



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY AUGUST 23RD, 2010
 1015 LOCUST ST. #1200
 4:00 P.M.**

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Petition to extend the boundaries of the Fox Park Local Historic District	



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

A.

DATE: August 23, 2010
FROM: Bob Bettis, Preservation Planner, Cultural Resources Office
SUBJECT: Preliminary Review of an application to install vinyl windows on front façade.
ADDRESS: 6021 Kingsbury Blvd.
JURISDICTION: Skinker-DeBaliviere Local Historic District — Ward 28

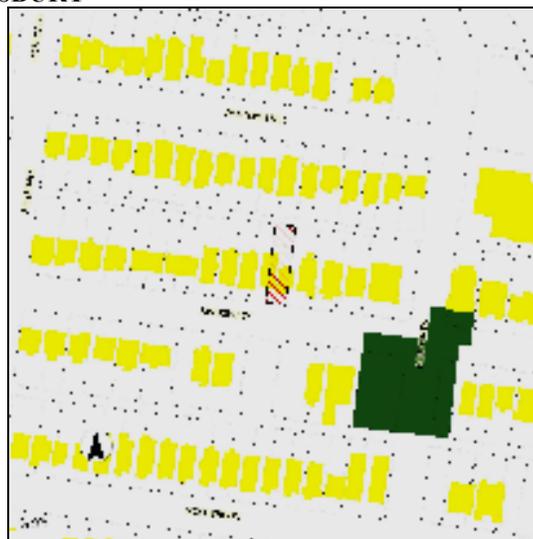


6021 KINGSBURY

OWNER/ APPELLANT:
Shanel Lockett

PURPOSE:
To install six vinyl windows at the front facade of a two-story, single-family building.

RECOMMENDATION:
That the Preservation Board deny the Preliminary Application as the proposed vinyl windows do not meet the Skinker-DeBaliviere Historic District Standards.



BACKGROUND:

In late June the owner contacted the Cultural Resources Office by phone explaining that she had purchased vinyl windows from Window World and had no knowledge that she was in a historic district. The window company stated that it is the responsibility of the home owner to obtain any permits. The two parties were unable to come to an agreement on the purchased windows. The owner is seeking a variance to install the vinyl windows due to economic hardship.



LOOKING WEST ON KINGSBURY



LOOKING WEST ON KINGSBURY



CLOSE-UP OF SECOND FLOOR WINDOWS



DETAIL OF BAY

SITE AND SURROUNDING AREA

6021 Kingsbury consists of a two-story, single-family house designed in the Craftsman style in the Skinker-Debaliviere Historic District. The subject property is located between Rosedale to the west and Des Peres to the east. Surrounding the subject property are residential, multi-family, buildings designed in a similar architectural style and dates of construction.

The surrounding buildings are all well-maintained and are contributing resources to the Skinker-Debaliviere Historic District.

RELEVANT LEGISLATION:

Per the Skinker-DeBaliviere Historic District Standards from Ordinance #57688:

RESIDENTIAL APPEARANCE STANDARDS...

2. Structures...

d. Details (for permit required work):

“Architectural details on existing structures, such as columns, pediments, dormers, porches, and bay windows should be maintained in their original form if at all possible. Renovations involving structural changes to window or door openings are permit required work and thus must be reviewed by the Landmarks and Urban Design Commission. Design of these renovations should be compatible in scale, materials, and color with existing features of the building and with adjacent historical structures. When on the front of a building, wood or factory-finished colored metal is the preferred material for frames of new and replacement storm windows and screens and storm and screen doors.”

Does not comply. The proposed replacement windows do not replicate the proportions and appearance of the original windows.

COMMUNITY CONSULTATION:

At this writing, we have not received any written communication concerning the project from the Alderman for the Ward or the neighborhood.

COMMENTS :

6021 Kingsbury, built in 1911, is a Craftsman style building. The Craftsman style was noted for a simplified design that emphasized traditional building methods and handcrafts. Much of the architectural expression for this building style is found in the design of windows and doors. The proposed vinyl

windows would seriously affect the building's historic character and integrity. The windows are flat and contemporary in appearance; the lift and meeting rails are narrower, and the jambs are wider than the original window.



DETAIL OF SECOND FLOOR WINDOWS

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board deny the Preliminary Application as the vinyl windows do not meet the Skinker-DeBaliviere Historic District Standards.

CONTACT:

Bob Bettis	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 277
Fax:	314-622-3413
E-Mail:	bettisb@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
Cultural Resources Department

B.

DATE: August 23, 2010
FROM: Bob Bettis, Cultural Resources Office
SUBJECT: Preliminary Review: New Construction on a vacant lot in a historic district
ADDRESS: 1922-24 Park
JURISDICTION: Lafayette Square Local Historic District — Ward 6

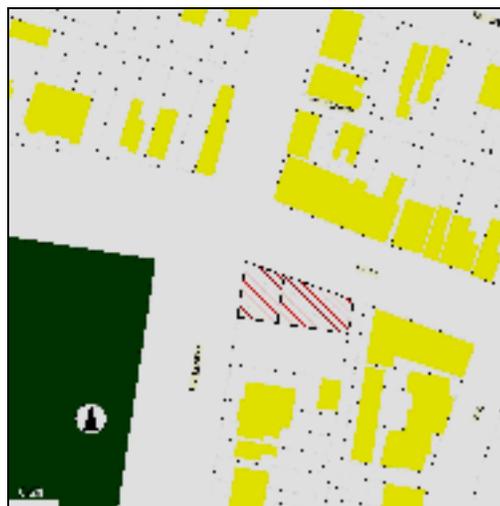


1922-24 PARK AVE.

APPLICANT:
Paul Fendler

OWNER:
Linda Ward

STAFF RECOMMENDATION:
That preliminary approval be granted subject to the applicant submitting final drawing to staff for review.



BACKGROUND:

The Cultural Resources Office received a preliminary review request from the applicant on August 8, 2010. At the time, the staff determined that the application generally met the criteria of the Lafayette Square historic district standards. As it is new construction on a prominent corner in the Lafayette Square local historic district, the application was scheduled to go before the Preservation Board for review.



PROJECT SITE FROM PARK

SITE AND SURROUNDING AREA

1922-24 Park Ave. is a corner property located at the southeast corner of Park and Mississippi Avenue. Park is a commercial street consisting primarily of two and three story storefronts. Mississippi is a residential street of predominantly 19th century Italianate single-family detached houses. The buildings are architecturally and historically significant. Lafayette Park is situated immediately to the west of the project site.



CONTEXT SOUTH OF SITE ALONG MISSISSIPPI



CONTEXT EAST OF SITE ALONG PARK

RELEVANT LEGISLATION:

Excerpt from Ordinance #63327, Lafayette Square Historic District:

301 PUBLIC AND INTERMEDIATE FACADES

1. *The Public and Intermediate Facades of Non-Historic Buildings, New Construction and permitted Additions to existing Historic Buildings shall be reviewed based on the following:...*

301.1 Site

1. *Alignment*

1. *New construction and additions shall have Public Facade(s) parallel to the Public Facade(s) of the adjacent buildings....*

Complies. Front facades will align with adjacent buildings along Park Street.

2. *Setback*

1. *New construction shall have the same setback as adjacent buildings....*

Complies. Front façade and side elevation will conform to existing building setbacks.

3. *Every unit shall have a Public Facade....*

Complies.

4. *In all new buildings, at least one Public Facade that faces the street shall contain an entrance.*

Complies.



SITE FROM ACROSS MISSISSIPPI

301.2 Mass

1. *The mass of new construction shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.*

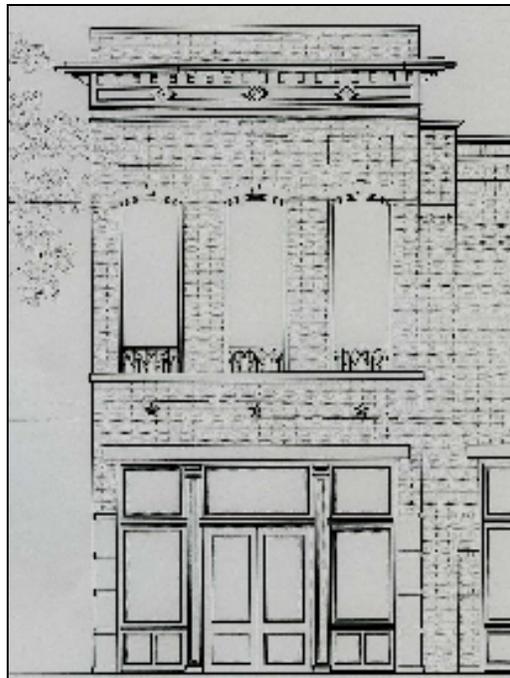
Complies.



PARK AVE. ELEVATION

2. *All new buildings shall be up on a base. The elevation of the first floor shall be at least 3 steps higher than the grade and there shall be steps leading to the entry. On the Public and Intermediate Facades, there shall be a differentiation in the facade near the level of the first floor that defines the base. The wall materials and/or the detailing at the base shall be distinct from that of the rest of that facade.*

Complies. The building's first floor level is similar to the adjacent buildings.



MISSISSIPPI CORNER ELEVATION

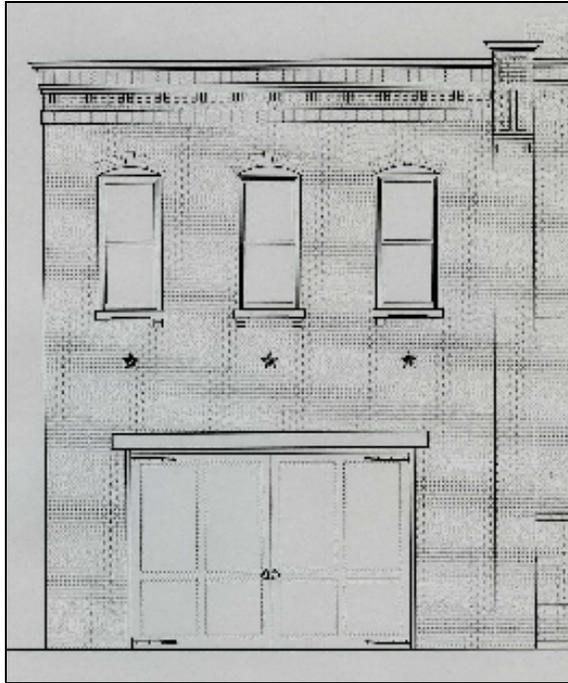
301.3 Scale

1. *New construction shall appear to be the same number of stories as other buildings within the block, or shall have the same number of stories as the building original to that site. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.
Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the crown molding on a Mansard building, to the roof eave on a building with a sloping roof.*

Complies. The building's height above grade and floor height appear similar to adjacent buildings.

2. *The building height shall be within 2' above or below the average height within the block....*

Complies.

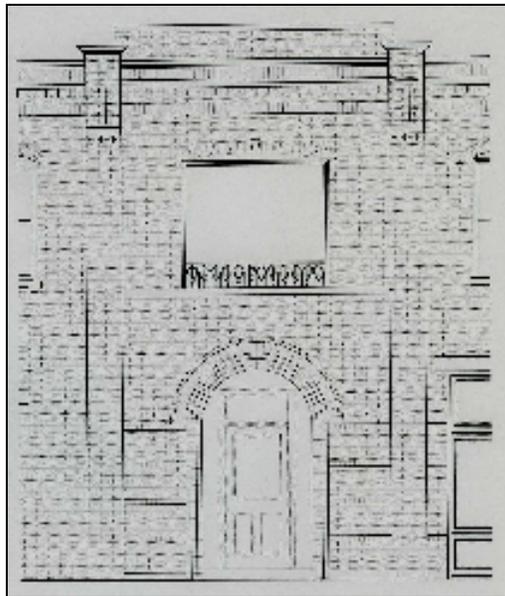


FALSE GARAGE ELEVATION ON PARK

301.4 Proportion

1. *The proportions of new construction and additions shall be comparable to those of adjacent buildings.*

Complies.



RESIDENTIAL ENTRANCE ON PARK AVE.

301.5 Ratio of Solid to Void

1. *The total area of windows and doors in the Public Facade of new construction and additions shall be no less than 25% and no more than 50% of the total area of the facade.*

Complies.



STANDARD ELEVATION ON MISSISSIPPI

2. *The proportion of a window in the Public Facade of new construction and additions shall be between one of the following:*
 1. *1:2 and 1:3. The height shall be at least twice the width ($W \times 2 < H$).*
 2. *Approved by the Lafayette Square Restoration Committee.*

Complies. Both Public Facades comply with these requirements.

301.6 Public and Intermediate Facade Materials and Material Color

1. *Finish materials shall be one of the following:*
 1. *Kiln-fired brick, 2-2/3" x 8" x 4" nominal, or brick size based on a model example.*
Comment: Brick within the District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove (See figure 8). Most brick within The District is hard and smooth and red or orange in coloration with only minor variations in coloration.
 2. *Stone common to The District*
 3. *Replica stone including scored stucco*
 4. *Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels.*
 5. *Approved by the Lafayette Square Restoration Committee....*

Complies. At this time, all four facades are proposed to have brick.

2. *Clear and non-reflective panes of glass shall be used in Public and Intermediate facade windows, transoms and doors.*

Complies.

3. *Gutters and downspouts shall comply with Section 201.8(A)(3)&(4).*
4. *A proposed structure that uses brick on the Public Facades shall also use brick on the Intermediate Facades.*

Complies. At this time, all four facades are proposed to be brick.

301.7 Public and Intermediate Facade Roofs

1. *Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.*
2. *Visible roofing material shall be limited to the following:*
 1. *slate,*
 2. *synthetic slate,*
 3. *asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,*
 4. *standing seam, copper or pre-finished sheet metal roofing,*
 5. *Plate or structural glass....*

Complies with all requirements.

COMMUNITY CONSULTATION:

As of this writing, the Cultural Resources Office has received no comments from the Ward Alderman or the Lafayette Square Neighborhood Association.



CONTEXT ACROSS PARK LOOKING NORTH

COMMENTS :

As this is a prominent corner site, it is important that any new construction complement the character of this significant commercial and residential area. The Cultural Resources Office staff feels that while the project generally complies with the standards. At this writing the architect had not submitted the east and south elevations. Preliminary discussions regarding the design were positive.

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant preliminary approval to the project, with the stipulation that the Cultural Resources Office approve the design of the east and south elevations.

CONTACT:

Bob Bettis Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277 Fax: 314-622-3413
E-Mail: bettisb@stlouiscity.com



C.

DATE: August 23, 2010
FROM: Bob Bettis, Preservation Planner
SUBJECT: Preliminary Review of an application to raise the front mansard and install a street facing dormer
ADDRESS: 2007 South Compton
JURISDICTION: Compton Hill Local Historic District – Ward 6



2007 SOUTH COMPTON

OWNER/APPELLANT:

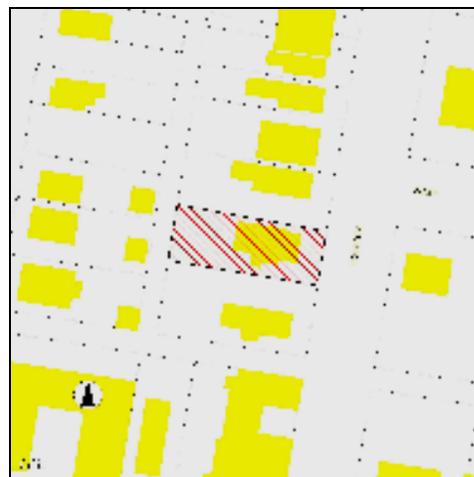
Sascha Zerbin

PURPOSE:

To increase the height of the mansard roof and install new dormer.

RECOMMENDATION:

That the Preservation Board deny the Preliminary Review as the proposed work does not comply with the Compton Hill Historic District standards.





CONTEXT NORTH ON COMPTON



CONTEXT SOUTH ON COMPTON

BACKGROUND:

The owner is rehabbing the building at 2007 South Compton and wishes to make the current attic into a livable space. In order to do this the owner is proposing to raise the roof line and install a dormer that faces the street. Since the proposal does not comply with the Compton Hills Historic District standards, the application was denied, and the owner appealed the decision to the Preservation Board.



CLOSE-UP OF ROOF

SITE AND SURROUNDING AREA

2007 South Compton is an architecturally significant, two-story single-family Second Empire building in the Compton Hills Local Historic District. The property is located on the west side of Compton between Geyer to the north and Russell to the south. Buildings surrounding 2007 S. Compton are residential, single-family buildings of similar architectural style and date of construction.

The surrounding buildings are all well-maintained and are contributing resources to the Compton Hills Local Historic District.



HOUSES TO NORTH ON COMPTON



HOUSE TO THE NORTH

RELEVANT LEGISLATION:

Excerpt from Ordinance #57702, Compton Hill Historic District:

A. Architectural Detail

- 1. Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, a similar detail may be substituted.*
- 2. Renovated dormers, towers, porches, balconies or cornices shall be maintained in a similar profile, size and detail as originally constructed. Similar new construction shall complement the design.*

Does not comply. The owner is proposing to install a front facing dormer where one was not located prior. In addition, the alteration to the Mansard roof will also be a violation of the Compton Hill standards. The new Mansard will be largely narrowed and out of scale with the rest of the building and the other houses on the block.

A. Roof Shape and Material

- 1. In neighborhoods in which a roof shape, angles and lines are dominant, new or renovated structures shall conform to such shape, angles and lines.*

Does not comply. The dominant type of Mansard roof on the block is short, while the proposed roof extension would be taller than the majority on the street.

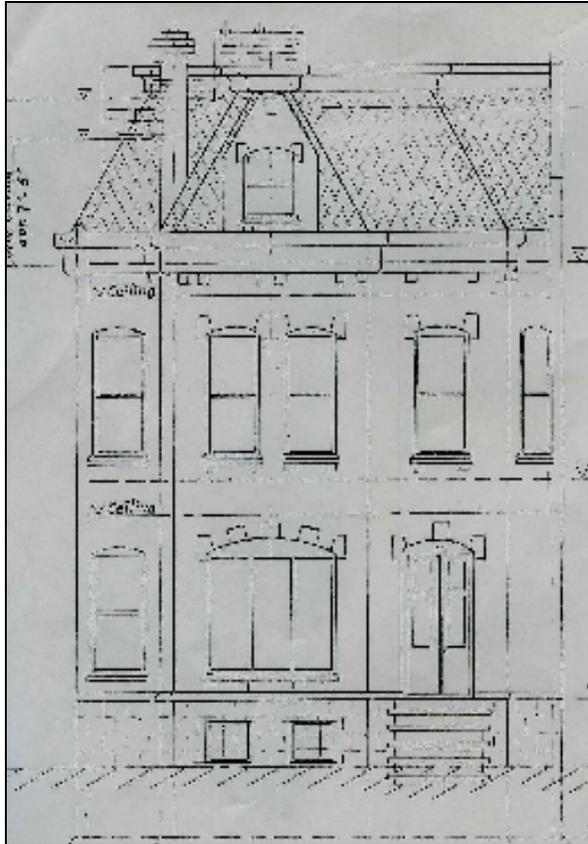
COMMUNITY CONSULTATION:

At this writing, we have not received any written communication concerning the project from the Alderman for the Ward or the neighborhood.

COMMENTS :

2007 South Compton, constructed in 1895, is an excellent example of the Second Empire style. The proposed work will significantly alter the appearance of the home. Mansard roofs along this block are squat and don't have the height that is being proposed by the applicant. The overall scale of the Mansard distorts the historic proportions of the building.

To date, the owner has not spoken with the Building Division to see if the current plans meet code. The owner has also recently stated that he may attempt to leave the front mansard height intact and install a dormer within the current configuration. Either proposal will not conform to the local historic district standards.



PROPOSED DORMER AND ROOF ALTERATION

CONCLUSION:

Staff recommends that the Preservation Board deny the Preliminary Application as the proposed work is not in compliance with the historic district standards.

CONTACT:

Bob Bettis Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277 Fax: 314-622-3413
E-Mail; bettisb@stlouiscity.com



D.

DATE: August 23, 2010
FROM: Jan Cameron, Preservation Administrator
SUBJECT: Preliminary Review: Ancillary Structures for Tuskegee Airmen Field in Tandy Park
ADDRESS: 4248 Cottage Avenue / AKA 4306 W Kennerly Avenue
JURISDICTION: The Ville Historic District / City Park — Ward: 3



SUMNER HIGH SCHOOL AND FIELD BLEACHERS WITH EXISTING PRESS BOX

Owner:
 City of St. Louis City
 Division of Parks/Dan Skillman

Applicant:
 David Mason/David Mason Associates
 Alderman Samuel Moore

Staff Recommendation:
 That the Preservation Board grant preliminary approval to the proposal with revised exterior material colors.





BACKGROUND:

On August 4, 2010, the Cultural Resources Office met with Alderman Sam Moore, representatives of the Board of Public Service and David Mason, the project architect, to review proposed ancillary buildings to be constructed at the Tuskegee Airmen Field in Tandy Park, directly opposite Sumner High School.

The project continues the development of Tandy Park as a premier sports facility with the construction of a new press box, a one-story storage building on the west, and in a later phase, a matching building on the east that will house a concession stand and restrooms.

Because of the prominence of the site, the

project is being presented for Preservation Board approval.



TANDY PARK FROM THE NORTHEAST

SITE AND SURROUNDING AREA

Tandy Park, bordered by Cottage, Kennerly, and Billups Avenues, and Annie Malone Drive, is directly north of Sumner High School, in The Ville local historic district. Tandy Community Center occupies the eastern third of the park with a playground on its west. The Tuskegee Airmen Field is directly west of the Center with the Arthur Ashe Memorial Tennis Courts at the park's western edge.



TUSKEGEE AIRMEN FIELD FROM BILLUPS

RELEVANT LEGISLATION:

Excerpts from St. Louis City Ordinance 64689

PART VI - PUBLIC STRUCTURES, MONUMENTS AND FIXTURES

SECTION FIFTY-TWO. *Exterior design review of Structures or fixtures paid for by City or erected upon or extending over public streets, parks, etc.*

No construction of any building, arch, gate, fence or other fixture which is to be paid for either wholly or in part by the City from general revenue funds of the City shall be begun unless the exterior design thereof shall have been submitted to the Preservation Board and recommendations made by it, except as herein provided, before the final approval thereof by the officer or other person having authority to contract therefor. The approval of the Preservation Board shall be required in respect to all fixtures or Structures belonging to any person which shall be erected upon or extending over any public street, highway, stream, lake, square, park or other public place within the City, except as provided in this ordinance. In deeds or leases for land made by the City, restrictions may be imposed requiring that the design and location of Structures to be altered or erected thereon shall be first approved by the Preservation Board. Nothing requiring the recommendation or approval of the Preservation Board as provided in this section or Section Fifty-One of this ordinance shall be changed in exterior design or location without its approval; provided, that, in case of dispute, the Board of Public Service shall be the final arbiter and its decision shall prevail. If the Preservation Board fails to act upon any matter submitted to it under this section within 45 days after such submission, its approval of the matter submitted shall be presumed.

This section outlines the jurisdiction of the Preservation Board over Tandy Park as a public park.

Excerpts from St. Louis City Ordinance 60236 — The Ville Local Historic District Commercial and Non-Residential Uses

1. *Use:*

A building or premises shall be utilized only for the uses permitted in the zoning district within which the building or premises is located.

Complies.

2. *Structures: New construction or alterations to existing structures: Restrictions set forth below apply only to fronts and other portions of the building visible from the street and on corner properties (excluding garages), those sides exposed to the street.*

A. *Height:*

- i. *On blocks where buildings are the same height, renovated structures are to be "appropriate to" that height.*
- ii. *On blocks with varying heights, new or renovated structures should be compatible with 25 percent of these heights.*

Not applicable. Structures are located within a sports field and public park.



BLEACHERS AND FIELD ON COTTAGE

B. *Exterior Materials:*

Materials for new or renovated structures are to be compatible with the original building materials. Raw aluminum or steel is not acceptable. "Building material samples shall be submitted to HUDC upon request."

Complies. Exterior building materials are masonry units in colors similar to those of Sumner High School.

C. *Details:*

Architectural details on existing structures shall be compatible with existing details in terms of design. Raw or unfinished aluminum is not acceptable for storm doors and windows. Awnings are to be of canvass or canvass like only. Gutters shall not be made of raw or unfinished aluminum or steel. Balconies and porches on new or renovated structures should be compatible with original design and new storefronts are to be compatible with the "historic storefront design."

Not applicable. These are ancillary buildings and therefore a simplified design is appropriate.

D. *Roof Shapes:*

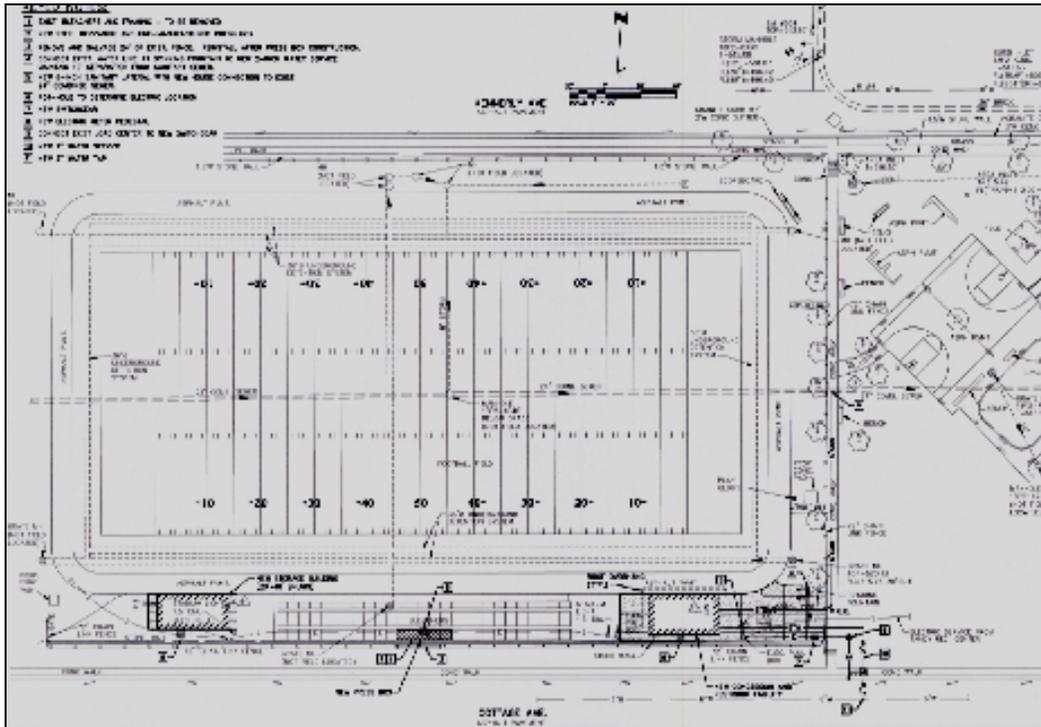
On blocks where a roof shape and lines are dominant. New or renovated structures should have the same roof shape and lines. On blocks where there are different roof shapes and designs, new or renovated structures should have roof shapes and lines that are compatible to the existing. Aluminum or plastic siding, corrugated sheet metal,

tarpaper and bright colored asphalt shingles on mansard roofs are not acceptable where visible from the street. A consistent material should be used on any given roof.

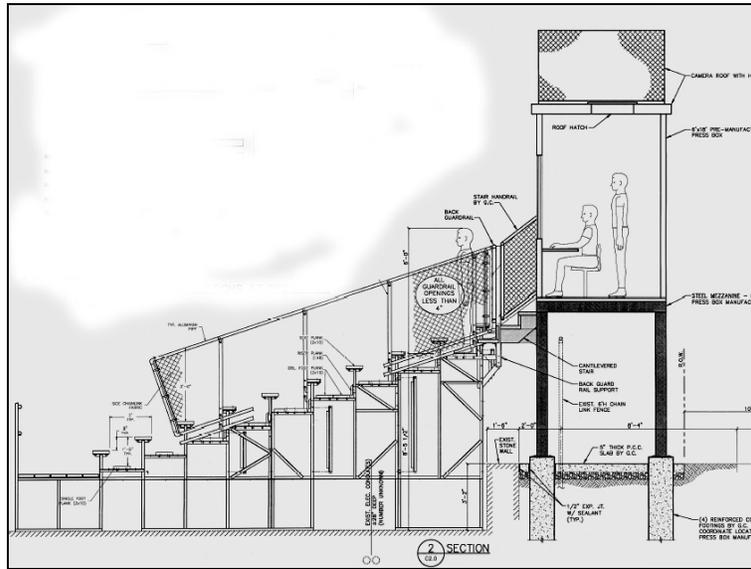
Complies. Proposed rooflines of the new buildings are hipped and reminiscent of small single-family buildings in the district.



EAST END OF FIELD SHOWING LOCATION OF STORAGE BUILDING



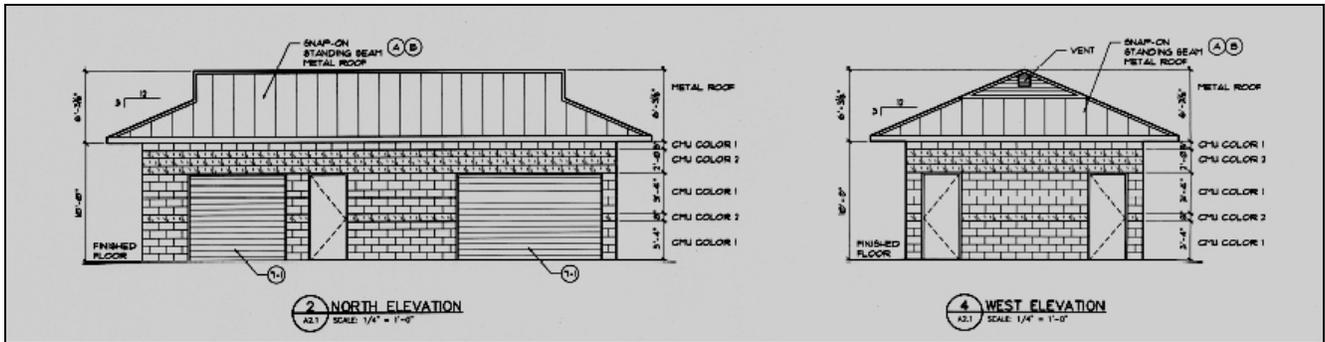
SITE PLAN WITH PROPOSED STRUCTURES ALONG COTTAGE



PRESS BOX IN STANDS

COMMUNITY CONSULTATION:

Alderman Sam Moore is in full support of the project.



PROPOSED STORAGE BUILDING

COMMENTS :

The original design of proposed ancillary buildings shown to the Cultural Resources Office staff had two choices for exterior material color. The staff recommended that the second option, that incorporates red and limestone-colored masonry block, to reflect the red brick and limestone trim of Sumner. The original proposal was to have the standing seam metal roofs reflect the school colors, maroon and gray. The staff recommended that the roof material be a gray color, again to reflect the roof of the school, and that if desired, the Bull Dog insignia could be applied to the roof. The applicant has agreed to these conditions and will present revised drawings to the Board this evening.



SUMNER FROM THE NORTHWEST

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant preliminary approval to the project, subject to the revised exterior materials and roof color.

CONTACT:

Jan Cameron Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277
Fax: 314-622-3413
E-Mail: CameronJ@stlouiscity.com



E.

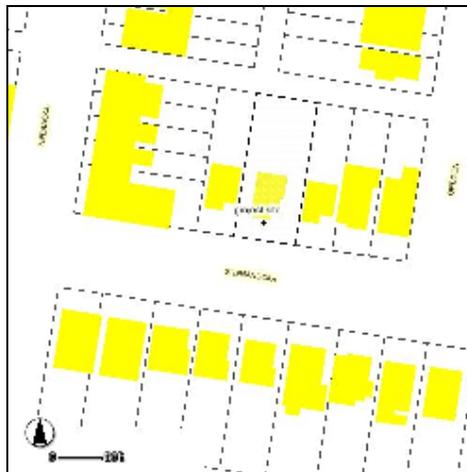
DATE: August 23, 2010
FROM: Andrea Gagen, Preservation Planner, Cultural Resources Office
SUBJECT: Appeal of a staff denial to replace an original front door
ADDRESS: 2841 Shenandoah
JURISDICTION: Fox Park Local Historic District — Ward 7



2841 SHENANDOAH

OWNER/APPLICANT:
 Jeffrey Roberson and Whitney Curtis

RECOMMENDATION:
 That the Preservation Board uphold the staff denial as the replacement door does not comply with the Fox Park Historic District Standards.



PROPOSAL:

To install a new half-glass, two-panel wood entry door to replace the original nine-panel and glass wood door.

BACKGROUND:

The owners applied for a permit to replace the original front door in April 2010. The existing door is a nine-panel door with a 32” x 28” pane of glass. The owners applied to replace this door with a half-glass (36.5” x 27.5”), two-panel door. The existing door has warped badly and due to the unique nature of the original door, the owners could not replicate the existing door without having a new door milled to match. The staff did not believe the proposed door came close to the original door design, which was highly unusual and important to the historic and architectural character of the house.

The staff suggested an alternative door design; however, the owners can get the proposed door installed at cost and did not investigate other options. The application was denied and the owner appealed.

The matter was brought before the Preservation Board in July 2010, but was deferred until further information on the cost of the alternative door could be determined. The alternative door proposed by the Cultural Resources Office was quoted at \$772 for a paint-grade wood door. For an additional \$36, the hinge and hardware holes could be cut to specifications. The owners gave an estimate of \$1,275 for the installation of the door that they had selected.



ORIGINAL WOOD DOOR

SITE AND SURROUNDING AREA:

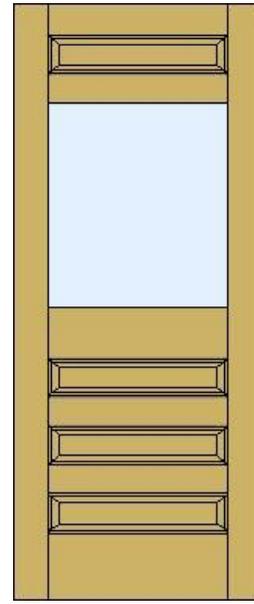
2841 Shenandoah is located at the southern edge of the Fox Park Historic District, between Oregon and Nebraska. The area is primarily residential, with a few corner commercial buildings.



ORIGINAL DOOR



PROPOSED DOOR



**ALTERNATE DOOR
PROPOSED BY CRO**

RELEVANT LEGISLATION:

*Excerpt from Ordinance #66098, Fox Park Historic District
204 Doors*

Doors shall be one of the following:

The original wood door restored;

Does not comply.

A new wood door which replicates the original;

Does not comply.

A finished metal door of a style which replicates the original;

Does not comply.

Based on a Model Example.

Does not comply, no Model Example provided.

COMMENTS :

The Cultural Resources Office believes that the proposed door does not replicate the original door closely enough to meet the Fox Park Historic District standards. The glass in the proposed door is 4 ½” inches taller than in the original door, which will significantly change the look when viewed from the street. The two panels in the proposed door are vertical, which is very different from the three rows of three panels present in the original door. The door proposed by the Cultural Resources Office attempts to approximate the original glass size and feel of the original panels. The price of the alternate door would allow approximately \$500 for installation, without exceeding the cost of the door proposed by the owners.



ACROSS STREET



CONTEXT LOOKING SOUTHEAST



BUILDINGS WEST



BUILDINGS EAST

COMMUNITY CONSULTATION:

The staff has not been contacted by the Alderwoman. The Fox Park Neighborhood Association sent a letter stating that they were aware of the project, but did not take a particular position as they did not have a chance to review the proposals.

CONCLUSION:

The Cultural Resources Office is asking that the Preservation Board uphold the staff denial as the replacement door does not meet the Fox Park Historic District Standards.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	GagenA@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
Cultural Resources Department

F.

DATE: August 23, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Appeal of Staff Denial: Demolition in a National Register Historic District
ADDRESS: 3219-21 N. 20th Street
JURISDICTION: Murphy-Blair National Register District — Ward 5



3219-21 N. 20th STREET

OWNERS:

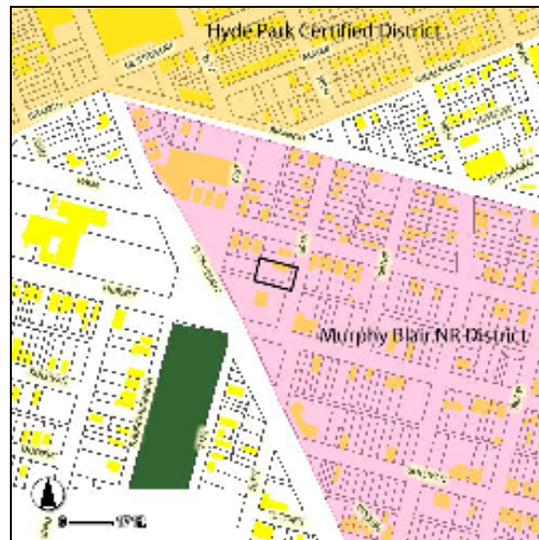
Louis & Ida Ford

APPLICANT:

JDW Contracting/Jermaine Walker

RECOMMENDATION:

To uphold the Cultural Resource Office staff denial of the demolition.





3219-21 N. 20th STREET



**PROPERTY ADJACENT ON NORTH
OWNED BY MR. AND MRS. FORD**

BACKGROUND:

On July 2, 2010, the Cultural Resources Office received an application for demolition for 3219-21 N. 29th Street, a two and one-half story Second Empire building located in the Murphy-Blair National Register District. The building, although deteriorated and vacant, appeared to be in sound condition per the definition of Title 24. Its exterior was also remarkably intact, retaining its slate mansard roof with pedimented dormers and elaborate bracketed cornice. The staff denied the demolition on July 6, and the owners appealed that denial on July 14.

SITE AND SURROUNDING AREA

3219-21 N. 20th Street is located towards the western edge of the historic district. The historic context of the area is fair, although there are a number of vacant structures. An adjacent building that was immediately to the north was demolished as an emergency condemnation in 1997. The owners of the property reside in the house one lot to the north at the corner of Palm Street.

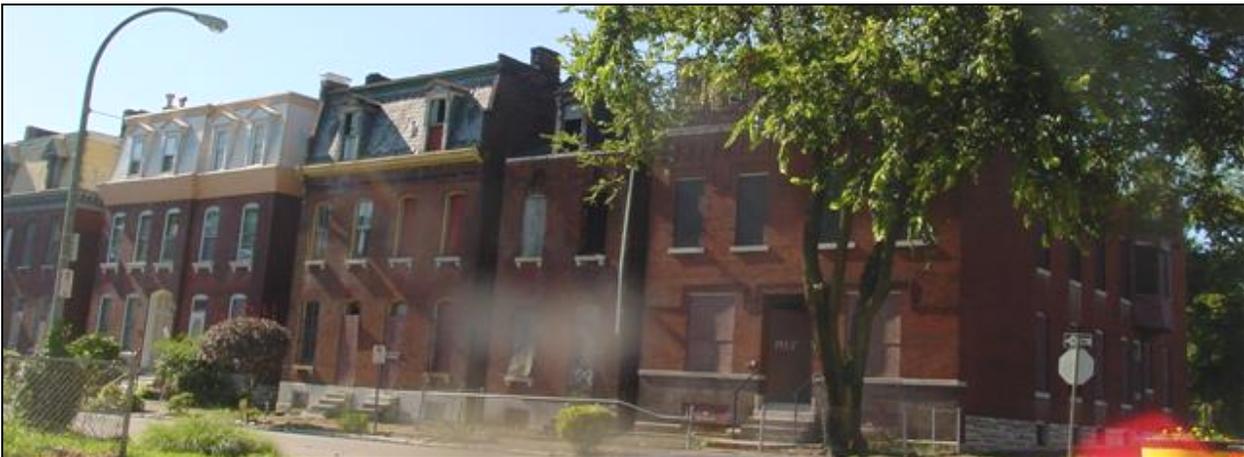
Further north along 20th are several vacant properties owned by a private development company; and east along Palm are a series of four-family buildings, most of which are occupied. All appear in fair structural condition, although some are deteriorated. Directly opposite 3219-21 is a four-family owned by the Land Reutilization Authority, that has sustained a minor collapse at the rear parapet.



CONTEXT NORTH ALONG 20TH STREET
Properties owned by private developer



**CONTEXT LOOKING SOUTH
ALONG 20TH STREET**



CONTEXT EAST ALONG PALM



CONTEXT OPPOSITE ON 20TH STREET
SHOWING LRA BUILDING WITH PARTIAL REAR COLLAPSE

RELEVANT LEGISLATION:

St. Louis City Ordinance 64689:
PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

3219-21 N. 20th is a contributing resource to the Murphy-Blair National Register District.

SECTION SIXTY-ONE. Demolition permit Preservation Board Decision.

All demolition permit applications pursuant to Sections Fifty-Eight to Sixty-Three shall be made by the Preservation Board, which shall either approve or disapprove of all such applications. The Preservation Board may by a duly adopted order or regulation consistent with this chapter, authorize the Cultural Resources Office to make reviews of demolition permit applications. Decisions of the Preservation Board or Cultural Resources Office shall be in writing, shall be mailed to the Applicant immediately upon completion and shall indicate the application by the Preservation Board or Cultural Resources Office of the following criteria, which are listed in order of importance, as the basis for the decision:

A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance shall be approved except in unusual circumstances which shall be expressly noted.

There is no Redevelopment Plan approved by ordinance for this site.

B. Architectural Quality. A Structure's architectural Merit, uniqueness, and/or historic value shall be evaluated and the Structure classified as High Merit, Merit, Qualifying, or non Contributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of Sound High Merit Structures shall not be approved by the Office. Demolition of Merit or Qualifying Structures shall not be approved except in unusual circumstances which shall be expressly noted.



DETAIL OF MANSARD AND BRACKETED CORNICE

3219-21 N. 20th Street is an excellent example of the Second Empire style and displays a particularly distinctive slate Mansard roof, with pedimented dormers and a projecting cornice with paired brackets. It is considered a Merit building (Contributing to an existing National Register District) under the Ordinance.

C. Condition. The Office shall make exterior inspections to determine whether a Structure is Sound. If a Structure or

portion thereof proposed to be demolished is obviously not Sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the Structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable Structure.

1. *Sound Structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subparagraphs A, D, F or G of this section indicates demolition is appropriate.*

3219-21 N. 20th Street is considered “sound” under the definition of the Ordinance, although it is deteriorated and suffers from a lack of maintenance. All exterior walls are intact with only minor loss of brick at the rear elevation where door framing has been removed. The two-story frame porch on the south elevation is in poor condition.

2. *Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.*

Not Applicable.



SOUTH ELEVATION

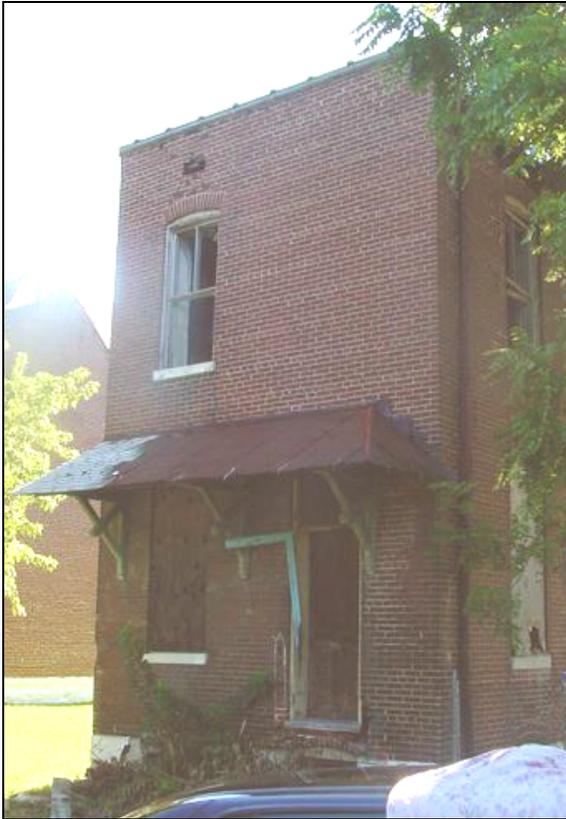
Note the only masonry deterioration is at the rear door beneath the porch, where framing has been removed.

D. Neighborhood Effect and Reuse Potential.

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

The majority of buildings in the immediate vicinity are fair structural condition, although many are vacant and boarded. 3229 N. 20th Street, directly adjacent on the north, is in excellent condition, as are some of the four-families on Palm to the east. The only substantially deteriorated building is opposite at Palm and 20th.

Less than \$10,000:	1,213	\$10,000 to \$15,000:	462
\$15,000 to \$20,000:	523	\$20,000 to \$25,000:	320
\$25,000 to \$30,000:	320	\$30,000 to \$35,000:	197
\$35,000 to \$40,000:	148	\$40,000 to \$45,000:	145
\$45,000 to \$50,000:	86	\$50,000 to \$60,000:	166
\$60,000 to \$75,000:	128	\$75,000 to \$100,000:	136
\$100,000 to \$125,000:	41	\$125,000 to \$150,000:	4
\$150,000 to \$200,000:	5	Greater than \$200,000:	5
Economic Breakdown			
Households Earning Over \$40,000:	720 (18.4%)	Households Earning Over \$50,000:	489 (12.5%)
Households Earning Over \$60,000:	323 (8.3%)	Households Earning Over \$100,000:	59(1.5%)



REAR ELEVATION

2. *Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present Owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

No information concerning Economic Hardship has been provided by the owner or applicant.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. *The effect of a proposed partial demolition on attached or row buildings.*

Not Applicable.

2. *The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of Structures within the block.*

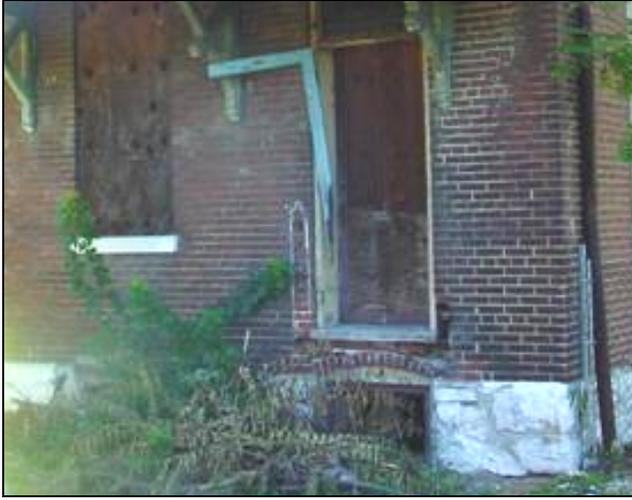
The existing context of the block has been compromised with the demolition of 3223 N. 20th in 1997; however, the proposed demolition will open the entire block face and further deteriorate the quality of the area.

3. *Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.*

3219-21 N. 20th, constructed in 1885, represents the earliest historic development of the area. It is also one of the more architecturally-significant building in the vicinity.

4. *The elimination of out of scale or out of character buildings or nonconforming land uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.*

Not Applicable.



**SLIGHT DETERIORATION AT REAR ELEVATION
FROM REMOVAL OF REAR PORCH**

COMMUNITY CONSULTATION:

As of this writing, the Cultural Resources Office has received no comments from the Ward Alderman, or any neighborhood group.

COMMENTS :

The owners indicate in their letter of appeal that they wish to demolish the building and then grade and seed the lot, possibly for a community garden. They have owned the building for many years; ten years ago they attempted to rehab it but were unable to complete due to vandalism.

The Cultural Resources staff has not found any substantial justification for the demolition of the building at this time.

CONCLUSION:

The appeal of the staff denial should be denied by the Preservation Board as the owners have not met the Ordinance standards for approval.

CONTACT:

Jan Cameron	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 201
Fax:	314-259-3406
E-Mail:	CameronJ@stlouiscity.com



G.

DATE: August 23, 2010
FROM: Andrea Gagen, Preservation Planner, Cultural Resources Office
SUBJECT: Appeal of a staff denial for window, door & handrail replacement
ADDRESS: 2217 S. Jefferson
JURISDICTION: Fox Park Local Historic District — Ward 7



2217 S. JEFFERSON

Owner/Applicant:

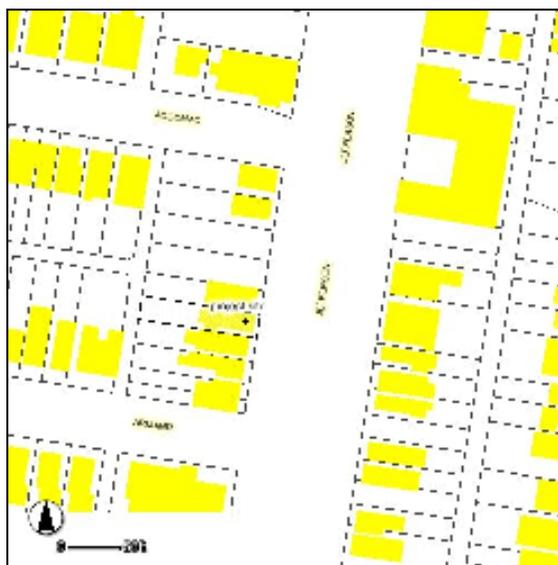
Frederick Koch

Purpose:

To install new windows, retain a door and install a 2nd story handrail.

Recommendation:

That the Preservation Board uphold the staff denial as the proposed windows, door and handrail do not comply with the Fox Park Historic District Standards.



BACKGROUND:

The owners applied for a permit to replace the five (5) windows on the 2nd story bay window with vinyl replacement windows, retain the existing 2nd story multi-light door and install a decorative metal handrail on the front porch roof. The owner applied to replace the windows and door as the originals were stolen out of the building. The transom windows on the bay were originally stained glass. The owners proposed single-light fixed vinyl replacement windows. The two windows on either side of the door are proposed to have a horizontal mullion to mimic the meeting rail of a double hung window. These windows have been temporarily covered. When the staff took photographs for the agenda, it was observed that the transom windows had been blocked down and the vinyl sashes installed. The multi-light door which was also installed without a permit replaced what was originally a Jefferson door. The owner also proposed installing a decorative metal handrail on the roof of the front porch. The porch roof previously had a wooden handrail, as the first story does. Ghost lines of wood posts are visible on the building. Although it was not included on the application, the front 2nd story window has recently been replaced with paired vinyl windows, and a recessed 2nd story window facing the street has also been replaced. The application was denied as the proposed windows, door and handrail do not meet the Fox Park historic district standards. The owner has appealed this decision.



PHOTOS OF 2217 S. JEFFERSON WITH ORIGINAL WINDOWS & PORCH RAIL

SITE AND SURROUNDING AREA:

2217 S. Jefferson is located at the eastern edge of the Fox Park Historic District, between Accomac and Armand Place. The McKinley Heights Local historic district is directly across the street. The block is primarily residential, with some commercial and institutional buildings north and south.



**BAY WINDOW AT 2217 S. JEFFERSON –
TRANSOMS AND DOOR HAVE BEEN INSTALLED
WITHOUT A PERMIT**



**BAY WINDOW ON ADJACENT BUILDING
WITH ORIGINAL TRANSOMS, WINDOWS AND
JEFFERSON DOOR**

RELEVANT LEGISLATION:

Excerpt from Ordinance #66098, Fox Park Historic District

203.1 Windows at Public Facades

Windows in Public Facades shall be one of the following:

The existing window repaired and retained.

No existing windows on bay.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

Does not comply, proposed windows are vinyl.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

Does not comply. Glass size will be reduced, sashes will be more narrow and the configuration of the double-hung windows is being altered. The transom size has also been reduced with wood blocking.

The number of lites, their arrangement and proportion shall match the original or be based on a Model Example.

N/A

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Side windows do not comply as double-hung windows are being changed to fixed windows.

204 Doors

Doors shall be one of the following:

The original wood door restored;

Does not comply.

A new wood door which replicates the original;

Does not comply, multi-light door does not replicate original Jefferson door.

A finished metal door of a style which replicates the original; or

Does not comply.

Based on a Model Example.

Does not comply, no Model Example provided.

206.3 Wood Elements on Appendages

Reconstructed wood elements shall be of wood, except architectural details such as brackets which may be of the materials listed under replacement materials for wood cornices (Section 201.8(3)(2)(3)). A Model Example shall be used.

Reconstructed wood handrails shall be one of the following:

A wood handrail based on a Model Example.

Does not comply.

The Fox Park type (Georgian) handrail common to St. Louis (See Figure U).

Does not comply.

Wood handrails shall receive one of the following finishes:

Paint;

An opaque stain; or

Natural Wolmanized wood (acceptable on Private Facade, only).



GHOST LINE OF WOOD PORCH POST



1ST STORY PORCH HANDRAIL



PROPOSED 2ND STORY HANDRAIL



PAIRED VINYL WINDOWS REPLACING A SINGLE WINDOW – INSTALLED WITHOUT A PERMIT

COMMENTS :

The vinyl windows, decorative metal handrail and the previously installed multi-light door do not meet the Fox Park Historic District standards. Vinyl is not an approved material for windows on Public Facades, and the double-hung windows are proposed to be replaced with single-light fixed windows. The transom windows have been reduced in size, significantly altering the original appearance. The door was originally a Jefferson door and should be replicated. A metal handrail is not appropriate on a wood porch and the design does not have a Model Example. The 2nd story handrail should be replaced to match the original wood handrail.



ACROSS JEFFERSON



SOUTHEAST ON JEFFERSON



BUILDINGS SOUTH OF 2217 S. JEFFERSON



BUILDINGS NORTH OF 2217 S. JEFFERSON

COMMUNITY CONSULTATION:

The staff has not been contacted by the Alderwoman or any neighborhood group regarding the project.

CONCLUSION:

The Cultural Resources Office is asking that the Preservation Board uphold the staff denial as the proposed windows, door and handrail do not meet the Fox Park Historic District Standards.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	<u>GagenA@stlouiscity.com</u>



H.

DATE: August 23, 2010
FROM: Bob Bettis, Preservation Planner, Cultural Resources Office
SUBJECT: Appeal of a Staff Denial of an application to replace a front stair system
ADDRESS: 2861-69 McNair
JURISDICTION: Benton Park Local Historic District — Ward 9



2861-69 MCNAIR



OWNER/APPELLANT:
New Hope Baptist Church/Ed Hamm

RECOMMENDATION:
That the Preservation Board upholds the Staff denial as the proposed work does not meet the Benton Park Historic District Standards.

BACKGROUND:

The owners applied for a permit on July 2, 2010 to replace the existing concrete stairs with a combination wood and metal system. As the proposed replacement does not meet the Benton Park Local Historic District Standards and no remedy could be reached with the owners, the permit was denied. The owner appealed the decision on August 2, 2010 and was subsequently scheduled for the August 23, 2010 Preservation Board.



CONTEXT TO THE EAST



ACROSS MCNAIR TO THE SOUTHEAST

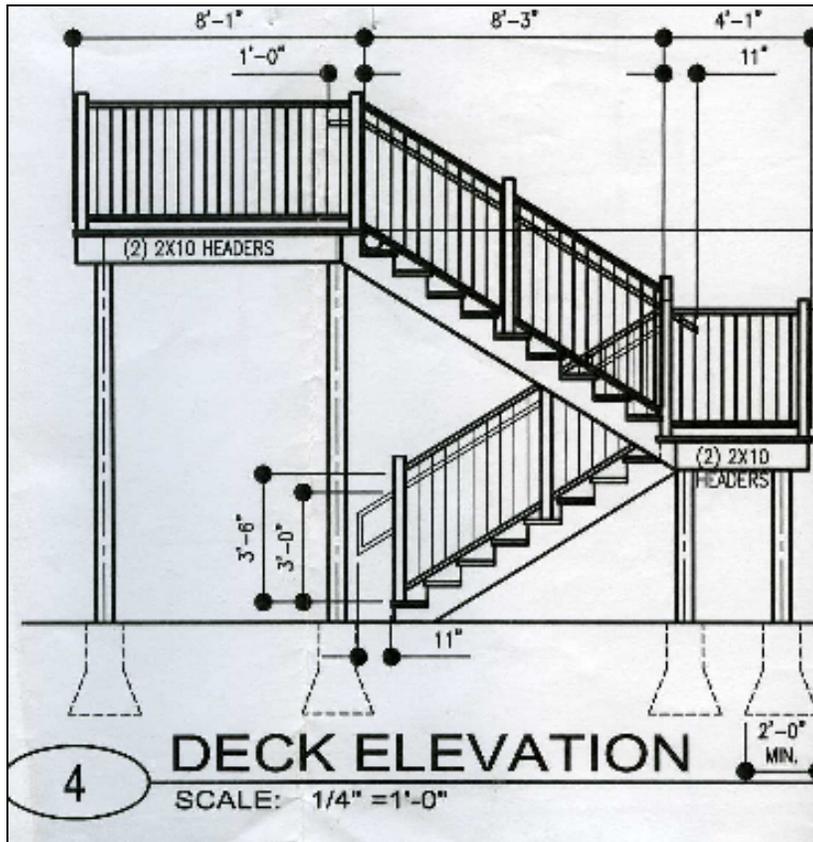


DETAIL OF EXISTING STAIR

SITE AND SURROUNDING AREA

2861-69 McNair, consists of a two-story brick church with large parking lot in the Benton Park Historic District. The subject property is located on the northwest corner of McNair and Pestalozzi. Buildings in the surrounding area are residential, primarily single and multi-family houses.

The surrounding buildings are all well-maintained and are contributing resources to the Benton Park historic district.



CLOSE-UP OF EXISTING FRONT STEPS

RELEVANT LEGISLATION:

Per the Benton Park Historic District Standards from Ordinance #67175:

RESIDENTIAL APPEARANCE STANDARDS...

206 Appendages on Public and Semi-Public Facades

206.1 Reconstructed Appendages to Public and Semi-Public Facades

Reconstructed appendages shall be based on evidence of their prior existence (whole appendage) and/or on evidence at the building and/or on a Model Example (individual elements).

Does not comply. The proposed wooden and metal porch is not appropriate for the Public façade of this building. No Model Example was provided.

COMMUNITY CONSULTATION:

At this writing, we have not received any written communication concerning the project from the Alderman for the Ward or the neighborhood.

COMMENTS :

Staff feels that the proposed stair system is not appropriate for the Public Façade of a building in the Benton Park historic district. The proposal is consistent with what is generally approved for decks that appear at the rear of homes. The current masonry porch is appropriate for the style and material of the church. Staff also would have accepted an all metal stair system.

The church representative explained that the proposed design is all they can afford due to the small size of their membership. To date there has been no evidence of economic hardship presented.



PROPERTY FROM SOUTH

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board uphold the staff denial of the application as the proposed stair replacement does not meet the Benton Park Historic District Standards.

CONTACT:

Bob Bettis Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277
Fax: 314-622-3413
E-Mail: bettisb@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

I.

DATE: August 23, 2010
FROM: Bob Bettis, Preservation Planner, Cultural Resources Office
SUBJECT: Appeal of a Staff Denial of an application to replace a slate roof with metal shake shingles
ADDRESS: 5261 Washington Place.
JURISDICTION: Central West End Local Historic District — Ward 28

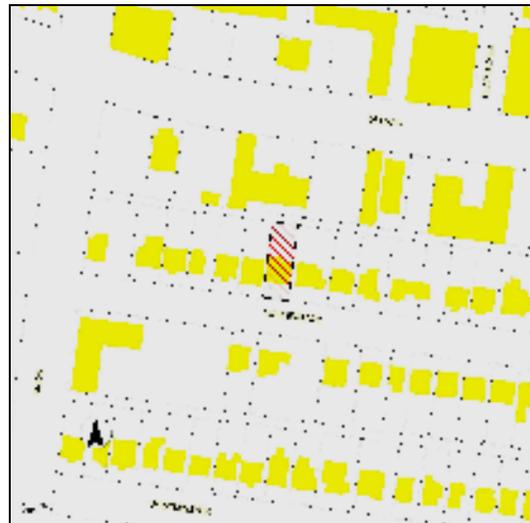


5261 WASHINGTON PLACE.

Owner/Appellant:
John Johans

Purpose:
To retain install metal roof

Recommendation:
That the Preservation Board uphold the staffs' denial as the proposed work does not meet the Central West End Historic District Standards.



BACKGROUND:

The owners applied for a permit on July 13, 2010 to replace an existing slate roof with metal shake shingles. As the proposed replacement does not meet the Central West End Historic District Standards and no remedy could be reached with the owners, the permit was denied. The owner appealed the decision on August 2, 2010 and was subsequently scheduled for the August 23, 2010 Preservation Board.



CONTEXT TO THE EAST



ACROSS WASHINGTON TO THE WEST



DETAIL LOOKING NORTHWEST

SITE AND SURROUNDING AREA

5261 Washington Place consists of a three-story single family house designed in a French Eclectic style with Beaux Arts detailing in the Central West End Historic District. The subject property is located on the north side of Washington between Union to the west and Lake to the east. Buildings in the surrounding area are residential, primarily single and multi-family houses designed in a similar architectural style and date of construction.

The surrounding buildings are all well-maintained and are contributing resources to the Central West End historic district.



ROOF DETAIL



PROPOSED ROOFING

RELEVANT LEGISLATION:

Per the Central West End Historic District Standards from Ordinance #56768:

RESIDENTIAL APPEARANCE STANDARDS...

2. Structures...

D. Details (for permit required work):

“Architectural details on existing structures...should be maintained in their original form if at all possible. Renovations involving structural changes to window or door openings are permit required work and thus must be reviewed by the Landmarks and Urban Design Commission. Design on these renovations should be compatible in scale, materials, and color with existing features of the building and the adjacent historical structures.”

Does not comply. The proposed metal roof does not match the appearance of the original slate. The tile is an original feature and should be retained or replaced to match existing.

F. Roof Material-Roof Materials shall be slate, tile, copper, or asphalt shingles when visible from the street.

Does not comply. The proposed roofing material is metal.



DETAIL OF PROPOSED MATERIAL

COMMUNITY CONSULTATION:

At this writing, we have not received any written communication concerning the project from the Alderman for the Ward or the neighborhood.

COMMENTS :

5261 Washington Pl., built in 1902, is designed in the French Eclectic style with Beaux Arts detailing. The elaborate roof is one of the key architectural features of the building and should be maintained or replaced to match. The proposed material is very contemporary in appearance from the simple rectangular slate and has a rough unfinished look seen in a shake shingle unlike the refined look of uniform slate.

Although the roof appears to have several areas of damaged slate, the owners have produced little evidence as to why the current roof cannot be repaired.



DORMERS ON EAST FACADE

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board deny the Preliminary Application as the proposed metal roofing system does not meet the Central West End Historic District Standards.

CONTACT:

Bob Bettis	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 277
Fax:	314-622-3413
E-Mail:	bettisb@stlouiscity.com



SPECIAL AGENDA ITEM

DATE: August 23, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Petition to Extend Boundaries of Existing Local Historic District
ADDRESS: Various in the Fox Park Neighborhood
JURISDICTION: Title 24 Section 13 **Wards: 6 and 7**



PETITIONERS:
 Honorable Kacie Starr Triplett 6th Ward
 Alderman
 Honorable Phyllis Young, 7th Ward
 Alderman

OWNERS:
 Various Property Owners in Fox Park

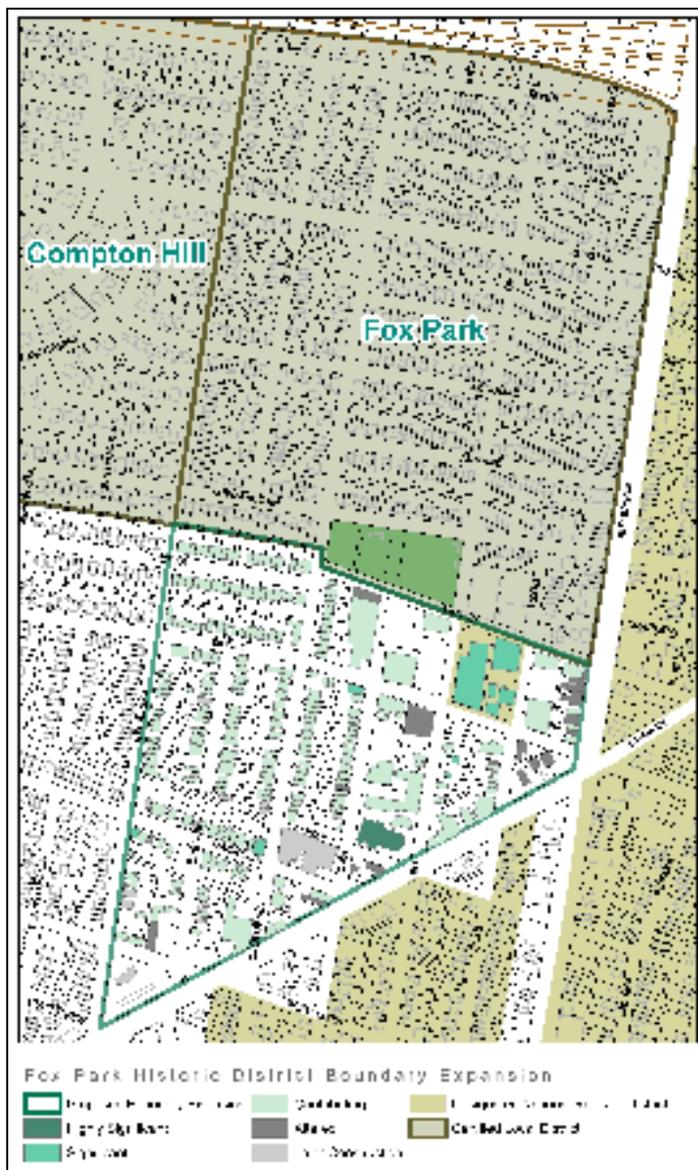
RECOMMENDATION:
 Staff recommends that the Preservation Board approve the petition to extend the Fox Park Historic District and forward the petition to the Board of Aldermen.

BACKGROUND:

Aldermen Kacie Starr Triplett and Phyllis Young petitioned to extend the boundaries of the Fox Park Local Historic District southward to include the entire Fox Park Neighborhood. In April, 2010, the Preservation Board granted preliminary approval to the Extension, and referred it to the Board of Public Service and the Planning Commission for their review.

As required under Title 24, a Public Notice was posted in the Daily Record on August 6, 2010 and each intersection within the boundaries of the Extension was posted on August 12 and 13. A mailing to all private property owners was sent out by the Fox Park Neighborhood Association on August 5.

SITE AND SURROUNDING AREA:



The current boundaries of Fox Park Local Historic District are defined by Highway 44, Nebraska Avenue, Victor Street and Jefferson Avenue. (the gray area outlined in brown on the map to the left.)

The Boundary Extension is outlined in blue and extends from Victor south along Nebraska to Gravois; east along Gravois to Jefferson; north along Jefferson to the alley north of Victor; then back to Nebraska.

Light and dark gray buildings within the extension are considered non-contributing to the proposed Extension.

REASONS FOR REVIEW:

Under Title 24, the enabling legislation for the Cultural Resources Office and the Preservation Board, all petitions for amendment of the boundaries of historic districts must be reviewed at a meeting of the Preservation Board and a recommendation made concerning the amendment, before the ordinance for the designation can be considered by the Board of Aldermen.

RELEVANT LEGISLATION:

Title 24, Ordinance 64689

Ordinance 66098 – Fox Park Local Historic District

COMMUNITY CONSULTATION:

The petition to extend the district is sponsored by Alderman Triplett of Ward 6 and Alderman Young of Ward 7.

Staff has made three presentations about the proposed Historic District boundary extension at neighborhood meetings during the spring of 2010. In addition to these public meetings, the neighborhood was posted and a Public Notice published in the Daily Record on August 6, 2010.

If final approval is given by the Preservation Board, a Board Bill will be created and introduced at the Board of Aldermen, where a second public hearing will be held by the Committee on Public Safety.

COMMENTS :

1. The Board of Public Service approved the Extension without comment.
2. The Planning Commission determined the Extension to be in conformity with the City's Strategic Land Use Plan and that the proposed designation would advance the physical development of the Fox Park neighborhood and the City.

However, the Planning Commission also recommended that the Preservation Board consider the following two items in its review of the Extension:

- Additional design standards may need to be prepared by CRO staff to adequately address the construction and restoration of two building types:
 - Large industrial buildings; and
 - Commercial buildings that are located at the rear of their parcel with surface parking lots in front.
 - A rezoning would be required for those industrial buildings currently zoned "J" Industrial District if these buildings are proposed to be converted into residential uses.
3. To date, the Cultural Resources Office has received one telephone call expressing concern about the district and one email inquiring about the proposed Extension and its associated standards.

CONCLUSION:

Staff recommends that the Preservation Board approve the petition for extension of the boundaries of the Fox Park Local Historic District and the incorporation of the existing historic district design standards and recommend to the Board of Aldermen that a Board Bill be prepared for that purpose.

The staff also recommends that the comments of the Planning Commission be considered by the Board and that Staff be instructed to revise and expand the design standards as recommended by the Commission.

CONTACT:

Jan Cameron, Cultural Resources Office
Telephone: 314-622-3400 x 201
Fax: 314-259-3406
E-mail: CameronJ@stlouiscity.com