



**CULTURAL RESOURCES OFFICE
 PRESERVATION BOARD
 REGULAR MEETING
 MONDAY SEPTEMBER 27TH, 2010
 1015 LOCUST ST. #1200
 4:00 P.M.**

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CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
Cultural Resources Department

A.

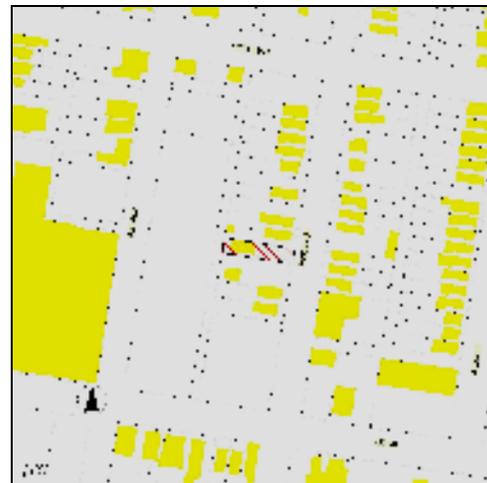
DATE: September 27, 2010
FROM: Bob Bettis, Cultural Resources Office
SUBJECT: Appeal of Staff Denial: Demolition in a National Register Historic District
ADDRESS: 3533 Missouri
JURISDICTION: Benton Park National Register District **Ward: 9**



3533 MISSOURI

Owner/Applicant:
LRA

Recommendation:
To uphold the Cultural Resource Office staff denial of the demolition as the proposal does not meet the criteria of the Ordinance.



BACKGROUND:

On August 31, 2010 the Cultural Resources Office received an application for demolition for 3533 Missouri Ave, a frame one and one-half story Flounder building located in the Benton Park National Register District. The building, although deteriorated and vacant, appears to be in sound condition per the definition of Title 24.

SITE AND SURROUNDING AREA

3533 Missouri Ave. is located on the west side of Missouri between Miami to the south and Potomac to the north. The historic context of the area is good with few vacant structures. Surrounding buildings are primarily single and multi-family residential buildings that are in good condition and contributing resources to the historic district.



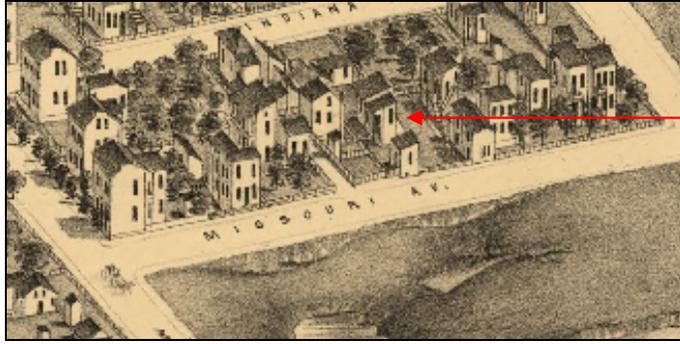
CONTEXT NORTH ALONG MISSOURI



CONTEXT SOUTH ALONG MISSOURI



FOUNDATION AT ALLEY



3533 Missouri

COMPTON AND DRY 1875 (Pictorial St. Louis)

RELEVANT LEGISLATION:

St. Louis City Ordinance 64689:

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

3533 Missouri is a contributing resource to the Benton Park National Register District.

SECTION SIXTY-ONE. *Demolition permit Preservation Board Decision.*

All demolition permit applications pursuant to Sections Fifty-Eight to Sixty-Three shall be made by the Preservation Board, which shall either approve or disapprove of all such applications. The Preservation Board may by a duly adopted order or regulation consistent with this chapter, authorize the Cultural Resources Office to make reviews of demolition permit applications. Decisions of the Preservation Board or Cultural Resources Office shall be in writing, shall be mailed to the Applicant immediately upon completion and shall indicate the application by the Preservation Board or Cultural Resources Office of the following criteria, which are listed in order of importance, as the basis for the decision:

A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance shall be approved except in unusual circumstances which shall be expressly noted.

There is no Redevelopment Plan approved by ordinance for this site.

B. Architectural Quality. A Structure's architectural Merit, uniqueness, and/or historic value shall be evaluated and the Structure classified as High Merit, Merit, Qualifying, or non Contributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of Sound High Merit Structures shall not be approved by the Office. Demolition of Merit or Qualifying Structures shall not be approved except in unusual circumstances which shall be expressly noted.



3533 Missouri is a mid 19th Century flounder building. It is a contributing building to the Benton Park National Register District and is eligible of the use of State and Federal Tax Credits for Historic Preservation to assist in rehabilitation costs. It would be considered a “Sound, High Merit” building under the Ordinance definition because of its age and condition.

FROM STREET

C. Condition. The Office shall make exterior inspections to determine whether a Structure is Sound. If a Structure or portion thereof proposed to be demolished is obviously not Sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the Structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable Structure.

1. Sound Structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subparagraphs A, D, F or G of this section indicates demolition is appropriate.

3533 Missouri Street is considered “sound” under the definition of the Ordinance, although it is deteriorated and suffers from a lack of maintenance. All exterior walls are intact. The roof on the front portion of the building is slumping but intact.

2. Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.

Not Applicable.



SOUTH ELEVATION

D. *Neighborhood Effect and Reuse Potential.*

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

The majority of buildings in the immediate vicinity are in good structural condition; few are vacant and boarded.

2. *Reuse Potential: The potential of the Structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.*

The property is a contributing resource to a National Register District, and therefore is eligible for both Federal and State Tax Credits for Historic Preservation. The staff has roughly estimated the potential project costs:

Total Development Costs: (\$125/sq. ft. x 925 sq. ft.*) \$115,625
Less 25% State and 20% Federal Historic Tax Credit: \$52,031
Total Development Costs: \$63,594

**Square foot estimate includes the possible second floor.*

Area Demographics

(Information on Business Profiles, Demographics and Area Incomes provided by City of St. Louis Geographic Information System (GIS) maintained by the Planning and Urban Design Agency.)

Area Business Profile:

3533 MISSOURI				
Indicator	¼ Mile Radius	½ Mile Radius	¾ Mile Radius	1 Mile Radius
Number of Business	47	125	178	297
Total Wages	\$10,340,050.00	\$31,341,527.00	\$40,765,883.00	\$171,835,072.00
Number of Employees	1,132	3,126	4,070	10,736
Number of Supermarkets	0	3	3	4
Number of Pharmacies	0	1	1	2
Number of Gas Stations	1	2	3	6
Number of Restaurants	1	3	5	8
Number of Fast Food	2	3	4	11
Number of Hospitals	1	1	2	2
Number of Banks	0	0	0	0
Number of Law Firms	0	0	1	1

Population:

1 Mile Radius Around 3533 Missouri

Summary			
Population:	23,464	Number of Households:	8,827
Gender			
Male:	11,311	Female:	12,153
Age Totals			
Male Age		Female Age	
Under 18 Years:	3,965 (35.1%)	Under 18 Years:	3,966 (32.6%)
18 to 24 Years:	1,151 (10.2%)	18 to 24 Years:	1,371(11.3%)
25 to 39 Years:	2,723 (24.1%)	25 to 39 Years:	2,900 (23.9%)
40 to 64 Years:	2,756 (24.4%)	40 to 64 Years:	2,731 (22.5%)
65 Years and Over:	716 (6.3%)	65 Years and Over:	1,185 (9.8%)

Area Income:

1 Mile Radius Around 3533 Missouri

Summary Information			
Aggregate Household Income:	\$274,067,500	Household Income Per Square Mile:	\$89,534,698
Average Household Income:	\$31,049	Per Capita Income:	\$11,884
Household Income			
Less than \$10,000:	2,026	\$10,000 to \$15,000:	1,033
\$15,000 to \$20,000:	946	\$20,000 to \$25,000:	758
\$25,000 to \$30,000:	758	\$30,000 to \$35,000:	565
\$35,000 to \$40,000:	560	\$40,000 to \$45,000:	340
\$45,000 to \$50,000:	414	\$50,000 to \$60,000:	483
\$60,000 to \$75,000:	382	\$75,000 to \$100,000:	250
\$100,000 to \$125,000:	97	\$125,000 to \$150,000:	54
\$150,000 to \$200,000:	63	Greater than \$200,000:	51
Economic Breakdown			
Households Earning Over \$40,000:	2,188 (24.8%)	Households Earning Over \$50,000:	1,434 (16.2%)
Households Earning Over \$60,000:	951 (10.8%)	Households Earning Over \$100,000:	319 (3.6%)



REAR ELEVATION

2. *Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present Owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

No information concerning Economic Hardship has been provided by the owner/applicant.

E. *Urban Design. The Office shall evaluate the following urban design factors:*

1. *The effect of a proposed partial demolition on attached or row buildings.*

Not Applicable.

2. *The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of Structures within the block.*

Although the building is set back off Missouri, and the block is mostly intact, the loss of the building would affect the integrity of the block face.

3. *Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.*

3533 Missouri, constructed prior to 1875, represents some the earliest historic development of the area. It is also one of the more architecturally-significant buildings in the vicinity due the rarity of the Flounder housing type.

4. *The elimination of out of scale or out of character buildings or nonconforming land uses will be considered; however, the fact that a present and original or historic use of a site does not*

conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not Applicable.



WINDOW ON SOUTH ELEVATION

Flounder houses remain. Other flounder houses found in the City have been dated to 1850. Because of the lack of investment in the older parts of St. Louis until the 1980's, very few of these stand alone. Flounder houses remain.

Several buildings of similar size have sold within a half mile radius 3533 Missouri within the past twelve months. These properties include, 3452 Illinois (2/2; 992sf) for \$130,000, 2008 Wyoming (2/1; 1012sf) for \$124,500, and 1907 Withnell (2/1; 1080sf) for \$94,000.

The building has suffered from lack of maintenance which has led to the collapse of the south wall, but is by no means structurally unsound. In the staff's experience, the building could be successfully rehabilitated. The building is listed as a contributing resource to the Benton Park National Register District, and its demolition would degrade the integrity the district. The demolition would leave a hole in the block with no plans to construct a new building at the site.

The Cultural Resources staff has not found any substantial justification for the demolition of the building at this time.

CONCLUSION:

The appeal of the staff denial should be denied by the Preservation Board as the owners have not met the Ordinance standards for approval.

CONTACT:

Bob Bettis Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277 Fax:314-259-3406
E-Mail: bettisb@stlouiscity.com



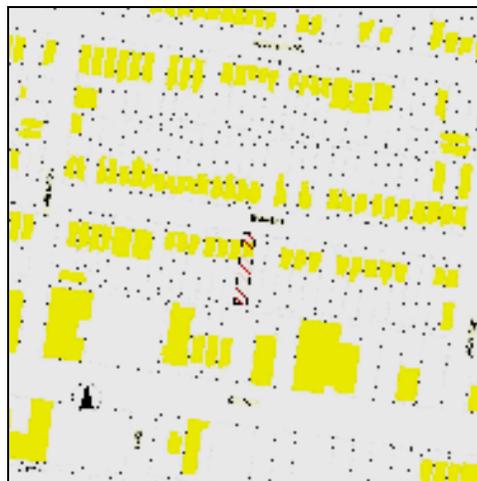
CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

B.

DATE: September 27, 2010
FROM: Bob Bettis, Preservation Planner
SUBJECT: Appeal of a staff denial to demolish a building in a National Register historic district
ADDRESS: 5148 Enright
JURISDICTION: Mount Cabanne/Raymond National Historic District — Ward 18



5148 ENRIGHT



OWNER/APPLICANT:
Carl Solomon/Dept. of Public Safety

RECOMMENDATION:
To uphold the Cultural Resource Office staff denial of the demolition.

BACKGROUND:

A permit to condemn the building was denied by the Cultural Resources Office in April of 2010. The permit is coming before the Board at the request of the ward Alderman.

SITE AND SURROUNDING AREA:

5148 Enright is located on the south side of the block between Clarendon to the west and Academy to the east. Surrounding properties are of similar size and architectural style and are contributing resources to the Mount Cabanne/Raymond Place National Historic District.



LOOKING NORTHWEST



ACROSS ENRIGHT

RELEVANT LEGISLATION:

St. Louis City Ordinance 64689:

***PART X - DEMOLITION REVIEWS
SECTION FIFTY-EIGHT.***

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

5148 Enright is a contributing resource to the Mount Cabanne/Raymond Place National Register District.

SECTION SIXTY-ONE. Demolition permit Preservation Board Decision.

All demolition permit applications pursuant to Sections Fifty-Eight to Sixty-Three shall be made by the Preservation Board, which shall either approve or disapprove of all such applications. The Preservation Board may by a duly adopted order or regulation consistent with this chapter, authorize the Cultural Resources Office to make reviews of demolition permit applications. Decisions of the Preservation Board or Cultural Resources Office shall be in writing, shall be mailed to the Applicant immediately upon completion and shall indicate the application by the Preservation Board or Cultural Resources Office of the following criteria, which are listed in order of importance, as the basis for the decision:

F. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance shall be approved except in unusual circumstances which shall be expressly noted.

There is no Redevelopment Plan approved by ordinance for this site.

G. Architectural Quality. A Structure's architectural Merit, uniqueness, and/or historic value shall be evaluated and the Structure classified as High Merit, Merit, Qualifying, or non Contributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of Sound High Merit Structures shall not be approved by the Office. Demolition of Merit or Qualifying Structures shall not be approved except in unusual circumstances which shall be expressly noted.



FROM STREET

5148 Enright is a contributing building to the Mount Cabanne/Raymond National Register District and is eligible to use State and Federal Tax Credits for Historic Preservation to assist in rehabilitation costs. It would be considered a “Sound, High Merit” building under the Ordinance definition because of its age and condition.

H. Condition. The Office shall make exterior inspections to determine whether a Structure is Sound. If a

Structure or portion thereof proposed to be demolished is obviously not Sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the Structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable Structure.

1. Sound Structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subparagraphs A, D, F or G of this section indicates demolition is appropriate.

5148 Enright is considered “sound” under the definition of the Ordinance, although it is deteriorated and suffers from a lack of maintenance. All exterior walls are intact. The attached wooden wrap-around roof is slumping but intact.

2. Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.

Not Applicable.

I. Neighborhood Effect and Reuse Potential.

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

The majority of buildings in the immediate vicinity are good structural condition, few are vacant and boarded.

2. *Reuse Potential: The potential of the Structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.*

The property is a contributing resource to a National Register District, and therefore is eligible for both Federal and State Tax Credits for Historic Preservation. The staff has roughly estimated the potential project costs:

Total Development Costs: (\$125/sq. ft. x 1632 sq. ft.) \$204,000
Less 25% State and 20% Federal Historic Tax Credit: \$91,800
Total Development Costs: \$112,200

Area Demographics

(Information on Business Profiles, Demographics and Area Incomes provided by City of St. Louis Geographic Information System (GIS) maintained by the Planning and Urban Design Agency.)

Area Business Profile:

5148 ENRIGHT				
Indicator	¼ Mile Radius	½ Mile Radius	¾ Mile Radius	1 Mile Radius
Number of Business	47	125	178	297
Total Wages	\$10,340,050.00	\$31,341,527.00	\$40,765,883.00	\$171,835,072.00
Number of Employees	1,132	3,126	4,070	10,736
Number of Supermarkets	0	3	3	4
Number of Pharmacies	0	1	1	2
Number of Gas Stations	1	2	3	6
Number of Restaurants	1	3	5	8
Number of Fast Food	2	3	4	11
Number of Hospitals	1	1	2	2
Number of Banks	0	0	0	0
Number of Law Firms	0	0	1	1

Population:

1 Mile Radius Around 5148 Enright			
Summary			
Population:	22,605	Number of Households:	10,195
Gender			
Male:	10,555 (46.7%)	Female:	12,050 (53.3%)
Age Totals			
Male Age		Female Age	
Under 18 Years:	2,249 (21.3%)	Under 18 Years:	2,347 (19.5%)
18 to 24 Years:	1,269 (12.0%)	18 to 24 Years:	1,540(12.8%)
25 to 39 Years:	2,821 (26.7%)	25 to 39 Years:	2,666 (22.1%)
40 to 64 Years:	3,060 (29.0%)	40 to 64 Years:	3,329 (27.6%)
65 Years and Over:	1,156 (11.0%)	65 Years and Over:	2,168 (18.0%)

Area Income:

1 Mile Radius Around 5148 Enright

Summary Information			
Aggregate Household Income:	\$478,718,100	Household Income Per Square Mile:	\$174,913,807
Average Household Income:	\$43,859	Per Capita Income:	\$21,563
Household Income			
Less than \$10,000:	2,490	\$10,000 to \$15,000:	808
\$15,000 to \$20,000:	942	\$20,000 to \$25,000:	663
\$25,000 to \$30,000:	663	\$30,000 to \$35,000:	740
\$35,000 to \$40,000:	547	\$40,000 to \$45,000:	593
\$45,000 to \$50,000:	415	\$50,000 to \$60,000:	598
\$60,000 to \$75,000:	547	\$75,000 to \$100,000:	628
\$100,000 to \$125,000:	317	\$125,000 to \$150,000:	153
\$150,000 to \$200,000:	257	Greater than \$200,000:	289
Economic Breakdown			
Households Earning Over \$40,000:	3,950 (36.2%)	Households Earning Over \$50,000:	2,942 (27.0%)
Households Earning Over \$60,000:	2,344 (21.5%)	Households Earning Over \$100,000:	1,169 (10.7%)



REAR ELEVATION

2. *Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present Owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

No information concerning Economic Hardship has been provided by the owner/applicant.

J. *Urban Design. The Office shall evaluate the following urban design factors:*

1. *The effect of a proposed partial demolition on attached or row buildings.*

Not Applicable.

2. *The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of Structures within the block.*

The loss of the building would significantly affect the block face and rhythm of the block. There are already two empty lots to the east of the property, but the overall

block is relatively intact.

3. *Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.*

5148 Enright, constructed in 1903 is an excellent example of the Queen Anne style utilized in an urban setting. It is also one of the more architecturally-significant buildings on the block.

4. *The elimination of out of scale or out of character buildings or nonconforming land uses will be considered; however, the fact that a present and original or historic use of a site does not*

conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not Applicable.



EAST FACADE

COMMENTS :

The building has suffered from a lack of maintenance, but is by no means structurally unsound. In the staff's experience the building could be successfully rehabilitated. The building is a contributing resource to the Mount Cabanne/Raymond Place National Historic District and is eligible for Federal and State Historic Tax Credits for rehabilitation

The demolition would lead to a bigger hole in the block face. With no plans to construct a building on the site, its loss would further degrade the architectural integrity of the block,



DETAIL DORMER/GUTTER



DETAIL FRONT PORCH

COMMUNITY CONSULTATION:

The staff has not been contacted by the neighborhood concerning the project. The Ward Alderman has requested that the building be demolished, as the adjacent property owner is unable to obtain insurance due to its condition.

CONCLUSION:

The applicant has not provided sufficient evidence to satisfy the criteria for demolition. The Cultural Resources Office recommends that the Preservation Board uphold the staff denial as the proposed demolition does not meet the Ordinances standards for approval.

CONTACT:

Bob Bettis	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 277
Fax:	314-622-3413
E-Mail:	<u>BettisB@stlouiscity.com</u>



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

C.

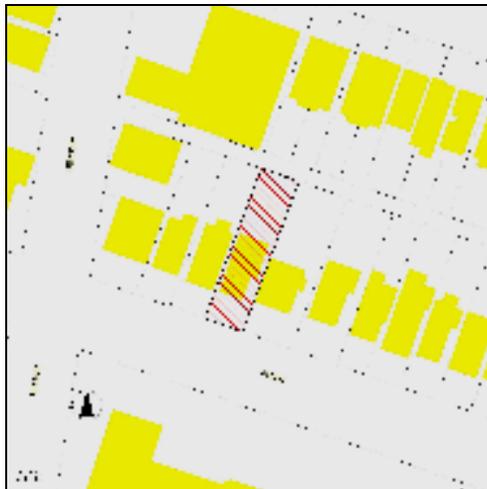
DATE: September 27, 2010
FROM: Bob Bettis, Preservation Planner
SUBJECT: Preliminary Review to retain vinyl windows on front facade
ADDRESS: 2049 Allen
JURISDICTION: McKinley Heights Local Historic District — Ward: 7



2049 ALLEN

OWNER/APPLICANT:
Karen Revere

RECOMMENDATION:
That the Preservation Board deny the Preliminary Application as the completed work is not in compliance with the McKinley Heights Historic District Standards



BACKGROUND:

The Cultural Resources Office received a complaint from the Citizens Service Bureau on June 30th, 2010. Upon inspection it was found that the owner had installed vinyl windows on the front façade without a permit. A certified letter was sent to owner who promptly contact staff and expressed interest in going to the Preservation Board in an effort to retain the windows. After one request for deferral the project was scheduled for the September board meeting.



WITH WRAPPING



ORIGINAL

SITE AND SURROUNDING AREA:

2049 Allen is located near the northeast corner of Serbian Drive and Allen Ave. directly to the north of Sigel School. Surrounding properties are of similar size and architectural style and are contributing resources to the McKinley Heights Local Historic District

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901

203.1 Windows at Public Facades:

1) Windows in Public Facades shall be one of the following:

a) The existing window repaired or retained

b) Replacement window, duplicating the original, which meets the following requirements:

i) Replacement windows or sashes shall be made of wood or finished aluminum,

ii) The profiles of muntins, sashes, frames, and moldings shall match the original elements in dimension and configuration.

iii) The number, arrangement and proportion of lights shall match the original or be based on a Model Example.

Does not comply. Replacement windows are vinyl. The profiles and dimensions of the new windows do not replicate historic examples. In addition the brick molds have been wrapped concealing original elements.

COMMENTS :

The vinyl windows installed by the owner have seriously affected the building's historic character and integrity. The windows are flat and contemporary in appearance; the lift and meeting rails are narrower, and the jambs are wider than the original window. The brickmold has been covered by aluminum wrapping and has altered the appearance of the windows.



DETAILS OF WINDOWS

The owner has stated that she has paid for the windows and cannot afford to take the monetary loss to install the proper windows. The owner has yet to provide evidence of economic hardship.



ACROSS STREET



CONTEXT LOOKING SOUTHEAST

COMMUNITY CONSULTATION:

The staff has not been contacted by the neighborhood or the Alderwoman concerning the project.

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board deny the Preliminary application as the completed work is not in compliance with the McKinley Heights guidelines.

CONTACT:

Bob Bettis	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 277 Fax: 314-622-3413
E-Mail:	bettisb@stlouiscity.com



D.

DATE: September 27, 2010
FROM: Bob Bettis, Preservation Planner
SUBJECT: Preliminary Review of an application to install a street facing dormer and new slate.
ADDRESS: 2007 South Compton
Jurisdiction: Compton Hill Local Historic District Ward: 6

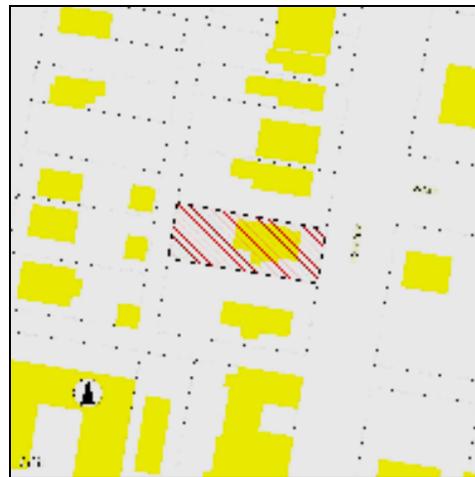


2007 SOUTH COMPTON

OWNER/APPELLANT:
Sascha Zerbin

PURPOSE:
To install new dormer and slate.

RECOMMENDATION:
That the Preservation Board deny the Preliminary Review as the proposed work does not comply with the Compton Hill Historic District Standards.





CONTEXT NORTH ON COMPTON



CONTEXT SOUTH ON COMPTON

BACKGROUND:

The owner is rehabbing the building at 2007 South Compton and wishes to make the current attic into a livable space. The owner came to the preservation board in August with a plan to raise the roof line but was denied. The owner is now proposing to install a smaller dormer that fits within the existing height of the Mansard. The owner is also proposing to install new slate that does not replicate the appearance of the original. Since the proposal does not comply with the Compton Hills Historic District standards, the Preliminary Application was scheduled for the Preservation Board.



CLOSE-UP OF ROOF

SITE AND SURROUNDING AREA

2007 South Compton is an architecturally significant, two-story single-family Second Empire building in the Compton Hills Local Historic District. The property is located on the west side of Compton between Geyer to the north and Russell to the south. Buildings surrounding 2007 S. Compton are residential, single-family buildings of similar architectural style and date of construction.

The surrounding buildings are all well-maintained and are contributing resources to the Compton Hills Local Historic District.



HOUSES TO NORTH ON COMPTON



HOUSE TO THE NORTH

RELEVANT LEGISLATION:

Excerpt from Ordinance #57702, Compton Hill Historic District:

A. Architectural Detail

- 1. Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, a similar detail may be substituted.*
- 2. Renovated dormers, towers, porches, balconies or cornices shall be maintained in a similar profile, size and detail as originally constructed. Similar new construction shall complement the design.*

Does not comply. The owner is proposing to install a front facing dormer where one was not located prior. Staff feels the dormer is too tall as the other examples on the block are smaller. In addition, the alteration to the Mansard roof will also be a violation of the Compton Hill standards.

A. Roof Shape and Material

- 1. Roof materials shall be slate, tile, copper or asphalt shingles. Roll roofing material, corrugated sheet metal, shiny metal, or brightly colored asphalt shingles are not permitted where seen.*

Partly complies. The proposed material is original slate. However, the new slate is square does not look like the original round.

COMMUNITY CONSULTATION:

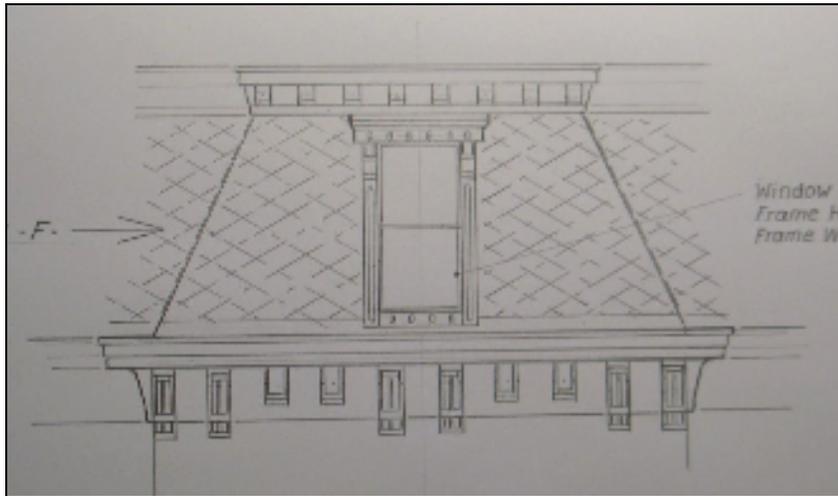
At this writing, we have not received any written communication concerning the project from the Alderman for the Ward or the neighborhood.

COMMENTS :

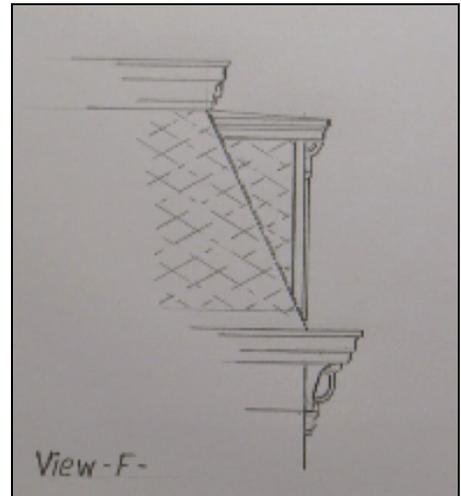
2007 South Compton, constructed in 1895, is an excellent example of the Second Empire style. The proposed work will significantly alter the appearance of the home. The installation of the dormer will

alter the original appearance of the mansard because it is out of scale with the squat mansard. The majority of the block mansard roofs do not have dormers, and the ones that do are centered with paired casement windows.

The owner is also proposing to replace the existing diamond shaped slate with square slate. He also intends on using the hook hanging method of installation of the slate. Hook hanging supports the slate from the bottom. All the hooks will be visible from street and will alter the appearance of the building.



PROPOSED DORMER



SIDE ELEVATION

CONCLUSION:

Staff recommends that the Preservation Board deny the Preliminary Application as the proposed work is not in compliance with the Compton Heights historic district standards.

CONTACT:

Bob Bettis Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 277
Fax: 314-622-3413
E-Mail: bettisb@stlouiscity.com



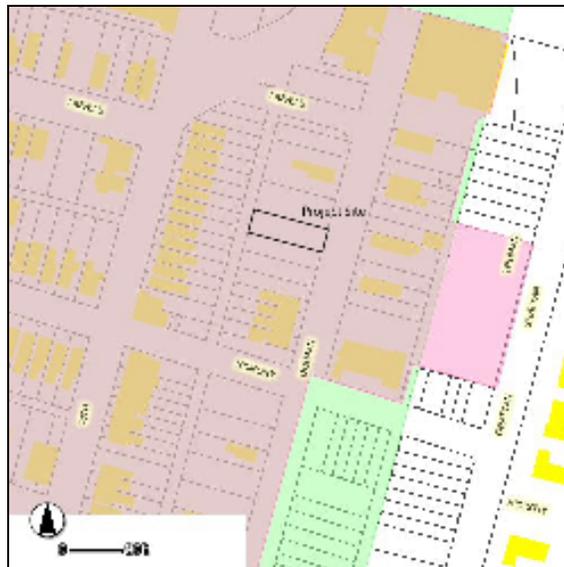
CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
Cultural Resources Department

E.

DATE: September 27, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Preliminary Review: new single-family construction on a vacant lot
ADDRESS: 1107 Dolman Street
JURISDICTION: Lafayette Square Local Historic District — Ward: 6



1107 DOLMAN STREET



Owner and Applicant:
Arthur M. Willhelm

Staff Recommendation:
That approval be granted with the condition that the Cultural Resources Office staff approve final drawings, details, finishes and exterior materials.



1107 DOLMAN AND VACANT LOTS ADJACENT ON SOUTH

BACKGROUND:

The Cultural Resources Office received a preliminary application for the construction of a 2-story single-family house on 8/26/2010.

The staff determined that the application met the criteria of the Lafayette Square Historic District Standards and scheduled the project for Preservation Board review.

SITE AND SURROUNDING AREA

1107 Dolman is located in the center of the block, north of four historic rowhouses in the eastern portion of the Lafayette Square Local Historic District: the boundary runs along the alley bisecting the opposite block. The project also lies within the boundaries of the Lafayette Square National Register District, whose eastern boundary runs down the center of Dolman.

A large vacant lot is adjacent to the site on the north; three more to the south. (The Preservation Board recently granted preliminary approval to a 2-story single-family house to be constructed on the southernmost parcel.) Further to the north is a large two-and one-half-story Second Empire house. Opposite are scattered single-families and St. Mary's Assumption Church.

Dolman Street has suffered many demolitions and much of the street is vacant, with only remnants of the original historic fabric. Most of the few remaining structures are in fair to good condition, and a new single-family house is under construction at Hickory.



**CONTEXT SOUTH OF SITE
(another new single-family is proposed for this lot)**



ROWHOUSES SOUTH OF THE SITE



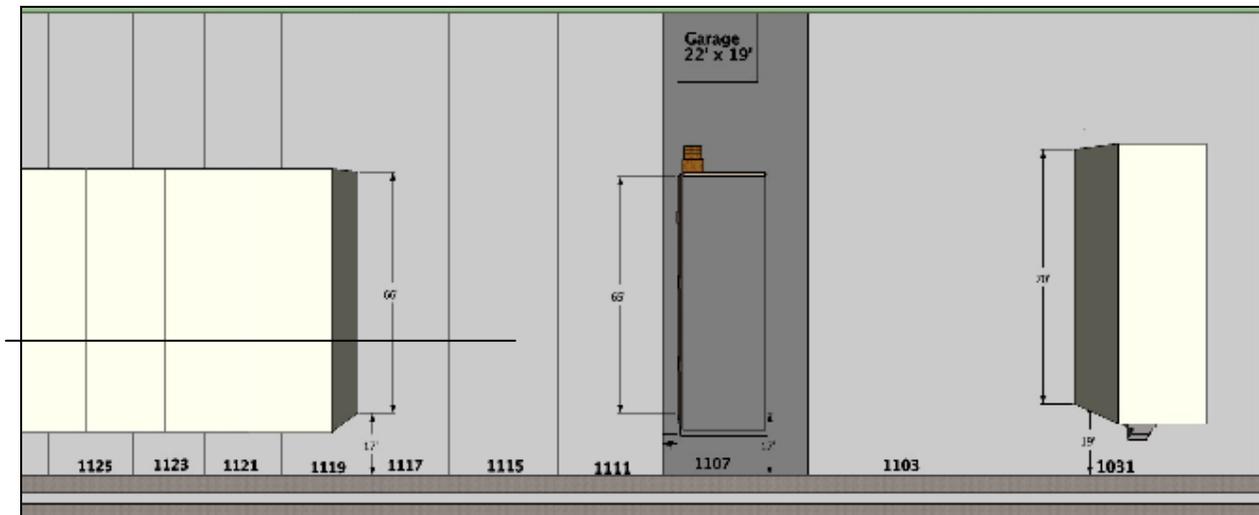
CONTEXT ON EAST SIDE OF DOLMAN OPPOSITE SITE TO NORTH



ST. MARY'S AND CONTEXT ON EAST SIDE OF DOLMAN

REASONS FOR APPLICATION:

The owner wishes to obtain preliminary approval of the design before completing construction drawings.



SITE PLAN WITH PROPOSED SINGLE-FAMILY AND DETACHED GARAGE SHOWN SHADED

RELEVANT LEGISLATION: _____

Excerpt from Ordinance #63327, Lafayette Square Historic District:

301 PUBLIC AND INTERMEDIATE FACADES

1. *The Public and Intermediate Facades of Non-Historic Buildings, New Construction and permitted Additions to existing Historic Buildings shall be reviewed based on the following:...*

301.1 Site

1. *Alignment*

1. *New construction and additions shall have Public Facade(s) parallel to the Public Facade(s) of the adjacent buildings....*

Complies. Front facade will align with adjacent building.

2. *Setback*

1. *New construction shall have the same setback as adjacent buildings....*

Complies. Front facade and side elevation will conform to existing building setbacks.

3. *Every unit shall have a Public Facade....*

Complies.

4. *In all new buildings, at least one Public Facade that faces the street shall contain an entrance.*

Complies.

301.2 Mass

1. *The mass of new construction shall be comparable to the mass of the adjacent buildings or to the common overall building mass within the block, and on the same side of the street.*

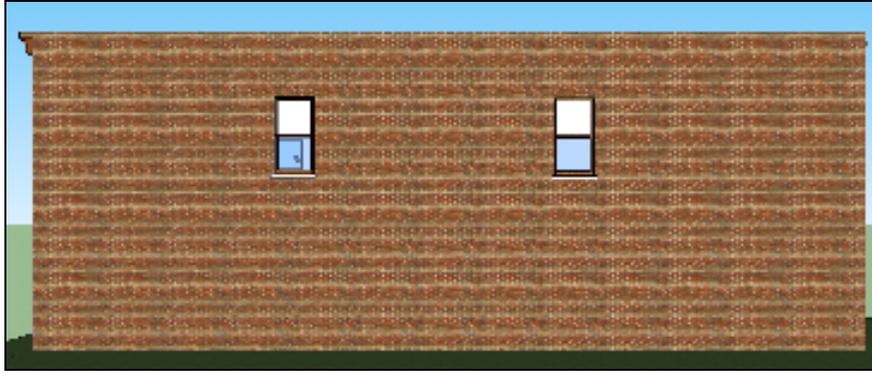
Complies. The building's height at the front parapet and its floor-to-ceiling heights are similar to those of the rowhouses to the south.

2. *All new buildings shall be up on a base. The elevation of the first floor shall be at least 3 steps higher than the grade and there shall be steps leading to the entry. On the Public and Intermediate Facades, there shall be a differentiation in the facade near the level of the first floor that defines the base. The wall materials and/or the detailing at the base shall be distinct from that of the rest of that facade.*

Complies. The building's first floor level is similar to the adjacent buildings, and the material of the base is distinct from that of the walls. All elevations will be brick.



FRONT ELEVATION



NORTH ELEVATION

301.3 Scale

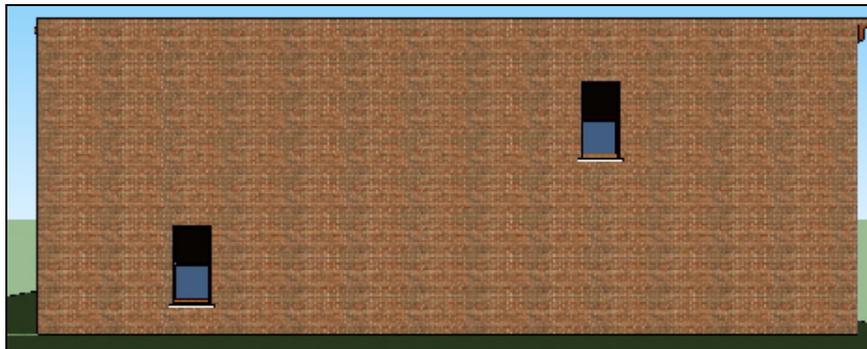
1. *New construction shall appear to be the same number of stories as other buildings within the block, or shall have the same number of stories as the building original to that site. Interior floor lines shall also appear to be at levels similar to those of adjacent buildings.*

Comment: Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the crown molding on a Mansard building, to the roof eave on a building with a sloping roof.

Complies. The building's height above grade and floor height are similar to the adjacent building.

2. *The building height shall be within 2' above or below the average height within the block....*

Complies.



SOUTH ELEVATION

301.4 Proportion

1. *The proportions of new construction and additions shall be comparable to those of adjacent buildings.*

Complies. The size, proportions and relationship of windows, door and cornice proportions are characteristic of the historic examples on the street. The width of the house is appropriate to that of the existing lot. Dolman Street has many vacant parcels and has lost a great deal of its original development pattern and rhythm.

301.5 Ratio of Solid to Void

1. *The total area of windows and doors in the Public Facade of new construction and additions shall be no less than 25% and no more than 50% of the total area of the facade.*

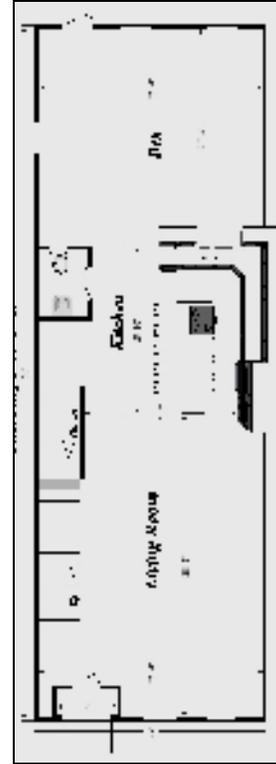
Complies. The front façade conforms to this requirement.

2. *The proportion of a window in the Public Facade of new construction and additions shall be between one of the following:*

1. *1:2 and 1:3. The height shall be at least twice the width ($W \times 2 < H$).*

2. *Approved by the Lafayette Square Restoration Committee.*

Complies.



FIRST STORY FLOOR PLAN



DOLMAN ELEVATION SHOWING PROPOSED HOUSE IN CONTEXT WITH EXISTING FABRIC



SITE FROM SOUTHEAST

301.6 Public and Intermediate Facade Materials and Material Color

1. *Finish materials shall be one of the following:*
 1. *Kiln-fired brick, 2-2/3"x8"x4" nominal, or brick size based on a model example.*

Comment: Brick within the District is typically laid in a running bond with natural grey, white or red mortar. Typical joints include concave, struck and v-groove (See figure 8). Most brick within The District is hard and smooth and red or orange in coloration with only minor variations in coloration.
 2. *Stone common to The District*
 3. *Replica stone including scored stucco*
 4. *Ornamental brick, stone or replica stone lintels, cornices, sills, decorative bands or panels.*
 5. *Approved by the Lafayette Square Restoration Committee....*

Complies. All elevations will be brick of a consistent color. The front foundation will be concrete with a stucco parge to replicate the appearance of limestone veneer.

2. *Clear and non-reflective panes of glass shall be used in Public and Intermediate facade windows, transoms and doors.*

Complies.

3. *Gutters and downspouts shall comply with Section 201.8(A)(3)&(4).*

Complies.

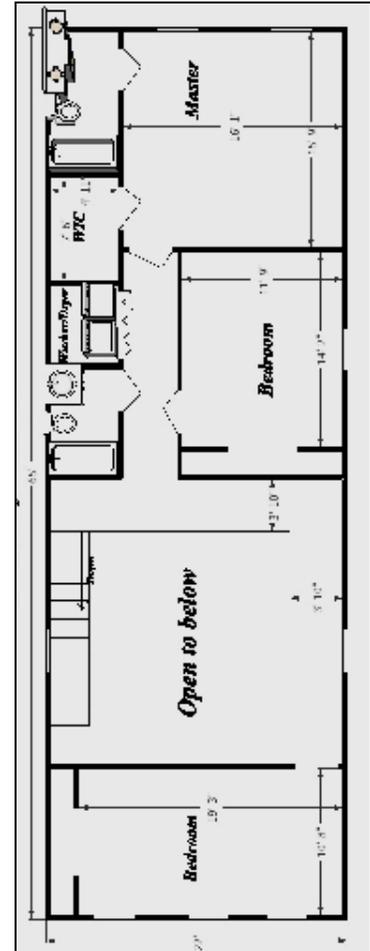
4. *A proposed structure that uses brick on the Public Facades shall also use brick on the Intermediate Facades.*

Complies.

301.7 Public and Intermediate Facade Roofs

1. *Roof planes shall be uninterrupted with openings such as individual skylights, vents, pipes, mechanical units, etc.*
2. *Visible roofing material shall be limited to the following:*
 1. *slate,*
 2. *synthetic slate,*
 3. *asphalt or fiberglass shingles, standard three tab design of 235 pounds per square minimum construction,*
 4. *standing seam, copper or pre-finished sheet metal roofing,*
 5. *Plate or structural glass....*

Complies with all requirements.



SECOND STORY FLOOR PLAN

303 GARAGES, ALLEY HOUSES & CARRIAGE HOUSES

1. *Garages shall be set within 10' of the alley line.*

2. *Garages shall be directly behind the main structure on the site. If existing site conditions prohibit this placement, then the new structure shall comply with Section 301, except 301.1(B), and 301.3.*
3. *Vehicular access shall only be from the alley. See also Section 301.1(F)*
4. *Garage doors shall be parallel to, and face, the alley.*
5. *Construction materials:*
 1. *Consistent with a model example.*
 2. *Brick*
 3. *Stone or replica stone, including scored stucco or block.*
 4. *Siding.*

Complies with all requirements. The garage is located directly behind the house at the alley, and will be sided.

COMMUNITY CONSULTATION:

To date, the Cultural Resources Office has not received any comments on the project from the Alderman or any neighborhood group.

COMMENTS :

The applicant has been cooperative in responding to the staff's comments and has addressed them in the current submission. A few minor details remain:

1. Windows on the south elevation. Generally, windows on secondary elevations in historic buildings were arranged in symmetrical bays. Additional windows would more accurately reflect historic precedent, but the location of stair, bathroom, and laundry along the south wall makes it difficult to add more openings. The owner's proposed use of brick for the entire wall, however, greatly mitigates the impact of the staggered windows.
2. The front cornice should return at both north and south elevations.
3. The proposed front door, sidelights and transom should be simplified and more accurately reflect a historic entry design.

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant approval to the project as currently proposed, with the condition that final drawings, details, finishes and exterior materials be reviewed and approved by the staff.

CONTACT:

Jan Cameron	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-259-3406
E-Mail:	CameronJ@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

F.

DATE: September 27, 2010
FROM: Andrea Gagen, Historic Preservation Planner
SUBJECT: Preliminary Review to construct a vestibule addition
ADDRESS: 2010 Cherokee
JURISDICTION: Cherokee-Lemp Local Historic District — Ward 9

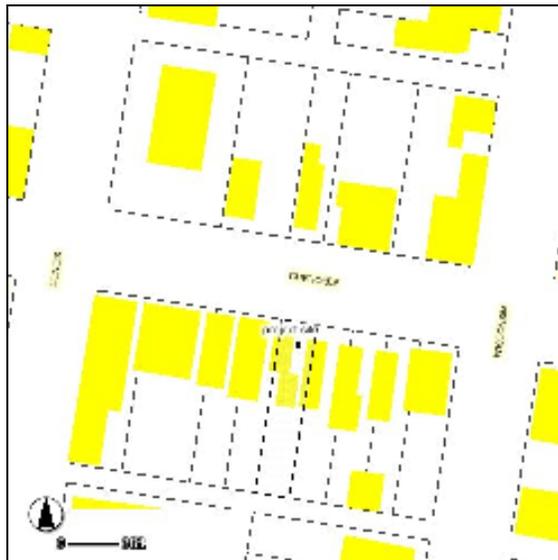


2010 CHEROKEE

OWNER:
James May & Jana Craig

APPLICANT:
Ray M. Simon

RECOMMENDATION:
That the Preservation Board deny the Preliminary Review as the proposed vestibule does not meet the Cherokee-Lemp Historic District standards.



BACKGROUND:

In August 2010, the applicant submitted a Preliminary Review for a vestibule addition at 2010 Cherokee. The proposed vestibule would be at the recessed entry to the east of the main front facade. The construction of the vestibule would result in the removal of the existing door hood, but the original entries would remain in place. The vestibule would consist of 8'11" deep shed roof structure with full-light French doors with a sidelight and transom. Most of the front of the structure is glass.



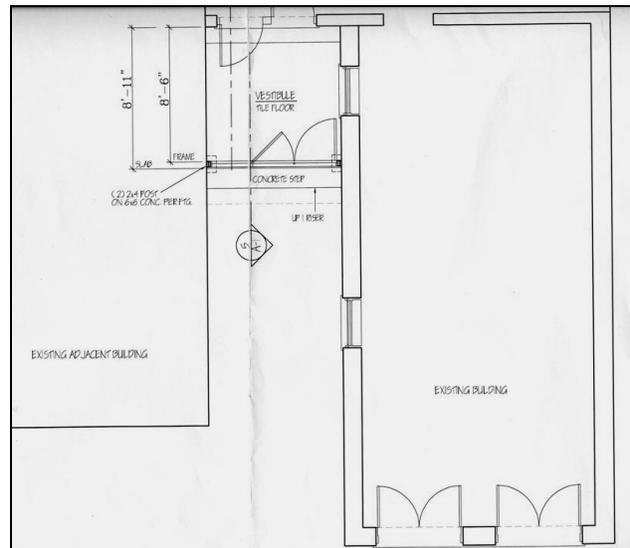
VIEW OF PROPOSED VESTIBULE LOCATION – RECESSED FACADE BETWEEN TWO BUILDINGS

SITE AND SURROUNDING AREA:

2010 Cherokee is located between Wisconsin and Illinois Streets, on a primarily commercial street. The building is within the Cherokee-Lemp Historic District and just south of the Benton Park Historic District.



ELEVATION OF PROPOSED VESTIBULE



FLOOR PLAN OF PROPOSED VESTIBULE



VIEW OF PROPOSED SITE FROM SIDEWALK



CLOSE-UP VIEW OF PROPOSED SITE

RELEVANT LEGISLATION:

Excerpt from Ordinance #59836, Cherokee-Lemp Local Historic District

ARCHITECTURAL DETAIL:

- A. *Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, a similar detail may be substituted.*

Does not comply. Although the original doors and transoms are being retained, the door hood is being removed. The addition of a new element on the front facade of the building also does not maintain the architectural details in a similar size, detail and material.

- B. *Doors, windows and other openings on rehabilitated structures shall be of the same size, and in the same horizontal and vertical configuration as in the original structure. Exterior shutters, when used, shall be made of wood and shall be of the correct size and shape to fit the entire opening for which they are intended.*

Not Applicable.

- C. *Storm doors, storm windows and window frames shall be made of wood, or of color-finished material. Mill-finished aluminum or similar metal is not permitted.*

Complies. The proposed door and window frames will be of wood.



ACROSS STREET



CONTEXT LOOKING NORTHEAST



BUILDINGS EAST



BUILDINGS WEST

COMMUNITY CONSULTATION:

The staff has not had any communication from the neighborhood association, nor the Alderman.

COMMENTS:

Although the vestibule does not meet the Cherokee-Lemp Historic District standards, the staff does not believe that the addition will not be visually dominant from the street, especially if the wood is painted a dark color. The vestibule is primarily glass and would be located on a recessed section of facade between two buildings. The doors and transoms of the original entry would be retained in place.

CONCLUSION:

That the Preservation Board deny the Preliminary Review as the proposed vestibule does not meet the Cherokee-Lemp Historic District standards.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	GagenA@stlouiscity.com



G.

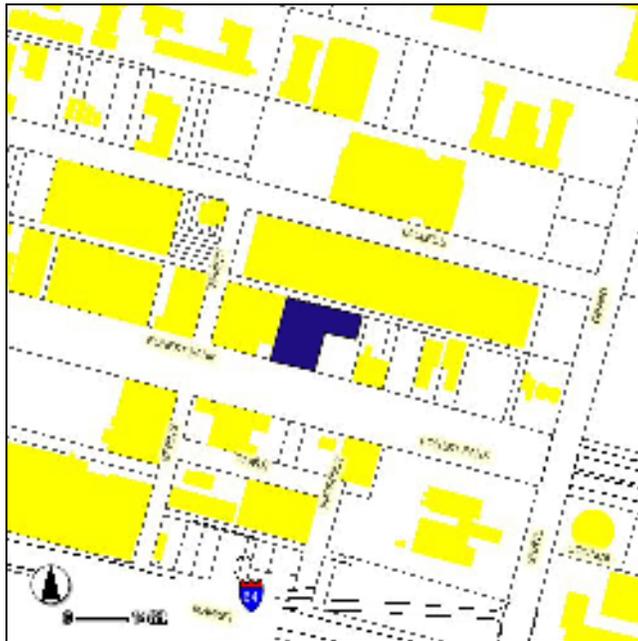
DATE: September 27, 2010
FROM: Jan Cameron
SUBJECT: Preliminary review: Demolish 2-story commercial building
ADDRESS: 3663 Forest Park Avenue
JURISDICTION: Preservation Review District — Ward 17



3663 FOREST PARK AVENUE

OWNER/APPLICANT:
SASAK Corporation
Amrut Patel/Ankit Patel

RECOMMENDATION:
The Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the demolition but instruct the Cultural Resources Office staff to withhold approval of the demolition permit application until a building permit for the hotel is issued.



BACKGROUND:

On October 4, 2006, Mid-States Wrecking Company applied for a permit for the demolition of 3663 Forest Park Avenue. The Cultural Resources Office Director denied the application, which was appealed to the Preservation Board and heard at its meeting of January 22, 2007. The Board upheld the Director’s denial stating that the applicant had failed to meet the criteria for demolition under the Preservation Review District ordinance.

The Cultural Resources Office received a preliminary review application for the demolition of 3663 Forest Park on 8/31/2010.



FRONT ELEVATION

SITE AND SURROUNDING AREA:

The site is located on Forest Park Avenue just west of the underpass beneath Grand Avenue, in the Mid-Town district. The building is a two-story commercial in the Moderne style, constructed in 1948. A smaller red brick building with loading docks was added at the rear of the east elevation, fronted by a surface parking lot.

This portion of Forest Park Avenue has very little cohesion, with buildings of a wide variety of scale interspersed with surface parking lots. Most are well-maintained; several historic buildings remain, many altered; some later development, including the Credit Union immediately to the east.

Adjacent to 3663 Forest Park on the west is the Ramsey Accessories Manufacturing Corporation Building, listed on the National Register of Historic Places, and an impressive Tax Credit rehabilitation. Existing buildings are generally well-maintained but do not have the integrity or consistency to be considered an eligible historic district.



BUILDING & ADDITION FROM FOREST PARK AVENUE



RAMSEY BUILDING DIRECTLY ADJACENT TO WEST



CREDIT UNION BUILDING AND CONTEXT EAST OF SITE



CONTEXT OPPOSITE LOOKING EAST



CONTEXT OPPOSITE



CONTEXT OPPOSITE LOOKING WEST

RELEVANT LEGISLATION:

St. Louis City Ordinance #64689

PART I - REPEALS, PURPOSE, DEFINITIONS, EXEMPTIONS

SECTION THREE. Definitions.

- 10. “High Merit” means contributing as a major structure to an existing or potential City or National historic district; or, deserving of consideration for single site historic or Landmark Site designation....
- 15. “Merit” means contributing to an existing or potential City or National historic district or having a unique architectural style....
- 21. “Qualifying” means qualifying for listing on the National Register or for federal, state, local or private incentive programs for rehabilitation or adaptive reuse....
- 22. “Sound” means that visible portions of exterior walls and roofs appear capable of continuing to support their current loads for six months or more....

PART IX - PRESERVATION REVIEW DISTRICTS SECTION FIFTY-FIVE.

Preservation Review Districts may be established by ordinance for areas of the City in which the Board of Aldermen finds, by ordinance, reviews of the effects of demolitions on the area are in the public interest. Prior to adoption of a Preservation Review District ordinance, i) the alderman for the ward in which the proposed district is located shall have requested the Cultural Resources Office and the Preservation Board to assess the architectural and/or cultural quality of the proposed district, and ii)

within forty-five (45) days thereafter the Cultural Resources Office and the Preservation Board shall have reported its findings to the Planning Commission and the Board of Aldermen. The Cultural Resources Office and the Preservation Board shall assess the proposed district as having i) high historic district potential; ii) possible historic district potential; iii) low historic district potential; iv) demolitions within the last two years in excess of the average for similar areas in the City. Districts which are reported as being in categories i), ii) or iv) may be designated Preservation Review Districts. Preservation Review District ordinances may be repealed by ordinance at any time without Cultural Resources Office or Preservation Board action.

The site proposed for demolition is contained within a Preservation Review District (Ordinance #66609).

PART X - DEMOLITION REVIEWS

SECTION SIXTY-ONE. Demolition permit Preservation Board Decision.

All demolition permit application reviews pursuant to Sections Fifty-Eight to Sixty-Three shall be made by the Preservation Board, which shall either approve or disapprove of all such applications. The Preservation Board may by a duly adopted order or regulation consistent with this chapter, authorize the Cultural Resources Office to make reviews of demolition permit applications. Decisions of the Preservation Board or Cultural Resources Office shall be in writing, shall be mailed to the Applicant immediately upon completion and shall indicate the application by the Preservation Board or Cultural Resources Office of the following criteria, which are listed in order of importance, as the basis for the decision:

- A. *Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.*

No Redevelopment Plan defined by this criteria has been submitted.

- B. *Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.*

The existing building, while not of high architectural importance, is considered a "Merit" structure under the definition of the Ordinance. It is a Mid-century Modern building of in yellow brick with Streamline Moderne elements appearing in its ribbon window openings, striated red brick trim and projecting metal canopy. The building would be a contributing resource to a thematic or multiple property National Register nomination.

- C. *Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.*

The building was in fair to good condition until the fall of 2006, when the steel casement windows were removed and the building was left open to the elements. Since then, it has suffered some deterioration and citations are pending from the Building Division. However, it meets the definition of “Sound” under the Ordinance.



WEST ELEVATION



BRICK ADDITION

1. *Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.*

While rehabilitation and reuse of the building is possible, the owner and the Executive Director of the Park Central Development Corporation have stated that there has been no recent interest in the property. The owner has submitted a revised redevelopment proposal. See comments under Criterion F.

D. Neighborhood Effect and Reuse Potential.

1. *Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.*

The general area along Forest Park Avenue has been undergoing steady improvement in recent years due to the investment by St. Louis University and by private investors, many using State and Federal Historic Preservation Tax Credits. The majority of neighboring buildings are recently rehabilitated and well-maintained.

2. *Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.*

No analysis has been submitted regarding the reuse potential of the existing building.

3. *Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.*

No evidence of financial hardship has been submitted to the Office.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

Not Applicable.



AERIAL OF FOREST PARK AVENUE WITH 3663 MARKED

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.

The block face along with part of Forest Park Avenue is not intact, and includes many surface parking lots as well as buildings of varying height and scale. Demolition of the existing building at 3663 Forest Park Avenue cannot be considered as significantly affecting the streetscape. See aerial photo above.



DETAIL OF SECOND STORY WINDOW OPENINGS



DETAIL OF CANOPY

3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

The Moderne building is an interesting example of the style and may well contribute to a multiple property nomination, but is not especially significant in itself. It does not form part of a cohesive streetscape.

F. *Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:*

1. *The applicant has demonstrated site control by ownership or an option contract;*

Complies. Mr. Patel is the owner of the property.



WEST ELEVATION



EAST ELEVATION OF ADDITION

2. *The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face....*

The proposed new construction is a five-story Best Western hotel with a two-story parking structure at the rear and west of the property. The Cultural Resources Office staff has seen only a rendering (see below) and preliminary first and second story floor plans.

The proposed hotel, if constructed as presented, would have a scale more appropriate to the street and relate to the character of the majority of the structures further west along Forest Park Avenue, which are multi-story warehouse buildings with subtle brick detailing and punched openings. An additional amenity of the proposal is its siting at the building line of the street, with ground floor storefronts.

3. *The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;*

Appears to comply. The rendering submitted is preliminary and no site plan or landscaping plan has been submitted. The owner has stated that the building will adhere to all current setbacks. Material will be red brick, stucco in a limestone color, and a stone veneer at the first story.

4. *The proposed use complies with current zoning requirements;*

Complies. The property is zoned J-Industrial; hotels and motels are allowable uses under this zoning.

5. *The proposed new construction would commence within twelve (12) months from the application date.*

No specific date of construction has been indicated. The owner has stated that demolition of the existing building is required before an accurate survey of the property can be obtained. However, he has also stated that the development is imminent and will begin as soon as plans are completed.



ARTIST'S RENDERING OF PROPOSED HOTEL

COMMENTS :

Under the Ordinance governing review of proposed demolitions in Preservation Review Districts, a new building must equal or exceed the contribution of the existing structure. While the current building at 3662 Forest Park Avenue is an interesting example of the Modern style, which is relatively unusual in the City, it is by no means a significant example of the style. There is also little cohesion to the streetscape along this area of Forest Park Avenue, so the demolition of a building of this scale cannot be considered a significant loss to the block face.

The design of the hotel is a vast improvement over the initial designs submitted with the previous demolition application, and it has the support of the 17th Ward Park Central Development Corporation. A much larger building than originally proposed, its design vocabulary now references early 20th century brick warehouse buildings along Forest Park Avenue but retains a contemporary feel.



HOTEL DESIGN PROPOSED IN 2007

Given the existing context, the staff had only one major comment: the proposed stone veneer at the first story. The rendering shows it as having a fairly rustic appearance, unsuited to the urban character of the area. The owner has stated that he is willing to consider another option for the stone.

The staff has concerns about the still very preliminary character of the submission, given that once the demolition application is approved, the Cultural Resources Office will not review the subsequent building permit.



COMMUNITY CONSULTATION:

The staff has not received any comments from the Alderman. Daniel Krasnoff, Executive Director of the 17th Ward Park Central Development Corporation has submitted a letter stating the Corporation's support of the demolition of the existing building for the proposed development.

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the demolition but instruct the Cultural Resources Office to withhold approval of the demolition permit application until the building permit for the hotel as currently presented, is issued.

CONTACT:

Jan Cameron Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 201
Fax: 314-259-3406
E-Mail: CameronJ@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 Cultural Resources Department

H.

DATE: September 27, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Preliminary Review: construct one-story addition and redesign existing historic storefront
ADDRESS: 4651 Maryland Avenue
JURISDICTION: Central West End Local Historic District — Ward: 28

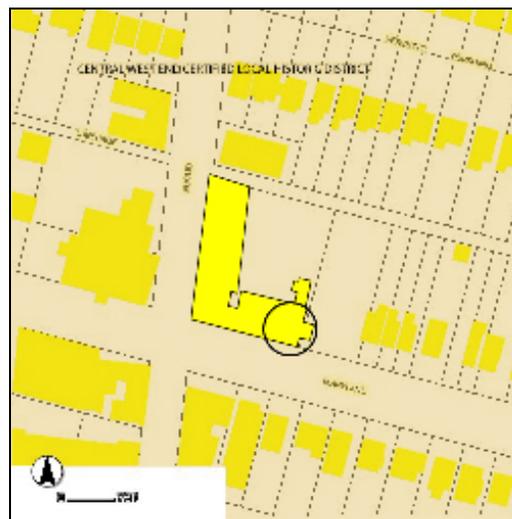


4651 MARYLAND AVENUE

Owner:
 Newcastle Industries, Inc.

Architect:
 Michael Schwartz/Blackline

Staff Recommendation:
 The Cultural Resources Office staff recommends that the Preservation Board grant approval to the construction of the addition as proposed, but withhold approval of the proposed storefront alterations.





PROJECT SITE

BACKGROUND:

The Cultural Resources Office met with the architect for the project on 9/3/2010 to discuss the construction of a new one-story addition, to replace an existing addition dating from the 1970s. While the staff agreed that the addition was appropriate in scale, design and materials, the owner also wished to alter the existing historic storefront; the staff felt that the alterations were not in compliance with the historic district standards, so the project was scheduled for a preliminary review before the Preservation Board.

SITE AND SURROUNDING AREA

4651 Maryland Avenue is part of a large two-story commercial building at the corner of Maryland and North Euclid, in the heart of the Central West End. This area is one of the most active and vibrant commercial districts in the city. Adjacent buildings to the west and opposite are similar multi-story commercial properties, all constructed in the early 20th century and exhibiting elaborate architectural detail. All are well-maintained and most are contributing resources to the historic district.

The first story of the building contains commercial operations and restaurants of various sizes along both street fronts. 4651 is located at the southeast corner of the building, and an ornate recessed entry, includes two storefronts with separate entries, and a one-story sunroom addition, constructed sometime in the 1970s. Directly adjacent is a public parking lot.

REASONS FOR APPLICATION:

The Cultural Resources Office has determined that the proposed new addition will comply with the requirements of the Central West End Standards.



EXISTING ONE-STORY ADDITION



UNALTERED STOREFRONT ON WEST

However, the owner wishes also to make alterations to the existing storefronts, removing the secondary entries.



EXISTING STOREFRONT



PROPOSED STOREFRONT

RELEVANT LEGISLATION:

Excerpt from Ordinance #56768, the Central West End Local Historic District:

COMMERCIAL (Proposed "F" and "H")

D. USE

A building or premises shall be utilized only for the uses permitted in the zoning district within which the building or premises is located, except that none of the following shall be permitted:

Drive-in Restaurants

Service Stations

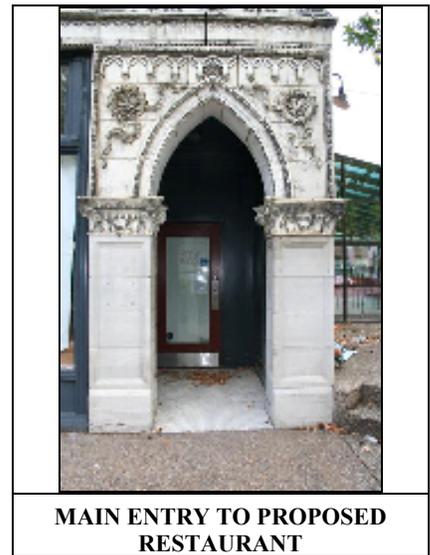
Complies.

E. STRUCTURES

Height

New buildings must be constructed within 15 percent of the average height of existing commercial buildings on the block. In no case shall a commercial structure of less than two stories be permissible.

Not Applicable. The proposed addition replaces an existing one-story addition.



MAIN ENTRY TO PROPOSED RESTAURANT

Location

New or moved commercial structures shall be positioned on the lot to enhance the character of the commercial location.

Not Applicable.

Exterior Materials

In the Central West End brick masonry, stone masonry or stucco are dominant with terra cotta and wood used for trim and other architectural features. All new building materials shall be compatible in type and texture with the dominant materials of adjacent buildings. Artificial masonry such as "Permastone" is not permitted. A submission of all building material samples including mortar shall be required prior to approval.



FRONT ELEVATION SHOWING PROPOSED ADDITION

Complies. The addition will be brick, concrete and metal. New wood storefronts will replicate the details of the existing wood storefronts.

Details

Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, similar details salvaged from other buildings may be substituted. Both new and replacement window and doorframes shall be limited to wood or color finished aluminum. Raw or unfinished aluminum is not accepted. Awnings of canvas only are acceptable.

Does not comply. The proposal will remove two existing recessed entries and replace them with storefront windows at the building line.



**PHOTOS SUBMITTED BY ARCHITECT TO SUPPORT PROPOSED STOREFRONT ALTERATIONS
note that storefront on left (4757 Maryland) has been altered; storefront at right (306 N Euclid) is original**

Roof Shapes

When there is a strong dominant roof shape in a block, any proposed new construction

or alteration should be viewed with respect to its compatibility with the existing adjacent buildings.

Complies. The roof of the addition is flat, as are those of the majority of the commercial structures in the district.

Roof Materials

Roof materials shall be slate, tile, copper or asphalt shingles where the roof is visible from the street. Brightly colored asphalt shingles are not appropriate.

Not Applicable.

Walls, Fences and Enclosures

Walls and fences form an important part of the overall streetscape. These should be of brick, stone or stucco, wood, wrought iron or evergreen hedge when visible from the street, as is consistent with existing dominant materials. Concrete walls are also acceptable when part of the overall building design.

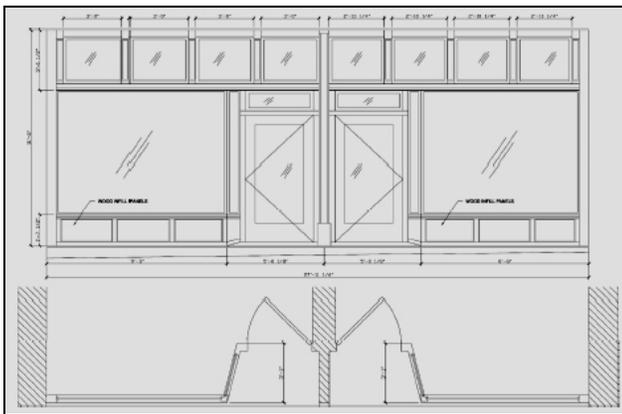
Complies. No new fencing or walls are proposed at this time. An existing knee wall of the patio in front of the addition will be retained.



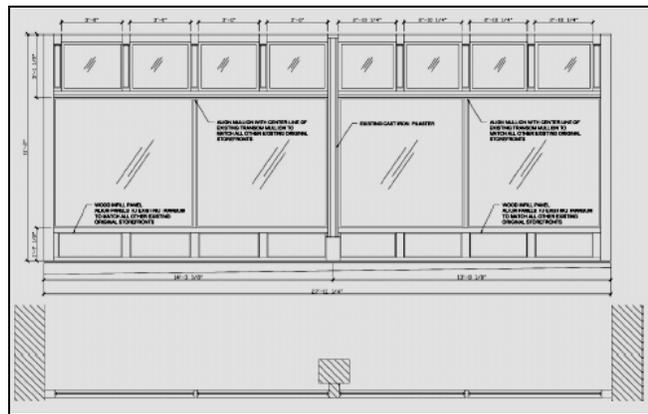
EXISTING PATIO AND RETAINING WALL TO REMAIN

COMMUNITY CONSULTATION:

The Cultural Resources Office has not received any comments on the project from the Alderman. The CWE Planning & Development Committee has reviewed the design of the addition and the storefront alterations and are in support of the current proposal.



EXISTING STOREFRONT



PROPOSED STOREFRONT ALTERATIONS



EXAMPLES OF THE VARIETY OF STOREFRONT DESIGNS ON THE BUILDING

COMMENTS :

The Central West End Historic District Standards require that existing architectural details shall be maintained. The architect contends that because the openings had been somewhat altered previously, they should be allowed to remove the recessed entries and doors and reconstruct the bays in a single plane. This would be beneficial for the new owner as he would gain additional interior space, and there would be no confusion over the main entry. The Cultural Resources Office staff suggested that some sort of temporary device, such as planter or railing, could solve the latter issue.



DETAIL OF EXISTING STOREFRONT ENTRIES

The staff inspected the building carefully; some storefronts like Culpepper's in the southwest corner, have been somewhat altered. Most are fairly intact and display wood pilasters, cast-iron columns and other elegant detailing. The storefronts at 4651 have received some alteration: it appears at one time, the entries were similar to those at 314 and 316 N. Euclid, on the west side of the building (see photos below). The center cast-iron post is original although obscured by a modern downspout.

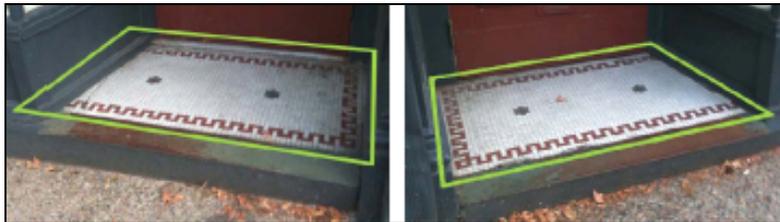


DETAIL OF CAST-IRON POST



SIMILAR PAIRED ENTRIES ON WEST ELEVATION WITH ORIGINAL SHOP WINDOWS, DOORS AND SIDELIGHTS

It appears that at some time the sidelights were removed in order to extend the shop windows. The tile thresholds were also altered, and probably relaid, at the same time.



ALTERED THRESHOLDS



EXAMPLE OF INTACT THRESHOLD

The architect has suggested replicating the details of the original shop windows elsewhere on the building. He also indicated that the tenant may be amenable to an agreement to return the bays to their existing condition if and when they vacated the building. Such an agreement would be impossible for the Cultural Resources Office to enforce.

The staff feels that even though some alterations have occurred in the past, the removal of the recessed entries would be detrimental to the appearance of the building and contrary to the Central West End Standards.



DETAIL OF EXISTING STOREFRONT ENTRIES



CULPEPPER'S WEST ELEVATION WITH ORIGINAL ENTRY AND STOREFRONTS



CULPEPPER'S SOUTH ELEVATION WITH ALTERED STOREFRONTS

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant approval to the construction of the addition as proposed, but withhold approval of the proposed storefront alterations.

CONTACT:

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E-Mail: CameronJ@stlouiscity.com



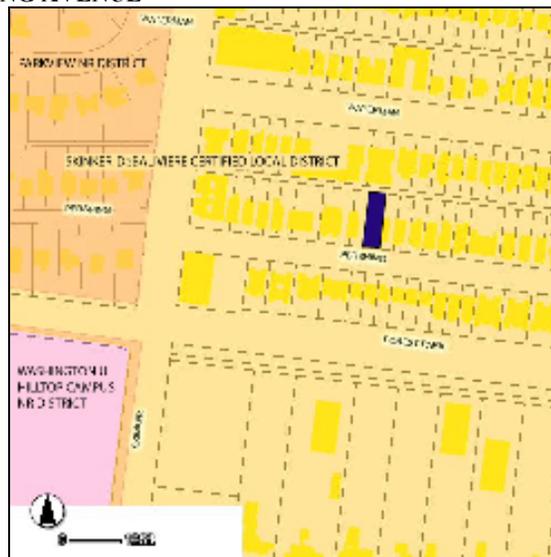
CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 Cultural Resources Department

I.

DATE: September 27, 2010
FROM: Jan Cameron, Cultural Resources Office
SUBJECT: Preliminary Review: new single-family construction on a vacant lot
ADDRESS: 6153 Pershing Avenue
JURISDICTION: Skinker-DeBaliviere Local Historic District — Ward: 28



6153 PERSHING AVENUE



Owner:
 Christiane Anders Carlsson

Architect:
 Paul Hohmann/E+U Architecture

Staff Recommendation:
 That approval be granted with the condition that the Cultural Resources Office staff approve final drawings, details, finishes and exterior materials.

BACKGROUND:

The Cultural Resources Office received a preliminary application for the construction of a two-story single-family house on 9/10/2010.

The staff determined that the application generally met the criteria of the Skinker-DeBaliviere Historic District Standards and scheduled the project for Preservation Board review.

SITE AND SURROUNDING AREA

6153 Pershing is a narrow vacant lot in a residential street with dense architectural fabric. Properties range from 2 or 2½ -story single-families to two-families, three-families and larger multi-family buildings. All were constructed in the early part of the 20th century and display various elements of the Craftsman architectural style. All are well-maintained and contributing resources to the historic district.

Directly adjacent to the site on the east are several two-family buildings that display false mansards with dormers; to the west is a larger 2 ½ -story single-family with front-facing half-timbered gable roof.



PROPERTIES ADJACENT TO THE EAST



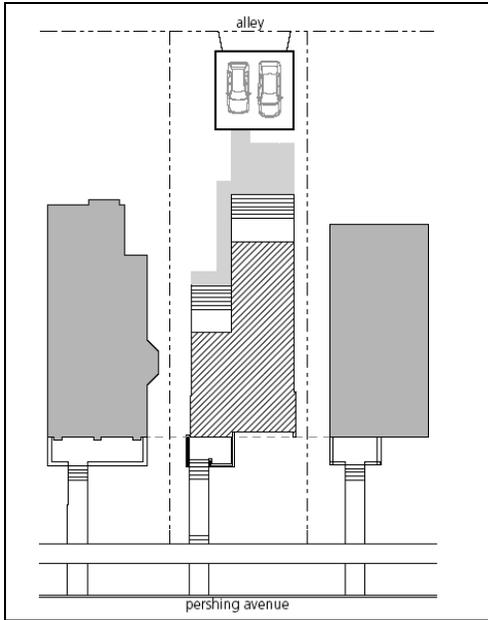
PROPERTIES ADJACENT TO THE WEST



CONTEXT OF SINGLE-FAMILY HOUSES OPPOSITE SITE

REASONS FOR APPLICATION:

The owner wishes to obtain preliminary approval of the design before completing construction drawings.



SITE PLAN



FRONT ELEVATION

RELEVANT LEGISLATION:

Excerpt from Ordinance #57688, Skinker-DeBaliviere Local Historic District:

RESIDENTIAL APPEARANCE STANDARDS
(Proposed "A," "B" and "C" Zoning Districts)

1. *Use: A building or premises shall be used only for the uses permitted in the zoning district within which the building or premises is located; The Historic District Review Committee must be notified of any proposed zoning changes within the Historic District. Use of property in Parkview and in the Catlin Tract, private subdivisions, shall additionally be governed by restrictions specified in their Trust Indentures and other legal agreements.*

Complies.

2. *Structures: New Construction or alterations to existing structures. All designs for new construction, or for major alterations to the front of the house or premises that require a building permit must be approved by the Landmarks and Urban Design Commission, as well as by the existing approving agencies as required by City Ordinances. Standards that do not require building permits serve as guidelines within the district.*

a. *Height:*

New buildings or altered existing buildings, including all appurtenances, must be constructed to within 15% of the average height or existing residential buildings on the block.

Complies. The height of the front parapet is within 15% of the height of the cornice line of the adjacent buildings.



WEST ELEVATION

b. *Location, Spacing and Setback:*

New or moved structures shall be positioned on their lots so that any existing rhythm of recurrent building masses to spaces is continued. Existing building lines shall be strictly maintained, with no portion of any building (excepting any open porch, open veranda, open stone platform, or open balcony) to be constructed beyond the existing building line. Aforesaid open porches or platforms shall not extend beyond the existing front porch line on the block. Existing front porches must remain porches; however, they may be screened.

Complies. The building will maintain the existing building line of the street. The front porches which are characteristic of other single-family houses on the street is simulated by a projecting entry vestibule of similar scale and materials.

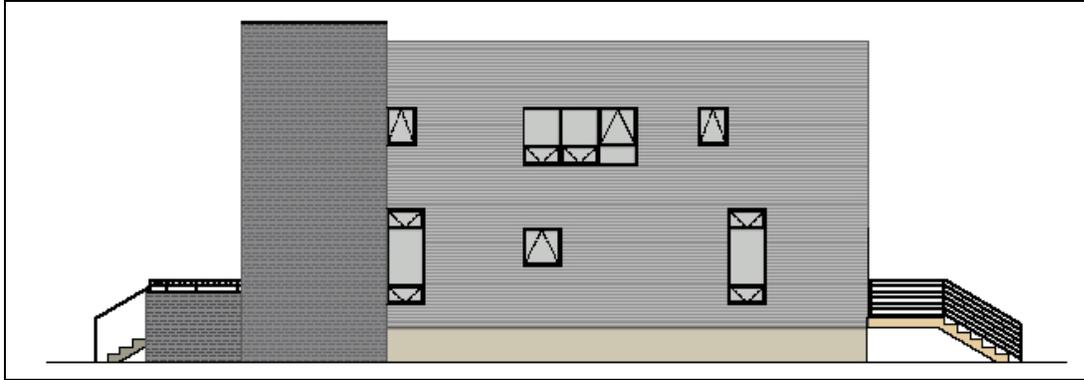


PERSHING ELEVATION SHOWING PROPOSED HOUSE IN CONTEXT WITH EXISTING FABRIC

c. *Exterior materials (for permit required work):*

Exterior materials when visible from the street should be of the type originally used when the proposed Historic District area was developed: brick, stone, stucco, wood, and wrought and cast iron. Although artificial siding or facing materials are not, in general, compatible, the Historic District Review Committee may be consulted for a list of current, compatible materials and their costs, for use by property owners wishing to improve their buildings.

Complies. Proposed exterior materials are brick, stucco and metal for handrails that will produce the effect of wrought or cast iron.

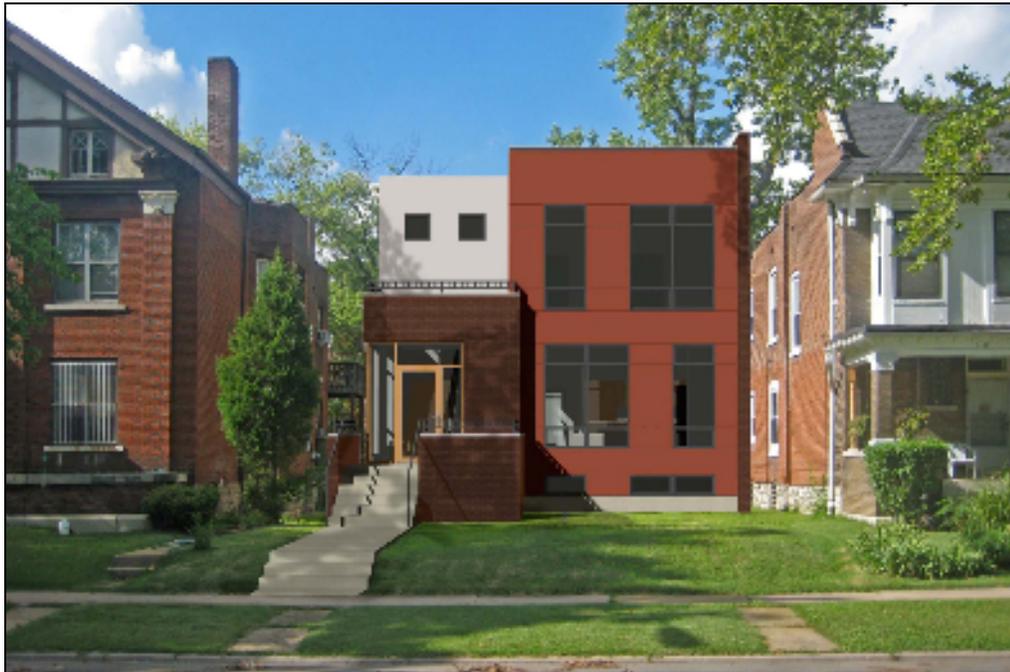


EAST ELEVATION

d. *Details (for permit required work):*

...New buildings should be detailed so as to be compatible with existing buildings, respecting scale, rhythm, window proportions, important cornice lines, use of materials, etc. Complete plans for all proposed new construction or major alterations which require permits must be submitted to the Landmarks and Urban Design Commission for approval.

Partly complies. Although contemporary in design, the building reflects the rhythm of massing of adjacent buildings, including the width of side yards. Openings on the front elevation are similar in proportion other buildings on the block, although they are larger in size relative to the proportions of the façade. While the house does not have a covered entry, as most of the historic buildings do, the effect of an enclosed porch is created by the projecting one-story entry bay, with balcony above. The house does appear to be somewhat smaller in scale than adjacent one- and two family houses, and has only 2 stories, where most others are 2-1/2.



RENDERING WITH PROPOSED HOUSE IN CONTEXT WITH ADJACENT PROPERTIES

e. Roof Shapes:

When there is a strong, dominant roof shape in a block, proposed new construction or alteration should be viewed with respect to its compatibility with existing buildings.

Partly complies. The house will have a flat roof. While many larger, multi-family buildings on the street have flat roofs, most single-families have gabled roofs or decorative false mansards, which create the appearance of a third floor.



EXAMPLES OF THREE-FAMILY BUILDINGS ALONG PERSHING

f. Roof Materials:

Roof materials should be slate, tile, copper, or asphalt shingles where the roof is visible from the street. Incompatible materials are not encouraged. Design of skylights or solar panels, where prominently visible from the street and when requiring a permit, will be reviewed by the Landmarks and Urban Design Commission for their visual compatibility.

Not Applicable.

COMMUNITY CONSULTATION:

The Cultural Resources Office has not received any comments on the project from the Alderman or any neighborhood group.



EXAMPLES OF SMALL MULTI-FAMILIES AT WEST END OF BLOCK WITH ORNATE ROOF LINES



RECENTLY CONSTRUCTED COMMERCIAL/RESIDENTIAL BUILDING AT PERSHING AND SKINKER

COMMENTS :

The Skinker-DeBaliviere Historic District Standards allow the construction of contemporary infill design and the staff feels that the proposed building is successful in replicating the rhythm of the buildings on the block. This block of Pershing Avenue has buildings of varying scales and heights, so that some variation is acceptable. The staff would like to see the windows reduced in height, perhaps with decorative panels below, to bring them closer to the sizes of other windows on the street, and would also like to see some more detailing or perhaps an additional design element at the front parapet line to supplement the building's height.

CONCLUSION:

The Cultural Resources Office staff recommends that the Preservation Board grant approval to the project with the staff's recommended revisions, and with the condition that final drawings, details, finishes and exterior materials be reviewed and approved by the staff.

CONTACT:

Jan Cameron Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 216 Fax: 314-622-3413
E-Mail: CameronJ@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

J.

DATE: September 27, 2010
FROM: Andrea Gagen, Historic Preservation Planner
SUBJECT: New Application to install 12 windows
ADDRESS: 4312 Maryland Ave.
JURISDICTION: Central West End Local Historic District — Ward 18



4312 MARYLAND AVE.



OWNER/APPLICANT:
Elizabeth Howze

RECOMMENDATION:
That the Preservation Board deny the window installation as it does not meet the Central West End Historic District standards.

BACKGROUND:

The owner of 4312 Maryland applied for a permit to replace six (6) front windows and six (6) side windows at the end of August 2010. The property is a condominium and is part of a three (3) building complex. All of the windows on the buildings were altered at some previous point in time. The majority of the front windows appear to be non-historic metal windows with aluminum storms. The owner applied to use non-historic Quaker ERIC windows on five (5) of the front windows and to replace the original roundhead transom with a metal slider window below with a metal roundhead transom and metal slider window. As the original roundhead transom appears to still be in place, the window below was likely either a fixed window or a casement window. The proposed front windows do not meet the Central West End Historic District standards.



ENTIRE BUILDING

SITE AND SURROUNDING AREA:

4312 Maryland is a condo unit within a larger building. There are identical buildings on either side. The building is located on Maryland Ave., between Boyle and Newstead, within the Central West End Historic District.



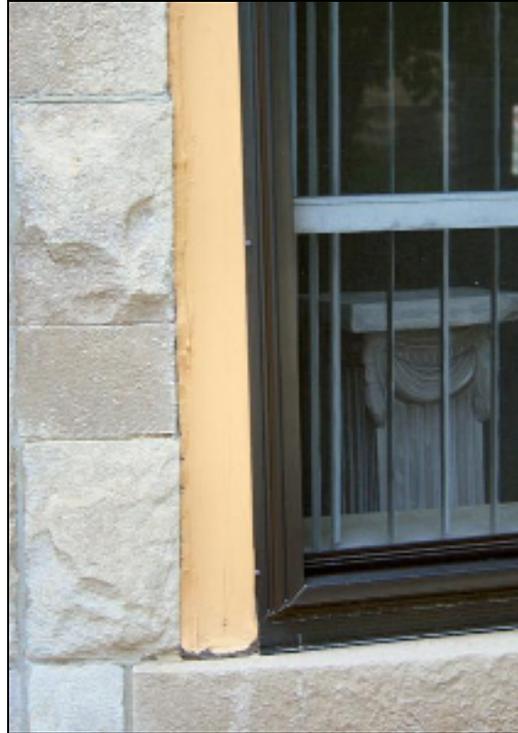
ROUNDHEAD WINDOW WITH EXISTING SLIDER



CLOSE-UP OF ORIGINAL BRICKMOLD ON ROUNDHEAD WINDOW



1ST STORY WINDOW



EXISTING BRICKMOLD ON 1ST STORY WINDOWS

RELEVANT LEGISLATION:

Excerpt from Ordinance #56768, Central West End Historic District

2. STRUCTURES: New Construction or Alterations to existing structures:

D. Details

Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, similar details salvaged from other buildings may be substituted. Both new and replacement window and doorframes shall be limited to wood or color finished aluminum. Raw or unfinished aluminum is not acceptable. Awnings of canvas only are acceptable.

Does not comply. The new windows will not be a similar size and detail to the original windows on the building. The remaining historic brickmold and transom are to be replaced with a non-historic window.

COMMUNITY CONSULTATION:

The Cultural Resources Office has not been contacted by the Alderman or any neighborhood group regarding the project.

COMMENTS:

The Cultural Resources Office requested to the owner that the replacement windows be the historic Quaker ERIC windows instead of the non-historic windows. Although it will result in a somewhat different appearance, it is preferable that non-conforming windows not be installed again. The slider window was not original to the building, and should be replaced with an appropriate window and the original transom should remain. The removal of the original transom would result in the loss of the

only original brickmold on the unit, as there does not appear to be a separate sash that could be removed. The transoms also remain on the other units in the complex. Reinstalling non-conforming windows guarantees that the windows in the building will remain non-conforming, and the removal of the transom not only alters the building's appearance, but results in a loss of what historic material remains.



CONTEXT NORTHWEST



ACROSS STREET



BUILDINGS EAST



BUILDINGS WEST

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board deny the New Application for window replacement as the windows do not meet the Central West End Historic District standards.

CONTACT:

Andrea Gagen Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 216
Fax: 314-622-3413
E-Mail: GagenA@stlouiscity.com



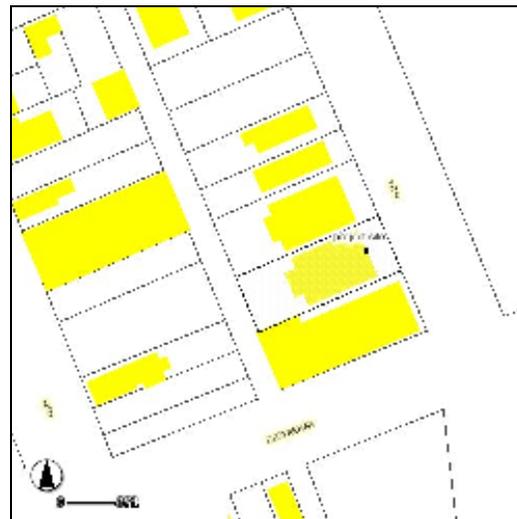
CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

L.

DATE: September 27, 2010
FROM: Andrea Gagen, Preservation Planner
SUBJECT: Appeal of a Staff Denial to retain an altered parapet wall
ADDRESS: 3505-07 N. 11th St.
JURISDICTION: Fox Park Local Historic District — Ward 7



3505-07 N. 11TH



OWNER/APPLICANT:
Jason Larch

RECOMMENDATION:
That the Preservation Board uphold the staff denial as the work does not meet the Hyde Park Historic District standards.

BACKGROUND:

The Cultural Resources Office received a complaint regarding work being done without a permit at 3505-07 N. 11th St. Upon inspection, it was noted that the center parapet wall had been altered. The owner was sent a violation letter, and in response applied for a permit for the work in August 2010. The owner stated that the parapet was leaning and that it would have been cost prohibitive to rebuild it as it was. As the work did not meet the Hyde Park Historic District standards, the permit was denied. The owner has appealed the decision and it is being brought before the Preservation Board.



BUILDING BEFORE PARAPET WORK

SITE AND SURROUNDING AREA:

3505-07 N. 11th St. is located on the eastern edge of the Hyde Park Historic District. The building faces Interstate-70. The block is primarily residential with a corner commercial building.



PARAPET AS CURRENTLY CONSTRUCTED



COMPARISON OF NEW VS. ORIGINAL COPING



CENTRAL PARAPET OF BUILDING TO THE NORTH OF 3505-07

RELEVANT LEGISLATION:

Excerpt from Ordinance #

I. RESIDENTIAL (PROPOSED "B" AND "C" ZONING DISTRICTS)

B. Structures: (New construction or alterations to existing structures)

3. *Exterior Materials.*

The texture and color of basic building materials give continuity to Hyde Park and future construction should utilize these same materials wherever possible. Exterior materials shall be stone, brick (red to match in most cases), stucco, terra cotta, wood, (only on bays, dormers, porches and other architectural features and garages and similar accessory buildings), and concrete (only on foundation walls not facing a street.) Mortar shall be of a color similar to buildings on either side.

Does not comply. Concrete block is not an accepted material.

5. *Details.*

Architectural details on new construction need not imitate details on existing buildings but should always be compatible. Architectural details on existing buildings shall be maintained in a similar size, detail and material. Where they are badly deteriorated, similar details salvaged from other buildings may be substituted.

Does not comply. The original brick parapet wall and molded concrete coping was removed, and was not replicated. A row of contemporary concrete block was added.

COMMUNITY CONSULTATION:

The Cultural Resources Office has not been contacted by the Alderwoman or any neighborhood group regarding the project.

COMMENTS :

The removal of the original center parapet wall has dramatically altered the historic character of the building. The addition of the row of contemporary grey rough-faced concrete block at the top of the current wall, pointed with red mortar, has amplified the problem. The concrete block is also a non-conforming material in the historic district. The curved parapet with its molded concrete coping was one of the main decorative elements on the building, and its loss has damaged the historic integrity of the building.



ACROSS STREET



BUILDINGS SOUTH



BUILDINGS NORTH

CONCLUSION:

The Cultural Resources Office recommends that the Preservation Board uphold the staff denial as the work does not meet the Hyde Park Historic District standards.

CONTACT:

Andrea Gagen Planning and Urban Design, Cultural Resources Office
Telephone: 314-622-3400 x 216
Fax: 314-622-3413
E-Mail: GagenA@stlouiscity.com



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

L.

DATE: September 27, 2010
FROM: Andrea Gagen, Historic Preservation Planner
SUBJECT: Appeal of a staff denial to install new entry
ADDRESS: 1907 Allen
JURISDICTION: McKinley Heights Local Historic District — Ward 7



1907 ALLEN



OWNER/APPLICANT:

Mark M. Reed

RECOMMENDATION:

That the Preservation Board uphold the staff denial of the entry replacement as it does not meet the McKinley Heights Historic District standards.

BACKGROUND:

The owner applied for a permit to change the entry from the existing two recessed doors to one door flush within the opening in July 2010. A number of photographs were later submitted as Model Examples for the Tudor-style door and sidelights, but they did not meet the requirements set out in the historic district standards. Also at issue was the fact that the building currently has two angled, recessed doors and that according to the 1902 building permit was built as flats. The owner wishes to change the two doors to a single door since the interior has been converted to a single family and the current configuration has resulted in an access issue between the 1st and 2nd stories. While the owner wants to change the two doors to one, he is willing to work with staff to come up with an appropriate door. The permit was administratively denied, and the owner appealed the decision. The matter is now being brought before the Preservation Board.



EXISTING ENTRY

SITE AND SURROUNDING AREA:

1907 Allen is located east of Mississippi on a primarily residential street. The building is located in the McKinley Heights Local Historic District.



TRANSOMS & CEILING OF RECESSED ENTRY



FLOOR & STEPS OF ENTRY



PROPOSED DOOR SET WITHIN BUILDING

RELEVANT LEGISLATION:

Excerpt from Ordinance #67901, McKinley Heights Local Historic District

204 Doors: *Doors are an integral part of a building's Public Facade. Primary entrance doors are one of the strongest first impressions of a building.*

- 1) *Doors shall be one of the following:*
 - a) *The original wood door restored;*
 - b) *A new wood door that replicates the original; or*
 - c) *Based on a Model Example.*

Does not comply. Proposed entry door does not replicate the existing doors and an appropriate Model Example has not been supplied.

- 2) *The following types of doors are prohibited:*
 - a) *Flush, hollow-core doors with or without applied moldings~*
 - b) *Flush doors of any material.*
 - c) *Indoor stock doors N/A*
- 3) *Doors shall have one of the following finishes:*
 - a) *Paint*
 - b) *When hardwood, a natural finish.*

Complies.

4) *When more than one primary entrance door exists, all primary entrance doors must be identical and of the same color*

Not Applicable.

5) *Stormer Doors: Stormer doors shall not be replaced with any other type of enclosure. N/A*

6) *Hardware: New hardware shall be of a style, type, and material historically appropriate for the door.*

Not Applicable. Hardware has not been chosen.

7) *Placement: Setting doors forward or back from their original line of placement is prohibited.*

Does not comply. The new entry is proposed to be set forward within the brick opening.

8) *Abandoned Doors:*

a) *Doors that are to be abandoned at the inside on a Public Facade*

i) *Shall be closed with a door that replicates the original door or that of a Model Example set in the existing frame. The doorframe and sub-sill shall be maintained.*

Does not comply. One of the front doors is proposed to be eliminated entirely.

COMMENTS :

Based on the original 1902 building permit and the 1909 Sanborn map, the Cultural Resources Office believes that the building original was a two-family structure, as it was labeled as “flats” in both documents. The building was altered in 1922, but it is unclear what those changes entailed. The current front doors themselves have been altered or replaced at some point. The changed from two doors to a single door, and the lost of the recessed entry would be a major alteration, and would change the historic character of this building. The staff will continue to work with the owner to arrive at a solution to his access problem, while also being sensitive to the historic character of the building.



CONTEXT LOOKING SOUTHEAST



ACROSS STREET



BUILDINGS WEST



BUILDINGS EAST

COMMUNITY CONSULTATION:

The Alderwoman has been working with the staff and the owner of the building to bring about a resolution to this issue. The neighborhood association is aware of the project.

CONCLUSION:

That the Preservation Board uphold the staff denial of the entry replacement as it does not meet the McKinley Heights Historic District standards.

CONTACT:

Andrea Gagen	Planning and Urban Design, Cultural Resources Office
Telephone:	314-622-3400 x 216
Fax:	314-622-3413
E-Mail:	GagenA@stlouiscity.com