



A.

Proposed Compatible New Construction Policy

This agenda item follows the Report on a Compatible New Construction Policy presented at the February 22, 2016 Preservation Board meeting.

The proposed policy is an expansion of the report, converting it into a policy. Additions to the report include a Use of the Policy section and Appendix I, which is a categorization of existing historic district standards regarding new construction and recommendation for applicability of the proposed policy.

The Draft Policy has been made available as a separate document.

RECOMMENDATION:

The Cultural Resources Office Director's recommendation is to hold a Public Hearing on the proposed policy at the April 25, 2016 Preservation Board meeting.



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

B.

DATE: March 28, 2016
 ADDRESS: 230 N. Kingshighway Boulevard
 ITEM: Preliminary Review: Exterior alterations to 27th Floor Penthouse
 JURISDICTION: Central West End Certified Local Historic District — Ward 28
 STAFF: Jan Cameron, Cultural Resources Office

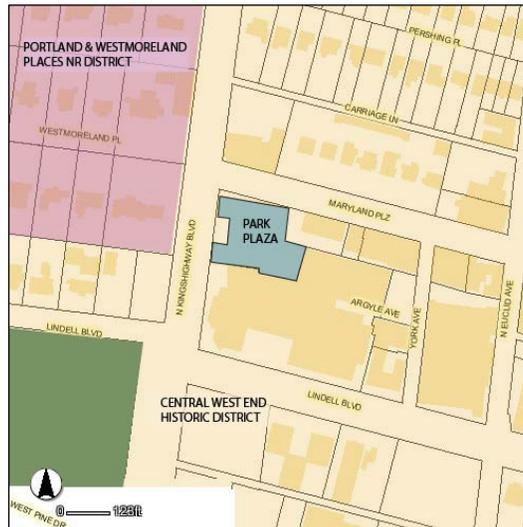


PARK PLAZA — 230 N. KINGSHIGHWAY

OWNER:
 Dr. Mike Noble

APPLICANT:
 Gary R. Tetley
 Mainline Group Architecture, Inc.

RECOMMENDATION:
 That the Preservation Board grant preliminary approval for the alterations to the north and south additions, and to dismantle and reinstall existing window bays, but recommends the Board withhold approval of the proposed alterations to windows on the east facade.



THE PROPOSAL:

The applicant proposes to renovate the penthouse of the Park Plaza at 230 N. Kingshighway, located in the Central West End Local Historic District. The 1929 Art Deco building was designed by Schopp & Bauman. Proposed exterior alterations include installation of large sliding glass doors and supplemental railings on two earlier terrace additions and the repair of existing window bays added to the west façade. These alterations date from c. 1960. The project also includes a proposal to alter four original openings on the north elevation in a manner similar to those of the west façade.

RELEVANT LEGISLATION:

Excerpt from Central West End Historic District Ordinance #69423:

I. Introduction

The primary objective of the Central West End Historic District is to maintain the distinctive character, quality of construction and individual architectural integrity of structures within the historic district. In pursuit of this objective, these standards embrace as their fundamental or underlying guiding principle the concept that original or historically significant materials and architectural features of the buildings within the historic district shall be maintained and repaired whenever possible rather than replaced.

While there is neither one prevalent architectural style nor a dominant building material, there is a sense of scale, richness of detail and quality of construction that creates an overall image within this historic district. Historic architectural features and materials shall be retained. Where severe deterioration requires replacement, the new shall match the old in design, color, texture and other visual qualities. A Cultural Resources Office permit is required for any exterior change to a property even though that work may not require a Building Permit. No permit is need for the installation of art.

Each structure shall be recognized as a physical record of its time and place. Alterations that have acquired architectural significance over time shall be retained. Alterations and new construction which create a false sense of historical development, such as adding conjectural features or inappropriate decorative elements, shall not be undertaken. Further, new construction shall be differentiated from the old, but shall be compatible in size, scale, setback and proportion to existing, adjacent structures.

Partly complies. The project includes dismantling the six existing bay enclosures on the west façade that were added c. 1960. The deteriorated concrete sills will be repaired, the bays reglazed and then reassembled in the same configuration. To install the bays, the original window openings were altered in size and the projecting bases hollowed out to accommodate the bay structures. Therefore, it is not possible to return the openings to their original appearance.

III. RESIDENTIAL AND INSTITUTIONAL DESIGN STANDARDS

Alterations to Existing Structures:

Repairs and Rehabilitation to Historic Residential and Institutional Buildings

On historic residential and institutional buildings, original architectural elements and decorative details, windows, brackets, friezes, balconies, shutters, historic glass, etc., provide texture that is an important feature of the historic district. In an effort to retain this texture, substitution of historic materials is discouraged. Wherever possible, element should be repaired rather than replaced. The Cultural Resource Office should be contacted for professional advice. The addition or removal of

decorative elements, e.g., window pediments, bracketed hoods over doors, door surrounds, etc., normally is prohibited unless addition or replacement would return the building to its original design. Proposed exceptions shall be subject to review of design suitability and approval by the Cultural Resources Office staff....

Does not comply. The project proposes to remove four decorative windows on the east elevation and to construct in their place narrow projecting glazed bays in similar form and materials to the six projecting bays on the west facade that were added c. 1960.

B. Architectural Elements

Original or historically significant architectural features shall be maintained and repaired rather than replaced. Architectural elements on existing structures shall be maintained in their original size, proportion, detailing and material(s). No historic architectural detail or trim shall be obscured, covered or sheathed with material of any kind. It is understood, however, that historically correct awnings, storm sash or shutters may partially obscure some details when viewed from certain angles. (See paragraph B.5.)

Does not comply. Four windows of the east façade will be removed, the openings altered and projecting window bays installed which are similar in design to the enclosures added to the west facade.

1) Windows

The windows in historic buildings in the historic district include two broad categories that shall be considered in different ways:

- a) Special Windows. These windows are character-defining features of historic buildings and are usually found on a street-facing façade. They may be quite large, muntins, or an unusual configuration of muntins: a fanlight window is an example. Special windows might have leaded glass, colored or “art glass,” or curved glass. Due to the importance of these windows in the character of the historic building, and the difficulty in replicating these windows, they shall be preserved through in-kind repair and maintenance. Enhanced thermal efficiency shall be achieved with the use of caulking, glazing compound, weather-stripping and/or interior or exterior storm sash compatible in design and color with the existing fenestration. If Special Windows must be replaced, property owners shall obtain custom-made replicas in order to preserve the character of the windows....

The large multi-light windows of the east elevation are considered to be Special Windows. While some sashes have been replaced, the openings retain their original configuration, including the decorative fanlights. On this façade (and the front as well) the decorative projections below the windows were not intended to be accessed as balconies and the original openings were glazed with paired multi-light doublehung windows.

PRELIMINARY FINDINGS AND CONCLUSION:

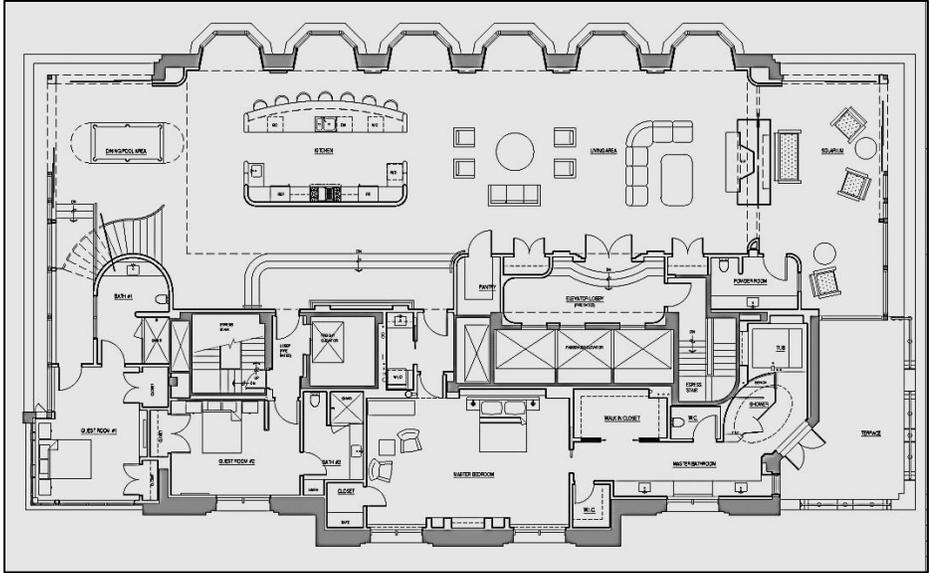
The Cultural Resources Office consideration of the criteria for rehabilitation in the Central West End Historic District Standards led to these preliminary findings:

- The Park Plaza is located in the Central West End Local Historic District.
- The penthouse occupies the entire 27th floor. About 1960, glass additions were constructed over the original northwest and southwest terraces, and six window bays on the west façade were altered and enclosed.
- The north and south additions are inconsistent with the Park Plaza’s Art Deco design. Replacing the lower portions of the additions with a larger expanse of glass is acceptable, as the additions’ visual mass and their effect upon the building will be reduced.
- Supplemental railings to be mounted behind the decorative parapets will have little visual effect upon the building.
- The original openings of the west façade have been greatly altered and cannot be returned to their original condition.
- The four large decorative windows of the east elevation are Special Windows and therefore removal of the sash and the enclosure of the center openings is in violation to the Standards.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the alterations proposed for the existing terrace additions and to the repair of the existing western window bays, but recommends the Board withhold approval for the alterations proposed for the Special Windows of the east façade, as that work is not in compliance with the Central West End Standards.



**CURRENT WEST ELEVATION SHOWING NORTH AND SOUTH ADDITIONS
AND PROJECTING ENCLOSURE BAYS**



**MAIN FLOOR PLAN SHOWING EXISTING BAY WINDOWS AND PROPOSED GLASS DOORS
THE TWO EAST WINDOWS TO BE ALTERED ARE CENTERED AT BOTTOM (PROPOSED ALTERATIONS NOT SHOWN)**



RENDERING WITH PROPOSED GLASS DOORS — NOTE A PORTION OF EXISTING BAY WINDOW IS SHOWN AT RIGHT)



WESTERN BAYS FROM INTERIOR



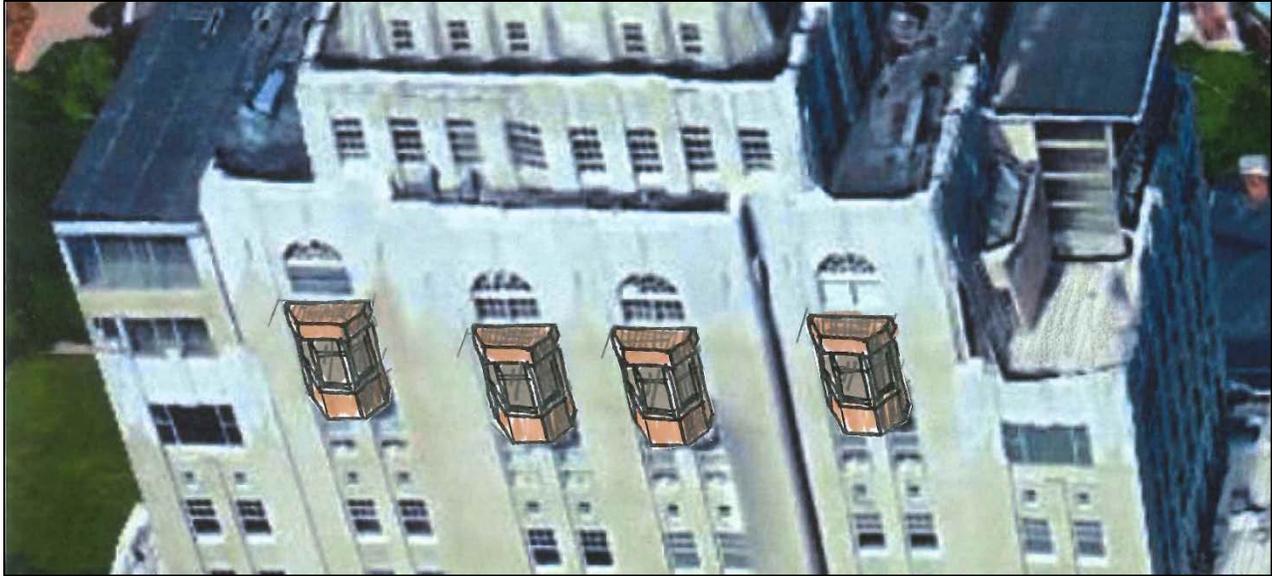
DRAWING OF ORIGINAL WEST FAÇADE PRIOR TO ALTERATIONS



DETAIL OF POSTCARD FROM 1969 SHOWING ALTERATIONS ALREADY IN PLACE



27th FLOOR DETAIL SHOWING SPECIAL WINDOWS



PROPOSED ALTERATIONS TO EAST WINDOWS



EAST FAÇADE AS SEEN FROM MARYLAND AVENUE



CITY OF ST. LOUIS
**PLANNING & URBAN
 DESIGN AGENCY**
 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

D.

DATE: March 28, 2016
 ADDRESS: 4615 Pershing Place
 ITEM: Appeal of the Director’s denial to move front stairs, construct knee walls and place pavers in the front yard
 JURISDICTION: Central West End Local Historic District — Ward 28
 STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



4615 PERSHING PLACE



OWNER/APPLICANT:
 William Forsyth

RECOMMENDATION:
 That the Preservation Board uphold the Director’s denial, as proposal does not comply with the Central West End Historic District Standards.

THE CURRENT WORK:

After the Preservation Board denied the owner's application for the installation of a new retaining wall on this property, he applied for a building permit to reposition the front stairs from their original position in the slope of the yard toward the street and construct decorative flanking knee walls in front of the building at 4615 Pershing Place. The application also calls for covering 124 square feet of the front yard with landscaping pavers. The Standards do not support the work applied for and so was denied. The owner has appealed the denial.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Central West End Historic District:

I. Introduction

Each structure shall be recognized as a physical record of its time and place. Alterations that have acquired architectural significance over time shall be retained. Alterations and new construction which create a false sense of historical development, such as adding conjectural features or inappropriate decorative elements, shall not be undertaken. Further, new construction shall be differentiated from the old, but shall be compatible in size, scale, setback and proportion to existing, adjacent structures.

Does not comply. The repositioning of the steps would be an alteration of a feature that appears to be in the most logical location to accommodate the grade change in the on-premises sidewalk, and therefore historic. Maintaining the steps in their current location avoids the alteration of a character-defining feature of the historic front yard landscape.

The moving of the front steps and the construction of the two decorative knee walls introduces conjectural features onto the site. Adding conjectural features is discouraged as to not introduce elements that might appear to be historic, but were not original to the site, into the public portion of a property. The proposed knee walls, which have design elements drawn from the building, would be sited adjacent to the public sidewalk and will be highly visible.

C. Paving and Ground Cover Materials

Where there is a predominant use of a particular ground cover or paving material, any new or added material should be compatible with the existing streetscape. Crushed rock is not acceptable for paving or as a replacement material for lawns or vegetative ground cover. Asphalt is not an acceptable material for walkways or for driveways when visible from the sidewalk or street. Brick paving, when used, should be installed with a compacted or constructed base and with materials and techniques that will provide a stable, firm and slip-resistant surface suitable as an accessible route.

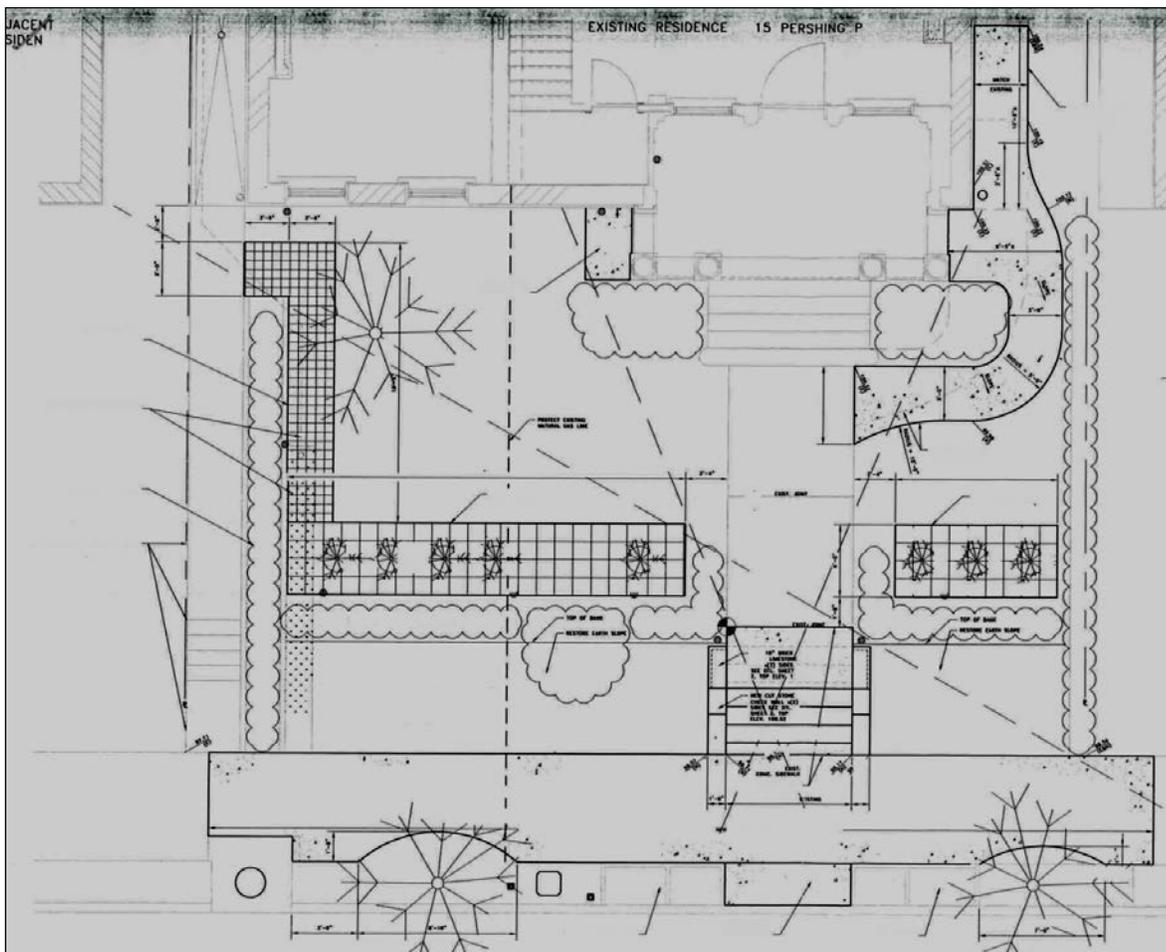
Does not comply. The majority of the houses on the block do not have the front yards covered in part by pavers but are lawns or covered in other forms of plantings. The extent to which this paving would be visible from the street, once the landscaping plan is completed, is undetermined. But the introduction of extensive paving is not a predominant use.

PRELIMINARY FINDINGS AND CONCLUSION:

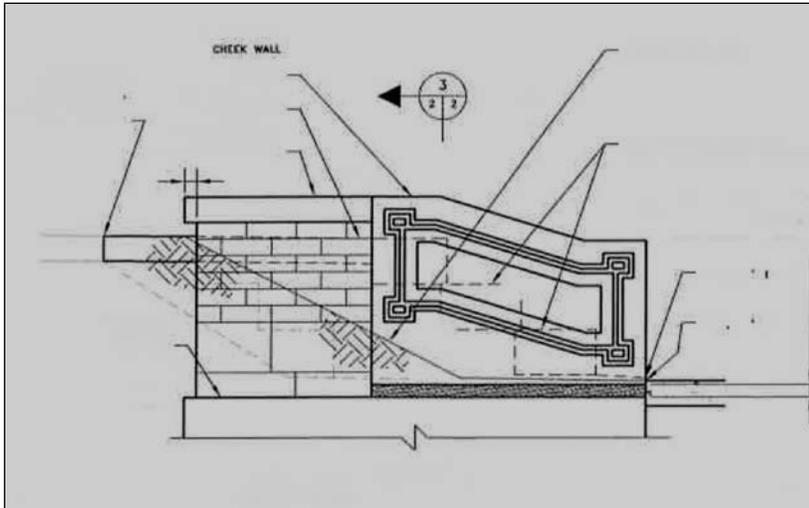
The Cultural Resources Office’s consideration of the Central West End Historic District standards and the specific criteria for landscaping on a visible facade led to these preliminary findings.

- 4615 Pershing Place is located in the Central West End Local Historic District.
- The standards do not allow for the alteration of historic features and the installation of new conjectural features like the decorative knee walls.
- The front steps are proposed to be moved forward from their original location in the historic slope in the yard to accommodate the new decorative knee walls.
- The standards state that, when there is a predominant ground cover, proposed new material should be compatible. The introduction of two types of pavers in addition to concrete walks, which would be over 124 square feet of the front yard does not meet the Standards.

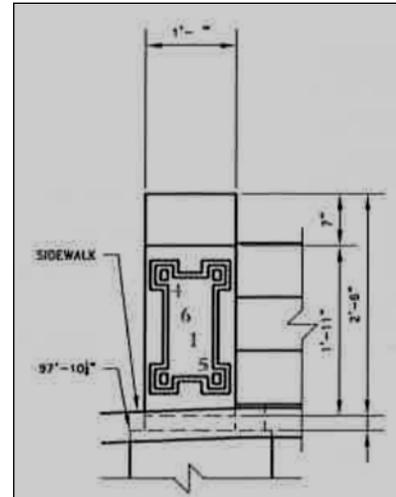
Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director’s denial of the application as it does not comply with the Central West End Local Historic District standards.



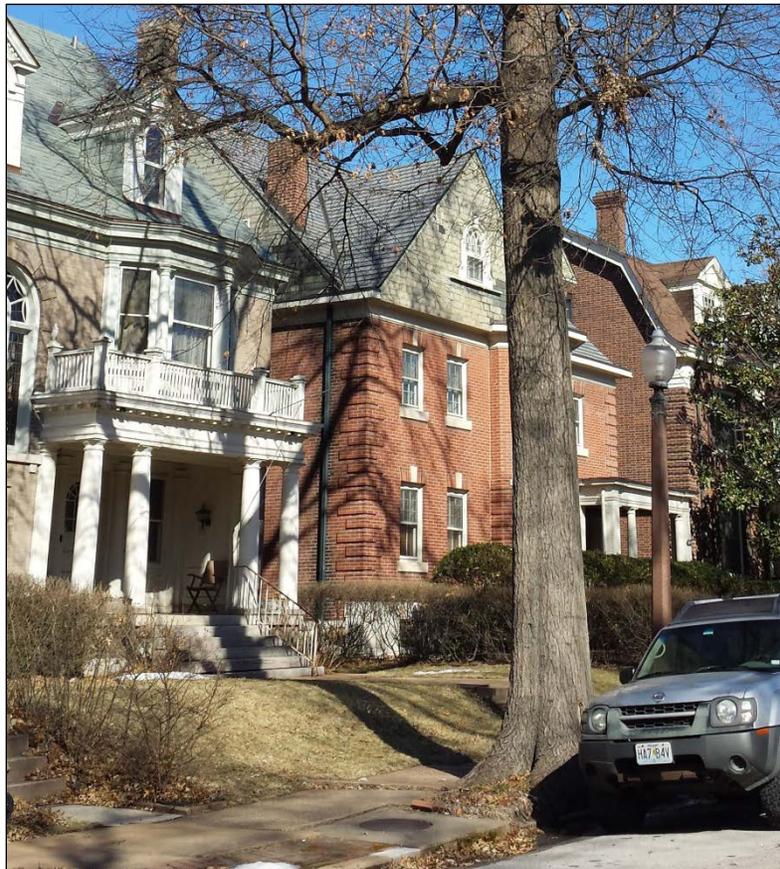
PROPOSED WALL SITE PLAN



SIDE ELEVATION



KNEE WALL DETAIL



SITE PRIOR TO ALTERATION OF FRONT SLOPE



CITY OF ST. LOUIS
**PLANNING & URBAN
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 CULTURAL RESOURCES OFFICE
 FRANCIS G. SLAY, Mayor

E.

DATE: March 28, 2016
 ADDRESS: 2800 McNair Avenue
 ITEM: Appeal of Director’s to replace window with door on a Public Facade
 JURISDICTION: Benton Park Local Historic District — Ward 9
 STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



2800 MCNAIR AVENUE

OWNER/APPLICANT:
 Gary and Diane Lindsay

RECOMMENDATION:
 That the Preservation Board uphold the Director’s denial, as installation of the door does not comply with the Benton Park Historic District Standards, unless there is a significant reason for creating the new entrance that justifies the proposed change.



THE CURRENT WORK:

The owner has applied for a building permit application to replace a window with a door on the Lynch Street side of the building at 2800 McNair Avenue. The Lynch Street elevation is a Public Facade. As replacing a window with a door on a Public Façade is not allowed under the historic district standards, the permit application was denied. The owner has appealed the decision.

RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

ARTICLE 2: EXISTING BUILDINGS

6. New Window Openings are Prohibited in a Public Facade except as required by City Health and Safety Codes.

1. No new window openings shall be created in a Public Facade.
2. No existing window opening in a Public Facade shall be altered in length or width.

Does not comply. The existing window opening would be lengthened.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Benton Park District standards and the specific criteria for architectural details led to these preliminary findings.

- 2800 McNair is located in the Benton Park Local Historic District.
- The Lynch Street elevation of the building is a Public Facade.
- The proposed replacement of a window with a door and transom, does not meet the historic district standards as it would lengthen the window opening.
- Nevertheless, the design of the new entrance is appropriate for the building and may be justified as a site-specific means to afford separate access to a part of the property.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application to replace the window with a door as it does not comply with the Benton Park Local Historic District standards, unless it finds a site-specific justification for the new entrance.



CURRENT LYNCH STREET ELEVATION



PROPOSED LYNCH STREET ELEVATION



WINDOW PROPOSED FOR CHANGE TO DOOR



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

F.

DATE: March 28, 2016
ADDRESS: 4531 McPherson Avenue
ITEM: Appeal of the Director's denial to retain retaining walls constructed without a permit
JURISDICTION: Central West End Local Historic District — Ward 28
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



4531 MCPHERSON AVENUE

OWNER/APPLICANT:
Kennedy Veal LLC

RECOMMENDATION:
That the Preservation Board uphold the Director's denial, as the retaining walls do not comply with the Central West End Historic District Standards.



THE CURRENT WORK:

The applicant has applied for a building permit to retain two concrete block retaining walls in front of the building at 4531 McPherson Avenue; construction was completed without a permit. The application was denied as the retaining walls do not meet the Central West End historic district standards. The owner has appealed the denial.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Central West End Historic District:

B. Landscaping

If there is a predominance of a particular feature, type or quality of landscape design, any new landscaping shall be compatible when considering mass and continuity. In particular, original or historic earth terraces shall be preserved and shall not be altered or interrupted by the introduction of retaining walls, landscape ties, architectural or landscaping concrete block, etc. Wherever such retaining walls have compromised historic terraces, the removal of the walls and restoration of the historic terraces is encouraged. Where appropriate, tree lawns shall be preserved or restored.

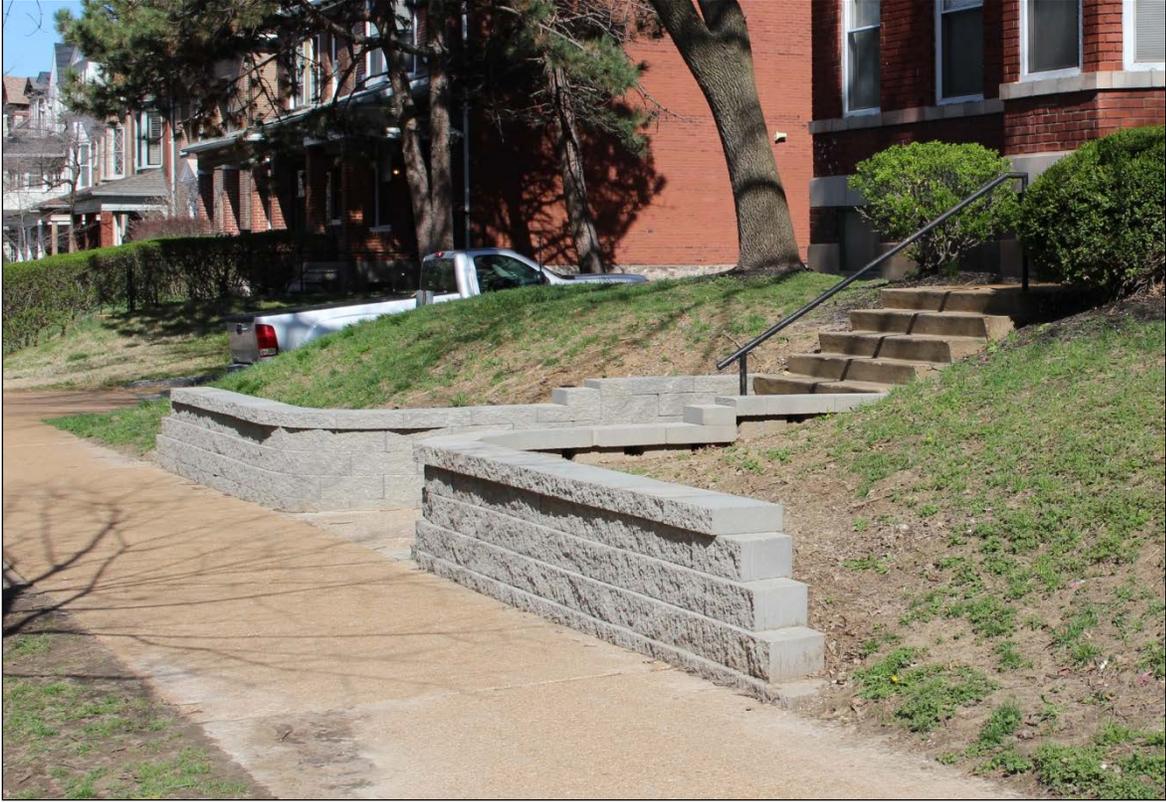
Does not comply. The original terrace has been altered and a new concrete block retaining wall has been installed. Both the new retaining walls and the material are prohibited under the standards.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Central West End Historic District standards and the specific criteria for landscaping on a visible facade led to these preliminary findings.

- 4531 McPherson Avenue is located in the Central West End Local Historic District.
- The walls were installed without a permit.
- The slope of the front terrace has been altered.
- The walls are highly visible and constructed of decorative concrete block, which is not an acceptable material under the historic district standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Central West End Local Historic District standards.



INSTALLED WALL



LOOKING WEST FROM SITE



LOOKING EAST FROM SITE



SITE FROM MARCH 2015 PRIOR TO WALL INSTALLATION



G.

DATE: March 28, 2016
 ADDRESS: 815 Ann Avenue
 ITEM: Appeal of the Director’s Denial of exterior alterations
 JURISDICTION: Soulard Certified Local Historic District — Ward 7
 STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



815 ANN AVENUE

OWNER/APPLICANT:

815 Ann LLC/Brian Minges

RECOMMENDATION:

That the Preservation Board consider some elements of the project to be justified by the building type and location; and that other elements that have more impact upon the property be denied and brought into compliance with the Standards.



THE CURRENT WORK:

The applicant applied for a permit for interior and exterior alterations to convert a school to a multifamily building. The application calls for the installation of a garage door entrance on the front of the gym addition, facing Ann Avenue. The permit also calls for the bricking in of an opening at the entrance stair wall, installation of a 6-foot wrought iron fence in front of the building line and the removal of a large chimney at the rear of the building. Sufficient details for proposed lighting and replacement windows have not been provided. The permit was denied as the proposed changes do not meet the Soulard Historic District standards. The owner has appealed the denial. The item was deferred by the Preservation Board in February, as there was no one present at the meeting to represent the owner/applicant.

RELEVANT LEGISLATION:

Excerpt from Ordinance #62382, the Soulard Historic District:

201.9 Roofing Accessories

Chimneys:

Existing chimneys shall be retained.

Chimneys not in use may be capped, but in no case is a chimney to be altered in dimension, including height.

Reconstructed chimneys shall duplicate the original or be based upon a Model Example.

Does not comply. The large rear chimney that is visible from 7th Street has been removed down to roof level and capped. Work was done without an approved permit.

203.1 Windows at Public Facades

Windows in Public Facades shall be one of the following:

The existing window repaired and retained.

A replacement window which duplicates the original and meets the following requirements;

Replacement windows or sashes shall be made of wood or finished aluminum.

The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.

The number of lights, their arrangement and proportion shall match the original or be based on a Model Example.

The method of opening shall be the same as the original with the following except double-hung windows may be changed to single-hung.

Reconstructed windows and sashes in a Public Facade shall be based on the following;

An adjacent existing window in the same facade which is original; or

If all windows on a facade are being replaced then they shall be based on a Model Example or the window detailed in Figure S.

Glass Types at a Public Facade

Glass in historic windows on a Public Facade shall be one of the following:

Clear glass or other original glazing;

Glass based on a Model Example; or

Insulated glass with its exterior face set 3/8" back from the exterior face of the sash.

The following glass types are prohibited in Public Facades:

Tinted glass;

Reflective glass;

Glass block; and

Plastic (plexiglass) except Lexan or an equivalent.

Abandoned Windows in a Public Facade

Windows which are to be abandoned on the interior shall be infilled by closing them with wooden shutters set 1-2" back from the face of the wall with the window opening left intact including the frame, sash, sub-sill and lintel.

Does not comply. The window elevations provided seem to be appropriate; however, no section drawings with installation details have been provided. Due to this lack of information, the windows cannot be evaluated for compliance with the Standards.

In addition the grate-covered opening at the front of the entrance stair wall was closed with a masonry closure, not shutters as required by the standards. This work was also done without an approved permit.

204.4 Vehicular Doors

Comment: There are a number of historic vehicular entrances within the Soulard Historic District Today, these entrances may still retain their original use or may have been converted to other uses.

The structural opening of an original vehicular door may be changed to accommodate entry of an automobile.

Vehicular Doors

Vehicular doors shall be of one of the following types;

The original door or a duplicate of the original door;

A door based on a Model Example;

A door constructed of car siding (tongue & groove; 2 3/4" x 5/8"); or

Flush or raised panel doors constructed of steel, wood or aluminum. Steel or aluminum doors must be painted. Wood may be stained or painted.

Does not comply. The Standards do not provide for the installation of new vehicular doors on Public Facades, only the alteration or replacement of original openings.

Although the gymnasium does not have openings on this elevation, it is designed to have three horizontal sections with brick color and patterning that break up the expanse of the wall. The new vehicular door is proposed to be centered on the front façade of the gymnasium, cutting through the stone band that serves to delineate the horizontal divisions of the façade.

Furthermore, the design of the new opening and its door are not comparable with the quality of the design and level of finish of the gymnasium, making it appear to be an ad-hoc change to the building. This is a component that could be considerably improved with some trim on the opening and a careful selection of the garage door.

207.5 Exterior Lighting

Comment: Light fixtures should be used to accent and highlight historic structures and to provide safety and security. Exterior lighting fixtures are generally not an original element of historic buildings and thus should be as simple and unobtrusive as possible.

Exterior lighting shall not detract from any significant architectural features of a building.

Landscape lighting shall not detract from any architecturally significant features of a building.

Details of the proposed lighting plan have been received and appear to comply with the historic district standards.

403.2 High Fences

High fences are fences taller than 48", but less than 72" in height when measured from the ground.

Comment: Fences higher than 72" are prohibited by City Building Codes.

High fences are restricted to the following locations:

At or behind the building line of a Public Facade.

Private or Semi-Public Facades

High fences shall be one of the following types:

Boards placed vertically (See Figure W), if the structure of the fence will not be visible from the Public Facade.

Lattice of one consistent design, either placed at a 45 or 90 degree angle (See Figure W). The lattice shall be completely within a frame constructed of posts and rails.

Wrought or cast iron.

Stone or brick pillars in combination with one of the above when based on a Model Example.

A reconstructed fence based on a Model Example.

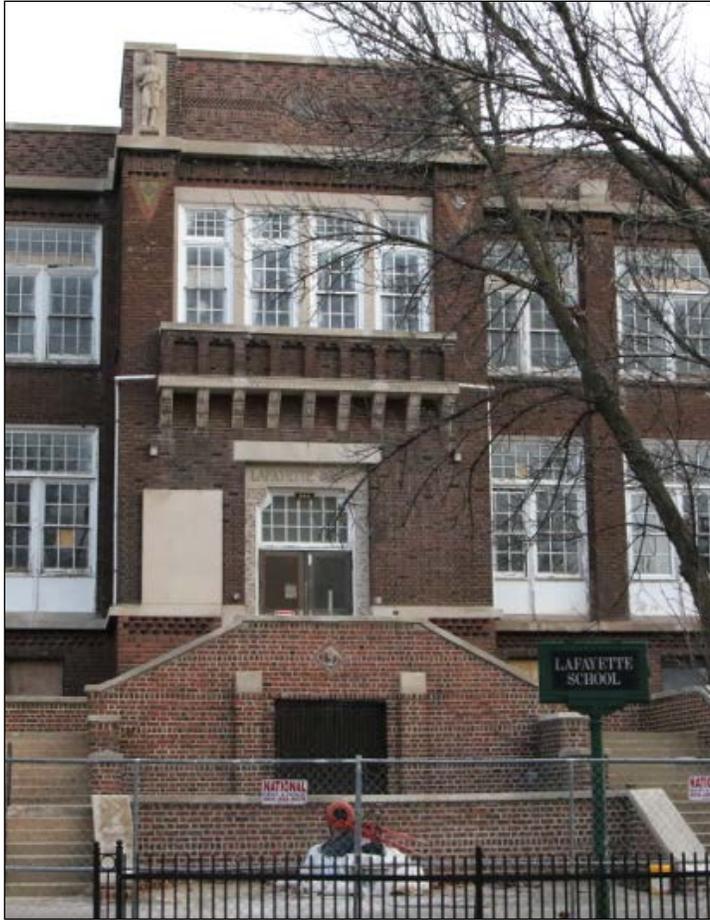
Does not comply. A 6-foot aluminum fence would be installed at the sidewalk line on Ann from the east edge of the main school building to the 7th Street sidewalk, and along the sidewalk on 7th Street. Currently there is a 6-foot chain link fence along 7th Street, but the fencing along Ann in front of the main part of the school is a low fence that meets the standards. The portion of the tall fence in front of the narrow connector and gym would not meet this standard. Nevertheless, much of the taller fence would be enclosing a parking area, and such enclosure has become an acceptable means to provide security.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Soulard Historic District standards and the specific criteria for signs led to these preliminary findings.

- 815 Ann Avenue is located in the Soulard Local Historic District.
- The owner proposes several exterior changes to the building that do not comply with the Soulard Historic District standards that would have a cumulative effect on the integrity of this school property and some of which seem to be preferences rather than functionally driven.
- The vehicular door installation on the Ann Avenue façade of the gymnasium addition would be a substantial alteration to character of the building. In addition, the design for the new opening is not in keeping with the design and level of finish of the gymnasium, and is a component that could be considerably improved.
- The change made to the stair wall opening is quite visible from the street and a solution meeting the standards would be an easily made change.
- A substantial, tall chimney is a standard feature on a school building and its absence is a noticeable change. If this loss is to be accepted as this work has already been completed without a permit, other proposed changes should be limited and more easily reversed changes should be made to be compliant with the district standards.
- The use of tall fencing in front of buildings is not allowed by the standards but may be appropriate to enclose a parking area.
- A lack of details in regard to the proposed windows makes it impossible to evaluate them for compliance with the historic district standards.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board consider some elements of the project, such as the proposed fence and chimney removal, to be justified by the building type and location; and that other elements that have more impact upon the property, such as the main windows, front masonry closure and garage door design, be denied; and that the Cultural Resources Office review and approve changes to bring these elements into compliance with the Standards.



FRONT OF SCHOOL, INCLUDING STAIR WALL OPENING INFILL



CHIMNEY (BEFORE DEMOLITION) AS VIEWED FROM 7TH ST.



DETAIL OF INFILL AT STAIRS



CURRENT VIEW – ANN AVE. GYMNASIUM FACADE WITH PROPOSED DOOR OPENING