildings in the 4500-4600 blocks of Washington would be a positive factor in the MO-SHPO's evaluation of the proposed Certification of the Central West End Extension Ordinance. It may be that the Extension proposed will not be recommended for approval without inclusion of the 4500 and 4600 blocks of Washington.



**BOWOOD FARMS, INC
LOOKING EAST ON OLIVE
STREET. STORE AND
RESTAURANT ARE TO THE
LEFT, DISPLAY AND SALE OF
LANDSCAPING MATERIALS
AT THE FOREFRONT AT
OLIVE AND WALTON.**



**UNPAVED PARKING LOT
BELONGING TO BOWOOD
FARMS EAST OF THE
RESTAURANT AND A
WALLED-IN COURTYARD.
NEWLY CONSTRUCTED
HOUSES TO THE REAR FACE
WASHINGTON AVENUE.**



**EASTERN WALLED
COURTYARD NEXT TO
UNPAVED PARKING LOT
OPENS ONTO THE PUBLIC
ALLEY BETWEEN
WASHINGTON AND OLIVE
STREET.
VIEW OF PUBLIC**



ALLEY, LOOKING WEST TOWARD WALTON AND OUTDOOR LANDSCAPING MATERIALS SALE YARD.

THIS ALLEY VIEW IS DIRECTLY BEHIND THE HOUSE PROPOSED FOR DEMOLITION



NORTHERN SIDE OF ALLEY BEHIND THE ENCLOSED COURTYARD AND REAR OF SITE PROPOSED FOR DEMOLITION

F. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

The building is part of commonly controlled property. The owner claims that his re-use of the site will have a positive effect on his ability to continue to grow his business.

Community Consultation

The Alderman for the Ward has not contacted staff regarding this project, nor have we been contacted by any neighborhood group.

Comments:

The Bowood Farms development project has had a very positive effect on the image of this corner of the Central West End. The main facility, housing a plant shop and restaurant is highly attractive and a welcome addition to the area. The purchase of the former gas station and the use of the site for storage of trees and plants has also had a positive effect on the area.

The incursion of the use into the residential area to the north allows Bowood to consolidate its site and offer more products, and demonstration gardens. Bowood needs to submit a plan for review that illustrates how the use of the lots will be screened to protect the investments of the exiting homeowners on the 46500 and 4600 blocks of Washington. ,

The uncertainty of the future of the proposed Certification of the District Extension, currently based upon smaller, altered District Boundaries, makes recommendation of approval of the proposed demolition difficult for staff.

As a successful, developing business in a formerly distressed, but emerging area in the Central West End, Bowood Farms should work with the City's Planning and Urban Design Agency and the St. Louis Development Corporation, to develop a Plan which could be adopted by the Planning Commission, and be supported by the City's various development agencies. In this way, property owners adjacent to the site would be clear about the impact of the development on their investments, and the City could formalize the development plan through assistance with zoning changes, tax abatement and other stimulus incentives.

8.0 Conclusion:

The staff recommends that the Board approve the proposed demolition, pending:

1. a favorable recommendation by the MO SHPO for the Certification of the smaller Central West End District Extension, which excludes Washington Avenue.
2. Bowood Farms, Inc. should commit to the development of a Land Use Plan for its land holdings and proposed site development with the City of St. Louis Planning and Urban Design Agency. In this way, the City and its Agencies could assist with potential Zoning, design review, and proposed demolition, among other considerations, so that the entire development can be managed appropriately from a land use aspect.

Contact:

Kate Shea	Planning and Urban Design Agency, Cultural Resources Office
Telephone:	314-622-3400 x 206
Fax:	314-622-3413
E-Mail:	sheak@stlouis.missouri.org



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**

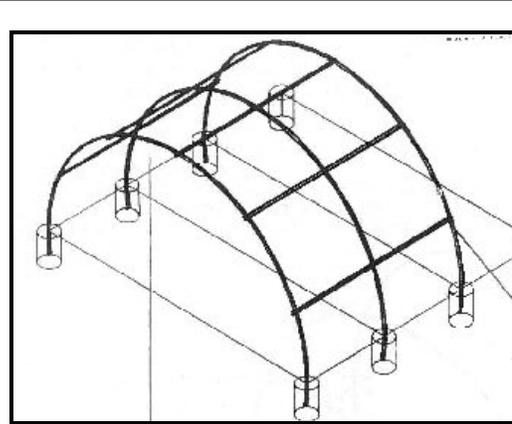
Cultural Resources Department

F.

To: City of St. Louis Preservation Board
Date: March 23, 2009
From: Kate Shea, Cultural Resources Office
Subject: Application for new construction in City Historic District
Address: 4610 Olive St.
District: Central West End Local Historic District Ward: 28



**LOOKING EAST TOWARD SITE FROM THE
 INTERSECTION OF OLIVE AND WALTON**



**PROPOSED GREENHOUSE
 STRUCTURE**

Applicant and Owner:

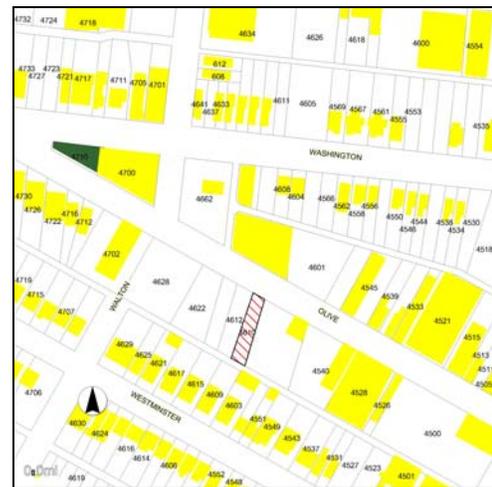
Alex McPheeters/Bowood Farms

Purpose:

New construction of a commercial greenhouse in the Central West End Historic District.

Staff Recommendation:

That the Preservation Board approve the application due to special circumstances as outlined below.



Background

The owners, Bowood Farms Inc., applied for a permit on February 26, 2009 to construct a new greenhouse on a vacant lot at 4610 Olive St. Because the proposed new construction will be located within the Central West End Historic District, and the design does not meet the Historic District Design Standards, the project was scheduled for review by the Preservation Board.



SITE PLAN ON SOUTH SIDE OF OLIVE



BOWOOD FARMS, INC PROPERTIES ON OLIVE AND WALTON WITH IT'S LARGE UNPAVED PARKING LOT TO THE EAST OF MAIN FACILITY AND LOTS FOR TREE AND PLANT STORAGE ON THE SOUTH. THE GREENHOUSE IS PROPOSED FOR THE LOT WITH THE RED ARROW.

Site and Surrounding Area

The site is located within the boundaries of the Central West End Certified Local Historic District. The historic context of this portion of the 4600 block of Olive has been compromised vacant lots. The greenhouse will be situated on a vacant lot directly across Olive from the applicant's business. The applicant owns the empty lots adjacent to the west next to the proposed project.



**NEWLY PLANTED BEDS
ON VACANT LOT ON THE
SOUTH EAST CORNER OF
WALTON AND OLIVE
STREET**



**BOWOOD FARMS, INC
MAIN FACILITY ON THE
WEST SIDE OF OLIVE
ACROSS FROM THE SITE**



**BOWOOD FARMS, INC.
DISPLAY AND STORAGE
YARD ON THE
NORTHEAST SIDE OF THE
INTERSECTION OF OLIVE
AND WALTON. THE SITE
WAS FORMERLY AN
UNSIGHTLY GAS STATION
AND AUTO BODY SHOP.**

Relevant Legislation

Ordinance 56768 - the Central West End Historic District Ordinance



Proposed Use, Construction and Restoration Standards

The prime objective in the proposed Central West End Historic District is to maintain the distinctive character, quality of construction and individual architectural integrity of structures within the district. While there is neither one prevalent architectural style nor a dominant building material, there is a sense of scale, richness of detail and quality of construction, which creates a strong overall image within this district.



**HISTORIC COMMERCIAL BUILDING
LOOKING EAST ON OLIVE ADJECT TO
THE SITE, THE BUILDINGS PICTURED
ABOVE ARE ON THE NORTH SIDE OF
OLIVE ADJACENT TO AN UNPAVED
PARKING LOT, THE BUILDING TO THE
LEFT IS ON THE SOUTH SIDE OF OLIVE**



**LOOKING EAST ALONG OLIVE
TOWARDS THE NEXT INTERSECTION
AT TAYLOR. THE BUILDINGS IN
BACKGROUND ON TAYLOR INCLUDE
2ND PRESBYTERIAN CHURCH, THE
NEWLY REHABILITATED LISTER
BUILDING, NEWLY REHABILITATED
TWO STORY COMMERCIAL BUILDING
ACOSS FROM THE LISTER AND AS
WELL AS THE EUGENE FEILD
SCHOOL BUILDING.**

Some blocks within the district, however, exhibit a continuity of design with uniform building heights, materials, window size spacing and landscape treatment. These elements help to create

an unusually strong “streetscape” which must receive special attention during the design review process. Particularly when new construction is proposed, consideration of the “streetscape” and the relationship of the new structures to existing ones is of utmost importance.

While the "streetscape" directly adjacent to the site has been compromised with multiple demolitions, the street to the east is a fairly intact, early 20th Century commercial street. The west end of Olive, on the south side, contains four contiguous vacant lots, all controlled by the owner or his partners.

Developers, therefore, shall demonstrate compliance with exiting scale, size and proportion by providing, along with other construction documents, a street elevation and plan of the proposed project showing adjacent properties. Visual compliance shall be judged on massing and detail in addition to size and scale.

The existing scale of the west end of the south side of this block is primarily vacant lots. The eastern half of the block is comprised of one and two story flat roofed historic commercial buildings and with some vacant lots. The scale of the surrounding context to the south of the alley behind the site is an intact, early 20th Century revival style residential street. Across Olive to the north is the Bowood Farms store,



ABOVE IS THE HISTORIC COMMERCIAL BUILDING EAST OF THE SITE ON THE SOUTH SIDE OF OLIVE



PHOTOGRTAPH OF GREENHOUSE DOWNLOADED FROM SUPPLIER'S SITE



BOWOOD FARMS FACILITY ON NORTH



SIDE OF OLIVE ACROSS FROM SITE

It is not the intention of these regulations to in any way discourage contemporary design which through careful attention to scale, materials, siting and landscaping, is harmonious with the

historic, existing structures. Distinctive older buildings are not enhanced when new construction which resorts to “fakery and imitation” is used to fill gaps in the streetscape....

2. STRUCTURES – New Construction or Alterations to existing structures:

a. Height

New buildings including all appurtenances must be constructed within 15 per cent of the average height of existing residential buildings on the block. [This is measured eave to eave]

Does not meet Standard.

b. Location

New or moved structures shall be positioned on their lot so that any existing rhythm of recurrent building masses to spaces is continued as well as the pattern of setback from the street.

Does not meet Standard

c. Exterior Materials

In the Central West End brick masonry, stone masonry or stucco are dominant with terra cotta and wood used for trim and other architectural features. All new building materials shall be compatible in type and texture with the dominant materials of adjacent buildings. Artificial masonry such as “Permastone” is not permitted. A submission of all building material samples including mortar shall be required prior to approval.

Does not meet Standard.

d. Details

...Both new and replacement window and door frames shall be limited to wood or color-finished aluminum.

Does not meet Standard.

e. Roof Shapes

When one roof shape is employed in a predominance of existing buildings in a block, any proposed new construction or alteration should be viewed with respect to its compatibility with the existing adjacent buildings.

Does not meet Standard.

f. Roof Materials

Roof materials shall be slate, tile, copper or asphalt shingles where the roof is visible from the street. Brightly colored asphalt shingles are not appropriate....

Does not meet Standard.

Community Consultation

The project has received the enthusiastic endorsement of Alderman Lyda Krewsen, 28th Ward Alderwoman. The vacant lots where the greenhouse is proposed for construction are located within her Ward. The main Bowood facility is located in the 18th Ward represented by Alderman Terry Kennedy. No comment from Alderman. Kennedy has been received. There have been no comments regarding the project from either the Central West End Association or any 18th Ward organization.

	<p>SITES TO THE WEST OF THE PROPOSED GREENHOUSE IN THE 4600 BLOCK OF OLIVE AT WALTON</p>
	<p>VACANT LOT PROPOSED FOR NEW CONSTRUCTION OF GREENHOUSE</p>

Comments

The Bowood Garden development is a phenomenally successful enterprise that appears to have grown organically (pardon the pun) from modest beginnings in a dynamic, expansive manner. There is no question that this kind of business should be encouraged to succeed and expand in the City of St. Louis.

At the same time, the business' site is within the Central West End Certified Local Historic District. The Design Standards for the District are clear that only buildings which are compatible in design, materials and siting with the architectural context of the District can be approved at a staff level.

The situation on the western end of the 4600 block Olive Street however, presents a particular set of circumstances, where a large landscaping business is using vacant lots to create not only display sites for for-sale plant materials, but also actual working garden situations to assist customers in plant selection and propagation.

In this context (that of an ongoing landscape material business) it is appropriate for the Board to approve the new construction of the greenhouse. If a variance from the Standards is approved by the Board, staff suggests that it be made clear that this is a true variance, based upon the surrounding context, and that this kind of greenhouse cannot be routinely approved in side yards and other sites within the Central West End Historic District.

In addition several points should be addressed by the owner/applicant:

1. A Development Plan, reviewed and approved by the City of St. Louis Planning Commission should be prepared and submitted, so that zoning matters, concerns of adjacent residential and commercial property owners and other issues can be publicly discussed and resolved.
2. The unpaved surface parking lot adjacent to the east of the Bowood building complex in the 18th Ward should be appropriately paved and landscaped.



Conclusion

Staff recommends approval with the conditions outlined above.

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