

REVISED
WASHINGTON UNIVERSITY MEDICAL CENTER
REDEVELOPMENT CORPORATION
DEVELOPMENT PLAN

Prepared for submission to the St. Louis Community Development Agency and the Board of Alderman of the City of St. Louis in accordance with Chapter 353, Urban Redevelopment Corporations Law of the State of Missouri

Submitted by the

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A. General Project Description

The boundaries of the project area in this Revised Development Plan have not changed from those in our original Development Plan of 1974. The general planning area boundaries are Lindell Boulevard on the north between Kingshighway Boulevard and Boyle Avenue; Boyle Avenue from Lindell Boulevard to Duncan Avenue; Duncan Avenue to Newstead Avenue; Newstead Avenue from Duncan Avenue to Clayton Avenue; Clayton Avenue from Newstead Avenue to Taylor Avenue; Taylor Avenue from Clayton Avenue to Oakland Avenue; Oakland Avenue from Taylor Avenue to Kingshighway Boulevard; and Kingshighway Boulevard from Oakland Avenue to Lindell Boulevard. (See Section B for Legal Description.)

In June, 1974, the City of St. Louis recognized the necessity for revitalization activities in the above-described area by passing the "blighting ordinance," Ordinance 56759. This was followed in February, 1975 by the passage of Ordinance 56908 which constituted the Washington University Medical Center Redevelopment Corporation as the Developer for the area and approved the WUMCRC Development Plan.

During the years of redevelopment under Ordinance 56908, the project area has improved markedly. However much remains to be accomplished regarding the objectives approved by the City in 1975, and some new objectives are also proposed in this Revised Development Plan. Exhibit 3, "Planned Development Actions," shows the revitalization objectives which need to be met during the next 10 years.

The major thrust of the project being undertaken by the Washington University Medical Center Redevelopment Corporation (herein referred to as Developer) is that by utilizing the vehicle of the Missouri Redevelopment Statute, the institutions of the Washington University Medical Center will continue to oversee and participate in a balanced program of both redevelopment and rehabilitation of housing, employment expansion, retail rejuvenation, circulation improvements, landscaping and design control within the project area.

The approach taken by the Developer has been, and will continue to be, to manage change creatively rather than to ignore its inevitability. It is to build on the area's many assets and critical functions rather than allow them to be destroyed through a lack of investment and guidance in the area.

The principal elements of the Revised Development Plan are the Land Use Plan, the Planned Development Actions and the Description of Planned Action. Each of these elements and the current status of development are described below and referred to within subsequent sections of the Development Plan as appropriate:

A(1) DEVELOPMENT STATUS--APRIL, 1985

Since the time of the City of St. Louis' Staff Report (April, 1974) regarding the area's eligibility for "Chapter 353 Designation," considerable progress has been made toward removing and remedying the

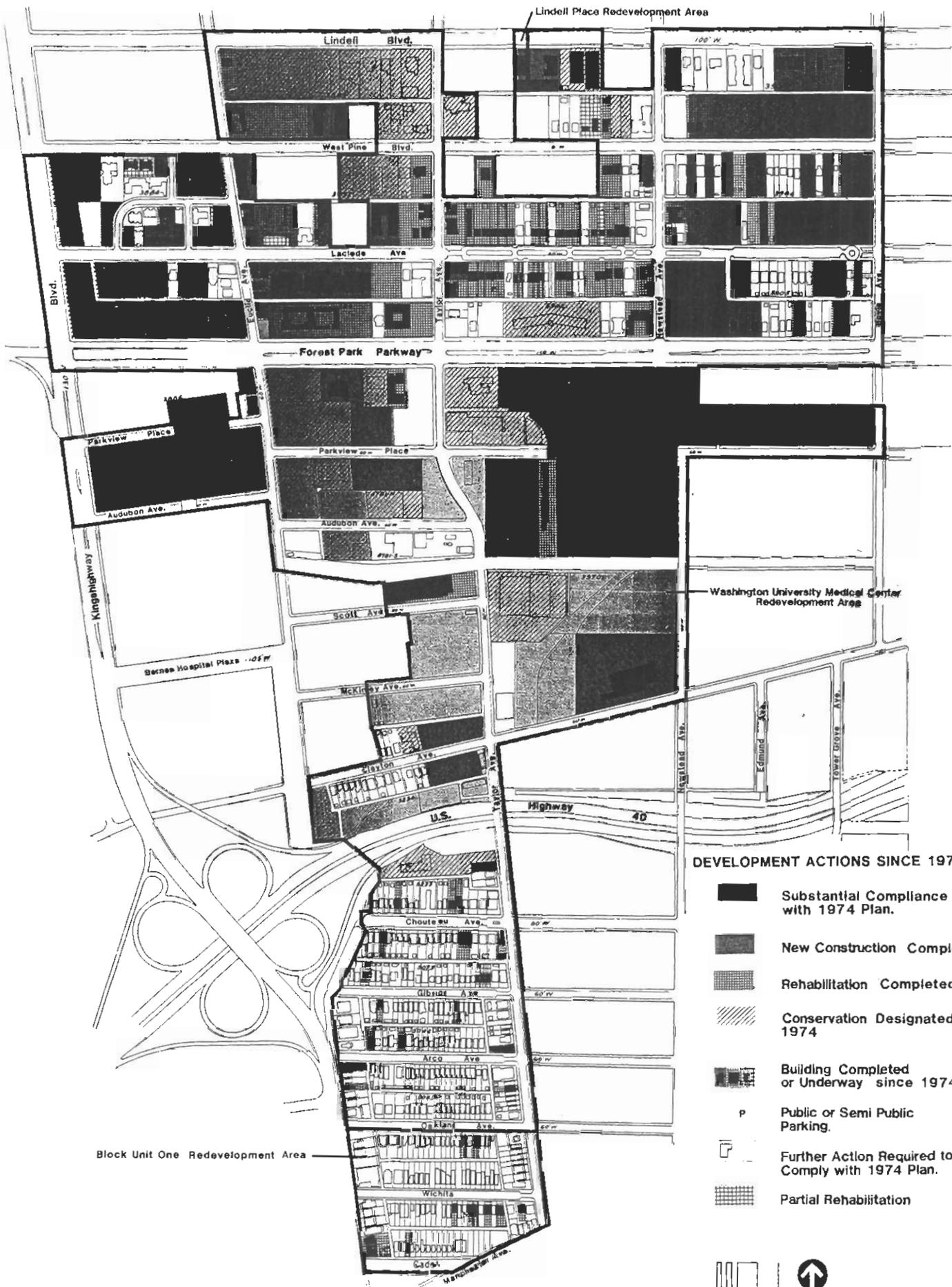


Exhibit 1

REDEVELOPMENT CORPORATION
 OF WASHINGTON UNIVERSITY MEDICAL CENTER

DEVELOPMENT STATUS

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April, 1985

blighting conditions identified at that time. However, continued revitalization activities are required to complete the process begun in 1974 and to insure the ongoing maintenance and sound economic and physical conditions in the area. Progress as of April, 1985 toward the implementation of the 1974 Development Plan is highlighted in Exhibit 1, Development Status. The categories of Development Status are as follows:

New Construction Completed - Property on which new construction has been fully or substantially completed since 1974 in accordance with the 1974 Plan or appropriate amendment.

Rehabilitation Completed - Property occupied by structures which have been fully or substantially rehabilitated and require no further improvements.

Partial Rehabilitation - Property occupied by structures which have been partially rehabilitated but where additional rehabilitation is necessary.

Conservation - Property occupied by buildings in good condition which were designated for conservation in the 1974 Development Plan, which have not undergone significant rehabilitation since that time, and for which the conservation designation would remain valid.

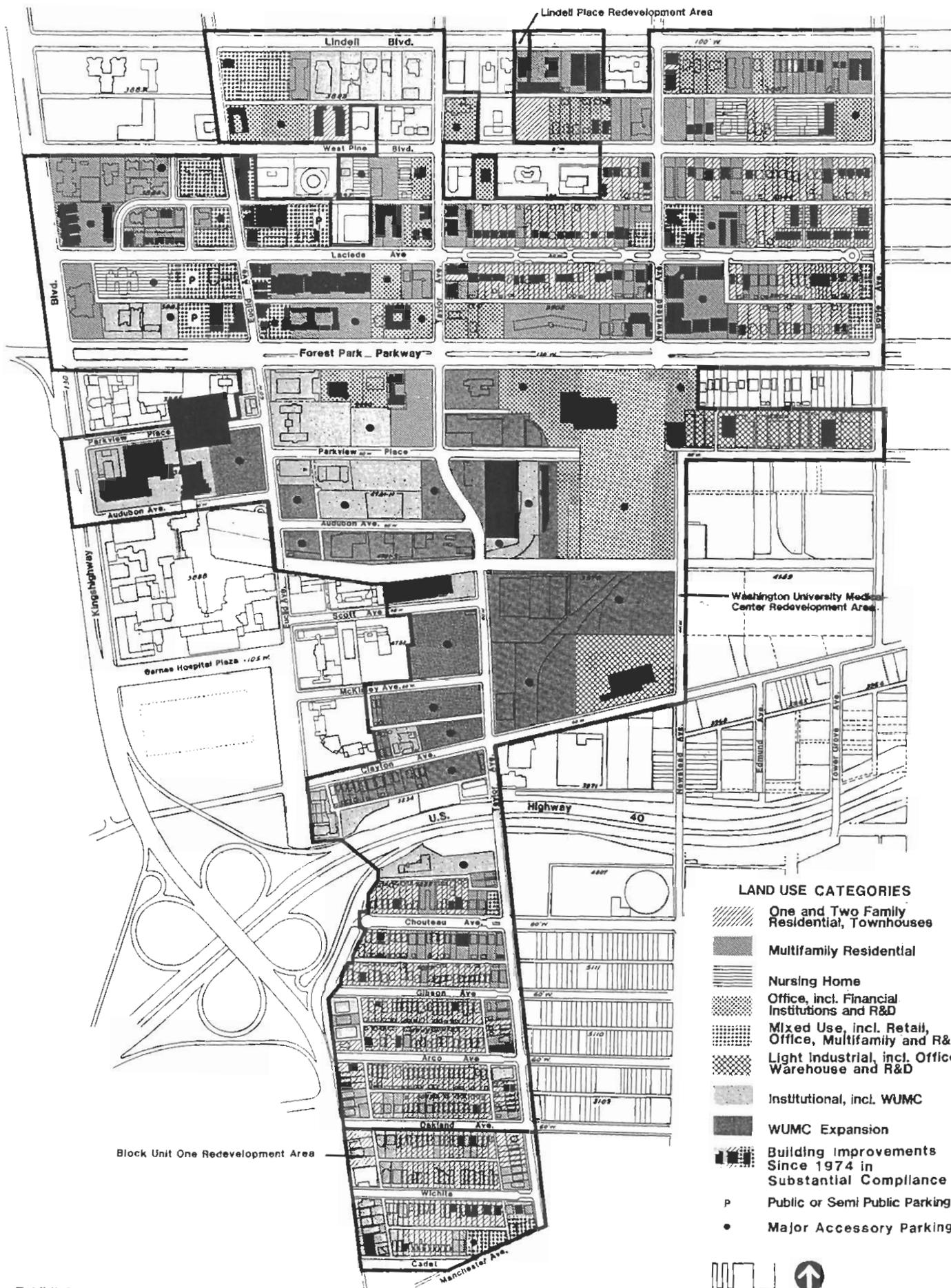
In Exhibit 1, properties colored yellow are in compliance with the 1974 Plan. Properties not colored yellow but which are contained within the red boundary line of the redevelopment area, are not in compliance with the 1974 Plan, either because the action required in the 1974 Plan has not yet been undertaken or substantially completed or has been undertaken without the review and approval of the Developer.

A(2) LAND USE PLAN

The Land Use Plan for the Washington University Medical Center redevelopment area indicates eight categories of primary Land Uses which in turn are related to Exhibit 2, Land Use Plan. These categories of use are not, however intended to be absolute or rigidly adhered to where overriding demands of neighborhood quality dictate that they be set aside. Rather the Land Use Plan should serve to guide the pattern of continued development and provide a basis for avoiding land use conflicts while promoting compatible land use relationships. The type of activity and uses permitted in each Land Use category is described below:

One-, and Two- Family Residential - Single-family, and two-family buildings and townhouses typically housing owner occupants, but not including multi-family condominium apartments. Also included under this category are the few large originally two-family structures on 4300 West Pine and Forest Park Boulevard which may be rehabilitated for up to three units.

Multi-Family Residential - A building with four or more family units designed and managed for rental occupancy or condominium ownership. Residences with fewer units and townhouses are permitted in this land use category.



- LAND USE CATEGORIES**
-  One and Two Family Residential, Townhouses
 -  Multifamily Residential
 -  Nursing Home
 -  Office, incl. Financial Institutions and R&D
 -  Mixed Use, incl. Retail, Office, Multifamily and R&D
 -  Light Industrial, incl. Office, Warehouse and R&D
 -  Institutional, incl. WUMC
 -  WUMC Expansion
 -  Building Improvements Since 1974 in Substantial Compliance
 -  Public or Semi Public Parking
 -  Major Accessory Parking

Exhibit 2

REDEVELOPMENT CORPORATION
 AT WASHINGTON UNIVERSITY MEDICAL CENTER

LAND USE PLAN



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Nursing Home - Facilities provided for the residential care and health care of elderly persons, or physically, developmentally, or emotionally disabled persons, or of those otherwise ill or undergoing recovery from illness but not requiring hospitalization.

Office - General office buildings, financial institutions, medical and professional offices, and research and development activities, but excluding manufacturing, warehouse uses, and retail commercial uses except where those uses are clearly accessory to a permitted primary office use and are provided for in the description of a specific Action Area. Accessory manufacturing, warehouse and retail uses should not occupy more than 20% of the total available floor space and should be oriented to the shopping, service needs, or support of the occupants, customers, clients or patients of the primary office use. Multi-family residential use for either ownership or rental occupancy is an appropriate alternative use where specifically noted in the description of Action Areas.

Mixed Use - Retail commercial, office and multi-family uses including any combination of restaurants, retail stores, hotels, service stations, financial institutions and multi-family residential.

Institutional - Hospitals, churches, and other educational, health-care, fraternal and non-commercial research and development facilities.

Light Industrial - Light manufacturing, warehousing, distribution, office, and commercial or non-commercial research and development facilities specifically approved by the WUMCRC to insure compatibility with surrounding uses and activities by excluding uses and activities which pose any potential nuisance or negative environmental influence for surrounding uses or activities. Excluded also would be all retail commercial or residential uses except those which are clearly incidental and accessory to an approved primary use.

WUMC Expansion - Areas proposed for expansion and use of the Washington University Medical Center. These areas may be developed for any of the uses listed above.

Public or Semi-Public Parking - Areas to be reserved for parking facilities to be available to the general public on a periodic fee basis as well as publicly owned and operated parking facilities.

Major Accessory Parking - General areas to be reserved for parking to support the activities of a primary user or occupant of a site.

A(3) PLANNED DEVELOPMENT ACTIONS

The Revised Development Plan prescribes four types of development action. Each of these types is described below and each property within the Development Plan is defined with one of these types in Exhibit 3.

New Construction - Areas planned primarily for new construction. These areas are so designated based on the current development status of the parcel and of the surrounding property in relation to the objectives of the 1974 Development Plan and to current planning and development strategies

for the area. Included are vacant parcels or parcels with deteriorating structures, currently under-developed property, or property occupied by surface parking deemed non-essential to the support of other uses. The utilization of the power of eminent domain and the granting of tax abatement through WUMC Redevelopment Corporation are applicable to any property proposed for this action.

Rehabilitation - Areas occupied by structures for which rehabilitation is the planned primary action. These areas are so designated based on the potential reuse of existing structures and the development status of surrounding properties in relation to the objectives of the 1974 Development Plan and to current planning and development strategies for the area. Included are buildings planned for rehabilitation in 1974 which are still in need of rehabilitation. The power of eminent domain and the granting of tax abatement through the WUMC Redevelopment Corporation are applicable to any property located in such an Action Area the owner of which has not undertaken, or is not acting in accord with an agreement with the Redevelopment Corporation to undertake the rehabilitation of the property in accordance with the original WUMCRC Development Plan or this Revised WUMCRC Development Plan.

Conservation/Redevelopment - Those areas occupied by buildings which are in essentially sound condition and, if well maintained, could remain without further rehabilitation or new construction. However, this category would afford the flexibility necessary to allow property owners to undertake further rehabilitation or demolition and new construction in response to future development opportunities during the period of this Plan and to receive the benefits of tax abatement in consideration of such improvements.

Conservation - Those areas which are in good enough condition to achieve conformance with this Revised Development Plan and no further action is required or anticipated. Included are most areas designated for Conservation in the 1974 Development Plan as well as areas where rehabilitation or new construction has been successfully completed since 1974 and where no additional major rehabilitation or new construction is anticipated or required.

Non-Compliance Correction - Structures or other improvements which have been designated under this section for Conservation or Conservation/Redevelopment action, or which are or shall be designated as being in compliance with this Revised Plan, but which subsequently are allowed to deteriorate to such a degree during the period of this Plan that substantial improvements in the form of major rehabilitation or new construction are required to reach conformity with all applicable City regulations, with the Minimum Property Standards of the WUMC Redevelopment Corporation and with other applicable provisions of this Plan. In such event, a property shall be deemed in non-compliance with this Revised Plan, and the power of eminent domain, as well as the benefit of tax abatement, shall be available to the Developer to bring about the correction(s) necessary to achieve compliance.

Building Improvements Since 1975 in Substantial Compliance - Specific buildings for which new construction or rehabilitation work has been totally or substantially completed since February, 1975, bringing the property into substantial compliance with the 1974 Plan.

A(4) ACTION AREAS

The segments of the Plan Area within which development action is called for in accordance with this Revised Development Plan have been included within a series of 25 Action Areas. These are defined on Exhibits 2 and 3, "Land Use Plan" and "Planned Development Actions." The scope and extent of the planned Action Areas are described below:

- 1: This Action Area is planned for new construction of rental or ownership multi-family residential units, or townhouses, or alternatively for parking facilities for the adjacent Hawthorne Apartment building.
- 2: Consisting of six large, formerly single-family residences, this Action Area is to be rehabilitated to accommodate professional and business offices, excluding all other forms of commercial use. The transient nature of the present rooming house use of one of these properties is regarded as inappropriate with the stable multi-family residential and office surroundings, and should be succeeded by the proposed rehabilitation of the existing structure for office use. While the preference is clearly toward office use, WUMCRC will consider alternative proposals for one-, two-, three-, or multi-family residential use, evaluating such proposals on a property-to-property basis.
- 3: The Ellsworth Building is to be rehabilitated, retaining its present mixture of multi-family units on the upper floors and retail and office uses on the ground level.
- 4: Ownership or rental multi-family residential units or townhouses are to be developed on this vacant property.
- 5: The six existing structures are to be rehabilitated for occupancy as office and business service, excluding all other forms of commercial use, or for multi-family residential use. This would include rehabilitation of the three large, originally single-family residences, rehabilitation of the two apartment buildings while retaining their current multi-family use, and rehabilitation of the present funeral home for office or residential occupancy. An appropriate alternative action for the funeral home structure would be its conservation and continued use as a mortuary. The vacant lot at the east end of the Action Area should be utilized only as accessory surface parking for uses within this Action Area.
- 6: Continued rehabilitation is planned for the buildings in the Buckingham Court apartment neighborhood. Rehabilitation of the existing parking garage located adjacent to and between the ABC Condominiums on Kingshighway and the apartment building at 4961 Laclede Avenue and construction of a new parking lot on the surface above it are also planned to better serve the residents of adjacent rehabilitated residential buildings.
- 7: Any combination of continued rehabilitation and new construction for a mixture of land uses is planned in order to attain a uniformly high quality in this principal commercial/residential center.

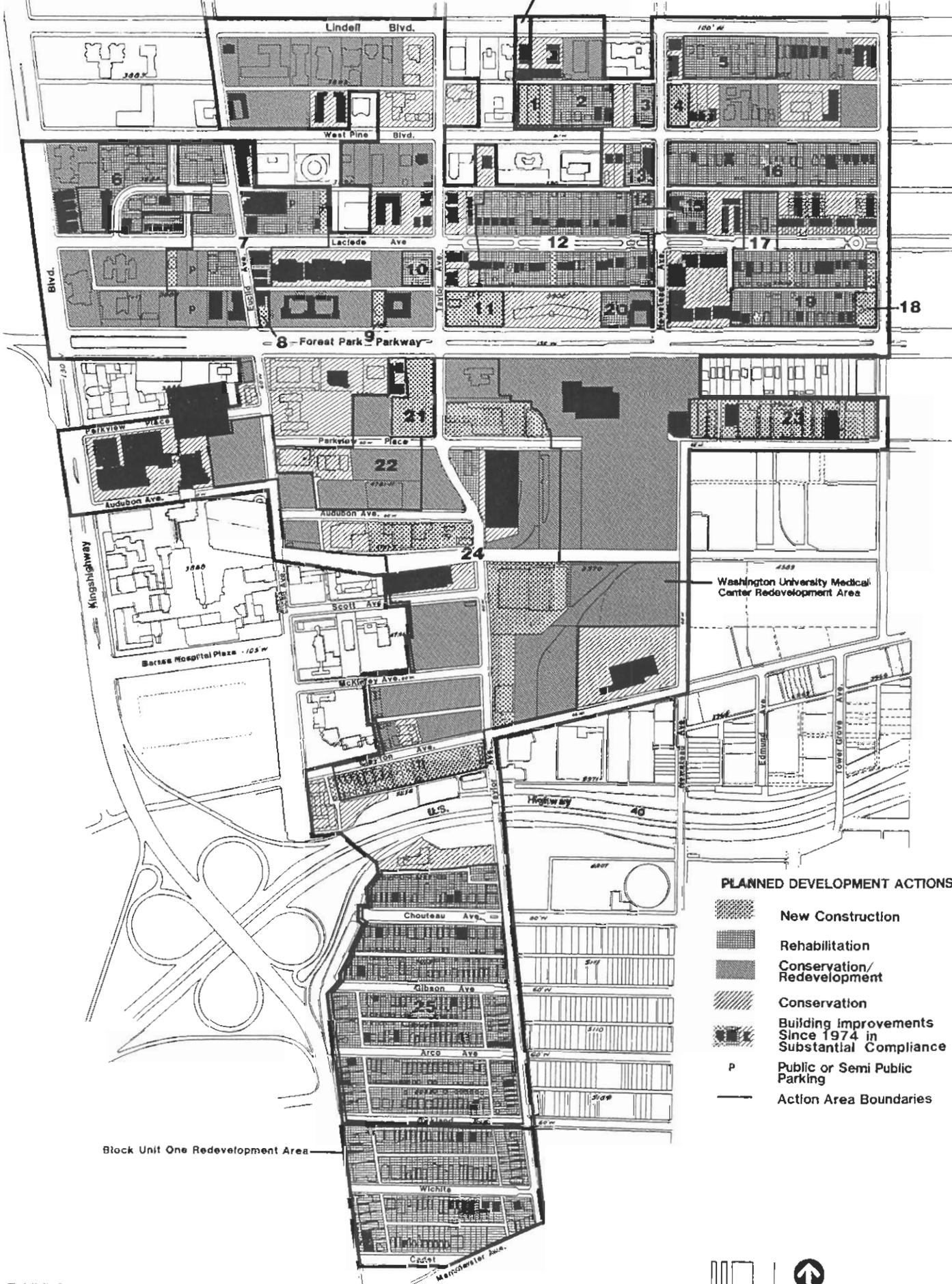


Exhibit 3

PLANNED DEVELOPMENT ACTIONS

- 8: The site should be improved to provide for one or a combination of the following uses: Accessory parking (and outdoor dining for the adjacent bar/restaurant in the event adequate off-street parking is firmly provided); a small, carefully designed and subdued news kiosk selling magazines, newspapers, or books to pedestrians; or street furniture, landscaping, a fountain, sculpture or other amenities to identify and enhance the quality of the redevelopment area environment.
- 9: This property, with either demolition or rehabilitation of the existing structure, should be individually devoted to office use, or should be used for the expansion of the adjacent uses on either side of the property.
- 10: Rehabilitation of the two existing multi-family structures is required to complement the quality of surrounding residential and commercial uses.
- 11: This Action Area is proposed for new construction of retail commercial and/or office and/or financial institution use, or alternatively, for residential use. Any of these uses may be developed singly or in combination on this site. To ensure compatibility of any retail use with the surrounding neighborhood, all of the prohibitions of specific types of commercial use, activities or establishments which are stated in St. Louis City Ordinance 59394 shall remain in full force and effect in this Revised Development Plan.
- 12: Continued rehabilitation of the one-, two-, and four-family residential structures on the north and south sides of the 4400 block of Laclède is planned along with new construction of one residential structure on the vacant lot at 4450 Laclède. The number of units allowable in any structure in this Action Area shall be in conformance with the limitations of the Laclède Place Model Restrictive Agreement, as from time to time amended.
- 13: A combination of new and rehabilitated residential uses is planned, including rehabilitation of the original single-family residences on West Pine and Newstead for one- or two-family occupancy and new construction of ownership or rental multi-family residential units, or townhouses, on the corner parcel.
- 14: Rehabilitation of the existing multi-family structure for multi-family use is planned to include consolidation and improvement of the rear of the adjacent lot #230 to permit access and space for parking for residents of this multi-family building. Acceptable alternative uses of the consolidated properties in this action area would be new construction or rehabilitation as multi-family, office or institutional use and/or accessory parking for other residential and commercial uses in the surrounding area.
- 15: Any combination of rehabilitation of the existing structures or new construction is planned to accommodate a mixture of retail, office and multi-family residential uses in order to attain a uniform quality

and character in this neighborhood business area. Particular care should be given to maintaining a combination of uses which is compatible with the surrounding residential neighborhood.

- 16: Continued rehabilitation of the original single-family structures on the south frontage of the 4300 block of West Pine shall be for single- or two-family occupancy. Those structures originally built as multi-family apartments may be rehabilitated for continued multi-family occupancy, and those built as two-family structures may be rehabilitated for up to three residential units.
- 17: Continued rehabilitation of the original single- and two-family residential structures for single- or two-family occupancy. Those structures originally built as multi-family apartments may be rehabilitated for continued multi-family occupancy not to exceed four units. The precise number of units allowable in any structure within this Action Area shall conform to the limitations of the Amended and Restated Declaration of Covenants and Restrictions for Laclede Place East, as from time to time amended.
- 18: This Action Area is proposed for new construction of office, financial institution and/or residential use in a low- or mid-rise development. The sale of retail goods or services may be included on the ground floor within a new multi-story building provided such retail uses are directly supportive of and accessory to the building's principal office or residential use. Alternatively, the building on the southwest corner of Laclede and Boyle Avenue may be rehabilitated for office and/or residential use, with no other accessory use permitted. And the existing service station may be rehabilitated to continue in the same use by means of a major facade upgrading and a program of sign control and landscaping.
- 19: Continued rehabilitation of the original single-family residential structures for single- or two-family occupancy. Those structures originally built as multi-family apartments may be rehabilitated for continued multi-family occupancy, and those originally built as two family structures may be rehabilitated for up to three units. Alternatively, new construction of office and/or financial institution use in low- to mid-rise structures is proposed provided that such development shall occupy a site consisting of sufficient contiguous existing lots to provide a minimum frontage on Forest Park Boulevard of 250 feet. In a multi-story building, retail goods or services may be sold only if they are directly supportive of and accessory to the building's principal office use, and only on the ground floor. Regarding this new construction alternative, the power of eminent domain shall not be used to assemble properties.
- 20: Continued rehabilitation of the three existing multi-family structures is planned, with an acceptable alternative being the consolidation of the site for new construction for office or multi-family residential uses.

- 21: New construction for low-, mid-, or high-rise multi-family residential use for commercial or medical offices, or for a financial institution is planned. The sale of retail goods or services may be included on the ground floor within a new multi-story building provided such retail uses are directly supportive of and accessory to the building's principal office or residential use.
- 22: Any combination of new construction or rehabilitation is permitted to accomodate growth and change of the institutional facilities for the St. Louis College of Pharmacy.
- 23: New construction or rehabilitation is planned for office, laboratory, research and development, or light industrial uses which involve or foster the growth and development of high technology and scientific enterprises and institutions oriented to the nearby Washington University and St. Louis University Medical Centers.
- 24: Any combination of new construction or rehabilitation and any combination of uses is permitted to accomodate the growth and usage of the insitutions comprising the Washington University Medical Center.
- 25: Continued owner/investor rehabilitation is planned for this Action Area which includes the area south of Highway 40 between Taylor, Oakland and Kingshighway, excluding the Central Institute for the Deaf. This area should generally retain its present residential character and use.

Summary of Proposed Actions. COMPARATIVE OVERVIEW

ACTION AREAS	Revised Plan		Original Plan	
<u>General Location</u>	1985	ACTION AREAS	1974	ACTION AREAS
	No.	<u>Proposed Action</u>	No(s).	<u>Previously Proposed Action</u>
4400 Block of West Pine Blvd.	1	Residential new construction on 3 lots	B-11, B-n	Same, but formerly on 2 lots
4400 Block of West Pine Blvd.	2	Rehabilitation for office use, or (alternate) residential use	B-n	Same, but one of the original lots has been placed in Action Area I
Northwest corner of West Pine and Newstead	3	Rehabilitation of one apartment building	B-h	Same
Northeast corner of West Pine and Newstead	4	Residential new construction on 5 lots	B-9	Same, but original site was 10 lots, 5 of which are now built on
4300 Block of Lindell Blvd.	5	Rehabilitation for existing use	B-k	Same, but now with one less property at western end of B-k, and 5 more at the eastern end
4900 Block of West Pine, Buckingham Ct. and Laclède	6	Residential rehabilitation	A-a	Same, but formerly included 4 additional lots that are now the Chouteau Condominiums and excluded the Ellington Apartments and adjacent garage
Commercial Area Euclid/Laclede/West Pine	7	Large mixed use Action Area calling for both new construction and rehabilitation	A-1, A-b	Same, with a major difference in boundaries
Northeast corner of Euclid and Forest Park Blvd.	8	New construction of accessory parking and possible expansion of existing restaurant if adequate parking is assured	A-1	Formerly proposed for demolition of existing structure and commercial reuse
4527 Forest Park Blvd.	9	Demolition for office use or for expansion of either adjacent use, with the possible alternative of rehabilitation for one of the same purposes	A-1	Formerly proposed only for demolition to make way for commercial development

Summary of Proposed Actions: COMPARATIVE OVERVIEW

ACTION AREAS <u>General Location</u>	Revised Plan 1985 ACTION AREAS		Original Plan 1974 ACTION AREAS Previously Proposed Action	
	<u>No.</u>	<u>Proposed Action</u>	<u>No(s).</u>	<u>Proposed Action</u>
Southwest corner of Laclede and Taylor	10	Residential rehabilitation	A-e	Same, except that A-e included one more structure to the west
Northeast corner of Taylor and Forest Park Blvd.	11	New construction of office, retail, financial institution, or residential use, individu- ally or in any combination	B-2, B-a	Same, with the addi- tion of possible re- tail and/or resi- dential use
Laclede Place (4400 Laclede)	12	Residential rehabilitation	B-b, B-e, B-d	Same, with the mer- ging of the three Action Areas into one under the new Plan
Southwest corner of West Pine and Newstead	13	Residential rehabilitation and new construction	B-3	The new Action Area is about 1/3 the size of B-3 and calls for the same action
Newstead, just south of West Pine	14	Rehabilitation or new construction for resi- dential or office use, with rear of 4409 Laclede to provide accessory parking for the lots facing Newstead	B-3	This portion of B-3 was originally slated for demoli- tion and later amended to provide for rehabilitation of the structures
Three corners of Laclede and Newstead	15	Commercial rehabilitation or new construction allowing mixed use	B-f B-g B-8	Same
4300 Block of West Pine	16	Residential rehabilitation	B-j	Same
4300 Block of Laclede (south side and part of north)	17	Residential rehabilitation	B-7	Same, but now ex- cludes the north side where new con- struction has taken place

Summary of Proposed Actions: COMPARATIVE OVERVIEW

ACTION AREAS	Revised Plan		Original Plan	
	1985	ACTION AREAS	1974	ACTION AREAS
<u>General Location</u>	<u>No.</u>	<u>Proposed Action</u>	<u>No(s).</u>	<u>Previously Proposed Action</u>
Southwest corner of Laclede and Boyle and northwest corner of Forest Park Blvd. and Boyle	18	New construction for office use; alternative of rehabilitation for same use for service station and residential and/or office use for 4300 Laclede	B-7	Original plan called for rehabilitation as the predominant treatment
4300 Block of Forest Park Blvd. (north side)	19	Rehabilitation for residential use or new construction for office use, but precluding the power of eminent domain to bring about the new construction alternative	B-m	Called only for rehabilitation of existing residential structures, with no alternative
4400 Block of Forest Park Blvd.	20	Residential rehabilitation with an alternate of new construction for office or residential use	B-c	Residential rehabilitation
Southwest corner of Taylor and Forest Park Blvd.	21	New construction for residential, office, and/or financial institution use, with possible ancillary retail use	C-1	Residential or mixed use complementary to the Medical Center
4500 Blocks of Parkview and Audubon	22	Any combination of uses or treatments to accommodate the needs of the St. Louis College of Pharmacy	C-1, C-6, C-8	Original Action Areas were geared toward Medical Center expansion and related uses
4300 Block of Duncan, north side	23	New construction and/or rehabilitation for office, laboratory, research and development or light industrial uses		Conservation of existing light industrial uses
Generally east of the Medical Center	24	Any treatment or uses to accommodate the growth and usage of the Medical Center institutions	C-2, C-4, C-8, C-a, C-10, C-b, C-9, D-1, C-3, D-2	Same treatment, but the new Action Area excludes some portions which have been developed and includes two additional properties
4500 Block of Chouteau, Gibson, Arco and Oakland (north side)	25	Residential rehabilitation	E	Same

B. Legal Description of "Blighted" Area

The tract of land in the City of St. Louis, Missouri containing approximately 185 acres, being more specifically described as follows:

Beginning at a point at the intersection of the east line of Boyle Avenue and the north line of Lindell Boulevard, proceeding southwardly along said east line across all intervening streets and alleys to its intersection with the south line of Duncan Avenue, thence westwardly along said south line to its intersection with the east line of Newstead Avenue; thence southwardly along said east line to its intersection with the south line of Clayton Avenue; then southwardly along said south line to its intersection with the east line of Taylor Avenue; thence southwardly along said east line across all intervening streets and alleys to its intersection with the south line of Oakland Avenue; thence westward along said south line of its intersection with the west block line of City Block 5043; thence northwardly along said west block line to its intersection with the south line of Arco Avenue; thence northwardly across Arco Avenue to the intersection of the north line of Arco Avenue and the west block line of City Block 5042; thence northwardly along the west block line of City Block 5042 to its intersection with the south line of Gibson Avenue; thence diagonally across Gibson Avenue to its intersection of the north line of Gibson Avenue with the west block line of City Block 5073; thence northeastwardly along the west block line of City Block 5073 to its intersection with the south line of Chouteau Avenue; thence diagonally across Chouteau Avenue to the intersection of the north line of Chouteau Avenue with the west block line of City Block 5233; thence southwardly along the west line of City Block 5233, which is also the east right-of-way line of the Daniel Boone Expressway, to its intersection with the south line of a 15 foot wide east-west alley in City Block 5233; thence eastwardly along said south alley line to its intersection with the southern projection of the west line of Lot 10 in City Block 5233; thence northwardly along said projection and said west lot line across said 15 foot alley and 48 feet, more or less, further to the intersection of said west lot line of Lot 10 and the southern right-of-way line expressway; thence diagonally northwardly across the Daniel Boone Expressway to the intersection of the north right-of-way line of said expressway and the south line of the 10 foot wide east-west alley in City Block 5234; thence westwardly along said south alley line to its intersection with the east line of Kingshighway; thence along said east line to its intersection with the north line of Clayton Avenue; thence eastwardly along said north line to its intersection with east line of property now or formerly owned by Washington University Medical School in City Block 4783; thence northwardly along said east property line to its intersection with the south line of a 20 foot wide east-west alley in City Block 4783; thence westwardly along said south line to its intersection with the west line of a 20 foot wide north-south alley in City Block 4783; thence northwardly along said west line and its northward projection to its intersection with the north line of McKinley Avenue; thence eastwardly along said north line to its intersection with the west line of a 20 foot wide north-south alley in City Block 4782; thence northwardly along said west line to its intersection with the north line of a 15 foot wide east-west alley in City Block 4782; thence eastwardly along said north line 15 feet, more or less, to its intersection with a property line which bisects Lot 23 in City Block 4782;

thence northwardly along said property line to its intersection with the south line of Scott Avenue; thence westwardly along said south line to its intersection with the southward projection of the property line in City Block 4781S, which separates the property formerly owned by the Great Atlantic and Pacific Tea Company from the Washington University Dental School; thence northwardly along said property line to its intersection with the southern right-of-way line of the Norfolk and Western Railway Company; thence westwardly along said right-of-way line to its intersection with the west line of Euclid Avenue; thence northwardly along said west line to its intersection with the south line of Audubon Avenue; thence westwardly along the said line to its intersection with the west line of Kingshighway; thence northwardly along said west line to its intersection with the westward projection of the north line of Parkview Place; thence eastwardly along said projection and said north line to its intersection with the west line of a 24 foot wide north-south alley in City Block 3886; thence northwardly along said west line to its intersection with the north line of a 16 foot wide east-west alley in City Block 3886; thence eastwardly along said north line to its intersection with the west property line of property now or formerly owned by Frank P. and Dorothy Motherway, and Anthony Motherway; thence northwardly along said west property line to its intersection with the south line of Forest Park Avenue; thence westwardly along said south line to its intersection with the west line of Kingshighway; thence northwardly along said west line to its intersection with the westward projection of the south line of West Pine; thence eastwardly along said south line to its intersection with the east property line of the property in City Block 3892 now or formerly owned by Sarah Levitch; thence southwardly along said east property line to its intersection with the north line of a 20 foot wide east-west alley in City Block 3892; thence eastwardly along said north line to its intersection with the northward projection of the west property line of property now or formerly owned by Laclede House Ltd., Partnership, known as 4531-49 Laclede Avenue; thence southwardly along said east property line to its intersection with the north line of a 20 foot wide east-west alley in City Block 3892; thence westwardly along said north line to its intersection with the east property line of the property now or formerly owned by Circle Properties, Incorporated, known as 4548-64 West Pine Boulevard; thence northwardly along said east property line to its intersection with the south line of West Pine Boulevard; thence eastwardly along said south line to its intersection with the southward projection of the east property line at the Jacob Mark Lashly Branch Library in City Block 3893; thence northwardly along said east property line to its intersection with the south line of a 20 foot wide east-west alley in City Block 3893; thence westwardly along said south line to its intersection with the west property line of the Jacob Mark Lashly Branch Library, known as 4531-37 West Pine Boulevard; thence southwardly along said west property line to its intersection with the north line of West Pine Boulevard, thence westwardly along said north line to its intersection with the west line of Euclid Avenue; thence northwardly along said west line to its intersection with the north line of Lindell Boulevard; thence eastwardly along said north line to its intersection with the east line of Taylor Avenue; thence southwardly along said east line to its intersection with the north line of a 20 foot wide east-west alley in the City Block 3900; thence eastwardly along said north line to its intersection with the northward projection of the east property line of the property now or formerly owned by the Central Medical Service, Incorporated; thence southwardly along the

northern projection of said east property and said east property line to its intersection with the north line of West Pine Boulevard; thence westwardly along said north line to its intersection with the east line of Taylor Avenue; thence southwardly along the east line to its intersection with the north line of a 20 foot wide east-west alley in City Block 3900 3901; thence eastwardly along said north line to its intersection with the west property line of property now or formerly owned by International Institute of St. Louis known as 4484 West Pine Boulevard; thence northwardly along said west property line to its intersection with the south line of West Pine Boulevard; thence eastwardly along said south line to its intersection with the east property line of property known now or formerly owned by International Institute of St. Louis known as 4484 West Pine Boulevard; thence southwardly along said east property line to its intersection with the north line of a 20 foot wide eastwest alley in City Block 3901; thence eastwardly along said north line to its intersection with the east property line of property now or formerly owned by Bim Investment Company, known as 4426-42 West Pine Boulevard; thence northwardly along east property line and its northward projection to its intersection with the north line of West Pine Boulevard; thence westwardly along said north line to its intersection with the east property line of property now or formerly owned by Edmu Realty Company, known as 4465-75 West Pine Boulevard said point being 350 feet, more or less, east of the intersection of the north line of West Pine and the east line of Taylor Avenue; thence northwardly along said east property line to its intersection with the north line of a 20 foot wide eastwest alley in City Block 3900; thence eastwardly along said north line to its intersection with the east property line of property now or formerly owned by the Catholic Women's Association, known as 4472 Lindell Boulevard; thence northwardly along said east property line and its northward projection, across Lindell Boulevard, to its intersection with the north line of Lindell Boulevard; thence eastwardly along said north line to its intersection with the northward projection of the west property line of property now or formerly owned by Towne House, known as 4400-22 Lindell Boulevard; thence southwardly along the northward projection of said west property line to its intersection with the north line of a 20 foot wide alley in City Block 3900; thence eastwardly along said north line to its intersection with the west line of Newstead Avenue; thence northwardly along said west line and its northward projection, to its intersection with the north line of Lindell Boulevard; thence eastwardly along said north line to its intersection with the east line of Boyle Avenue, the point of beginning.

Excluded from the area herein above described shall be:

An area beginning at the northwest corner of Lot number 050 in City Block 3904 and proceeding along the south line of Forest Park Boulevard eastwardly to the center line of Boyle Avenue, then southwardly approximately 200 feet to center line of the alley running east and west parallel to Forest Park Boulevard and Duncan Avenue in City Block 3904, then westwardly along the center line of said alley to the projected intersection of the west line of Lot 050 of City Block 3904 and said center line, then northwardly to the south line of Forest Park Boulevard and the point of origin.

C. Development Staging

The Planned Actions of this Revised Development Plan are proposed to be completed within approximately ten years from the date this Plan goes into effect with two exceptions. These exceptions are:

- (1) The parcels contained in Action Areas 22 and 24 and described under "Action Stage" in Appendix A by "Institutional Expansion;" and
- (2) Properties which, during the course of the 25-year period, come to require the action of Non-Compliance Correction, pursuant to Sections A(3) and E of this Plan.

These two exceptions shall have a period of twenty-five years from the date of the City's approval of this Plan for the completion of their respective actions.

The Revised Development Plan will be effectuated in three stages. The majority of the actions will take place in Stage 1, and most of the balance of actions will occur in Stage 2. Stage 1 actions are to be initiated within approximately five years of the date this Plan takes effect and completed by the end of the tenth year. Stage 2 actions may be initiated at any time during the first ten years and must also be completed therein. Finally, Stage 3, consisting only of Medical Center Expansion and Non-Compliance Correction actions, will begin when this plan takes effect, and end 25 years from that date.

The specific Action Areas included in the three stages are listed below. In addition, each parcel in the redevelopment area for which planned action is designated is listed by block and parcel number in Appendix A according to both the stage and action which will affect that parcel.

Stage 1
(To be initiated during years 1 through 5 and completed no later than the end of Year 10)

Stage 2
(To be initiated and completed no later than the end of Year 10)

Stage 3
To be initiated and completed no later than the end of the 25th year)

Action Areas
1 11
2 12
3 13
4 14
8 15
 17
 21

Action Areas
5 18
6 19
7 20
9 23
10 25
16

Action Areas
--Action Area 22
(Continuing College of Pharmacy Development)

--Action Area 24
(Expansion of Medical Center Institutions)

--Properties (if any) which come to require Non-Compliance Correction

D. Buildings and Improvements to be Demolished

Buildings and improvements which may be demolished are included in the New Construction Action Areas in Exhibit 3 and are listed by block and lot number in Appendix A under the designation of New Construction.

In addition to the structures designated in Appendix A for New Construction, additional structures may be demolished if such structures are found by the Building Department of the City of St. Louis to be structurally unsound or otherwise uninhabitable and/or if it can be established by the Developer that it is not economically feasible to make such structures sound and habitable. Likewise, the Developer may choose to retain for rehabilitation certain buildings otherwise intended for demolition if such structures are found by the Developer to be particularly suitable for such alternative action.

After the acquisition of structures and prior to demolition thereof, pursuant to this plan, the Developer may utilize the structure or structures as project office facilities, or as a demonstration project for rehabilitation or any other lawful temporary use, or the Developer may rent or lease said structures until the time scheduled for demolition thereof.

During the time structures owned by the Developer and scheduled for demolition are vacant, the Developer will meet all City requirements for the security of these vacant buildings.

E. Buildings Not to be Demolished

All buildings and improvements not to be demolished are shown within areas designated for Rehabilitation, Conservation, or Conservation/Re-development in Exhibit 3 and are described further in Section A(4).

The determination of the type of proposed action is based in part upon field surveys of existing physical condition. If during the implementation of this plan buildings located in "Conservation" or "Conservation/Re-development" areas, as shown on Exhibit 3, are determined by the Developer through periodic inspection or detailed interior and exterior evaluation to be in need of rehabilitation, such buildings will be so designated and become subject to all of those provisions of the Plan governing Rehabilitation Action. Likewise, if periodic inspection by the Developer during the implementation of the Plan reveal that the structures intended to be retained for rehabilitation have deteriorated to the point that rehabilitation is no longer feasible, such structure may become subject to demolition as described in Section D.

F. Structures Designated for Rehabilitation, Renovation or Conversion and the Rehabilitation, Renovation or Conversion Thereof

All buildings and improvements located within areas where rehabilitation or renovation is generally required to achieve the larger objectives of this Revised Development Plan are shown in Exhibit 3 and described

further in Section A(4). These properties are also listed by block and lot number in Appendix A and are designated for Rehabilitation Action.

This Plan establishes broad minimum standards for rehabilitation for structures designated for rehabilitation hereunder. Such standards are contained in Appendix B hereto. In addition, the Developer may choose to prepare and enforce through this Plan more detailed Design Guidelines and Planning Standards than those provided in Appendix B for one or more specific portions of the Project Area, provided that such guidelines and standards are in general conformance with said Minimum Property Standards.

It is anticipated that the Developer or other Urban Redevelopment Corporation pursuant to an agreement with the Developer will cooperate and work with individual property owners to determine the character and extent of rehabilitation required for each particular parcel to bring it into conformance with this Plan, including the Residential Minimum Property Standards, and any particular standards for its Action Area. Standards for obtaining the benefit of tax abatement are discussed in the introductory paragraph of Appendix B.

Upon determination of the character and extent of rehabilitation for each individual parcel, the Developer will present the owner with an agreement providing for the completion of the rehabilitation work and further subjecting the property to (1) the undertaking and obligation to comply in every respect with the terms and conditions of this Development Plan for a period of at least twenty-five (25) years from the date of commencement of work on each individual property; and (2) in some cases, assessments against the property for installation and maintenance of community facilities and/or community services in the project area. The rehabilitation agreement will be binding on the owner, his heirs, executors and assigns and shall be in recordable form and recorded at the option of the Developer.

If the owner fails to enter into the rehabilitation agreement presented to him by the Developer within the time specified by the Developer (not less than 30 days), then such property may be acquired by the Developer and rehabilitated by the Developer in accordance with such requirements. In the alternative, the Developer may acquire the property from the owner, contract for rehabilitation in accordance with the requirements and resell it to the owner.

The tax abatement provisions of Section 353.110 shall be applicable to all buildings rehabilitated at a cost equal to, or exceeding 30% of the present assessed valuation of such buildings and may be passed on to purchasers from the Developer, whether or not Redevelopment Corporations, or to individuals who may include persons who formerly owned the such buildings.

A general description of each Action Area designated primarily for rehabilitation is included in Section A(4).

G. Proposed Type, Number and Character of Industrial, Commercial and Residential Buildings

A general description of each Action Area where new construction is proposed as the prevailing action is provided in Section A(4) of this report, and a further description by parcel and block number is provided in Appendix A. The following table summarizes these proposed developments.

Proposed New Construction

<u>Action Area</u>	<u>Proposed Development</u>
1	Multi-family project
4	Multi-family project
8	Accessory parking, (and outdoor dining for the adjacent bar/restaurant in the event adequate off-street parking is firmly provided for), and/or special amenities to identify and enhance the quality of the redevelopment area environment
9	Alternative of New Construction to relate to existing uses on either side
11	Office, financial institution and/or retail development; alternate multi-family
12	One single-family home at 4450 Laclede
13	Multi-family project at the southwest corner of Newstead and West Pine
14	Alternative of New Construction of office, residential or accessory parking
15	Alternative of New Construction for mixed use
17	One two-family structure at 4342 Laclede
18	Alternative of New Construction for office use
19	Alternative of New Construction for office use
20	Alternative of New Construction for office or residential use
21	Multi-family project; alternate offices or financial institution
22	College of Pharmacy, continued development
23	Development for office, laboratory, research and development, and related light industrial uses; alternate rehabilitation
24	Medical Center expansion

H. Open Space, Landscaping and Environmental Improvements

Highly significant street-tree planting and median landscaping improvements have already been accomplished by the City in the redevelopment area. Those areas requiring further public tree planting are identified in Appendix C, and the Developer hereby declares the need that the City will undertake these additional landscaping improvements when sufficient public monies become available for allocation to this purpose.

Individual development projects will continue to include internal site landscaping and edge buffering where appropriate. Open space and recreation facilities to serve the needs of the individual project areas and the overall area will continue to be available from the adjacent Forest Park and its many amenities. Improved street lighting has been provided in several locations, not only improving the visual image of the area but also increasing safety.

I. Dedications of Property and Reservations

No property in the project area is proposed to be sold, donated, exchanged or leased to the Board of Education, Public Library Board or other public body.

J. Zoning

Both the existing and proposed zoning of each parcel by block and parcel number are shown in Appendix A. Rezoning of all or portions of Action Area 2, is called for in this Revised Development Plan, as well as an acceptable alternative of rezoning for Action Area 21. The proposed changes are shown on the following page.

In addition to these specific changes, there are uses described as allowable in the text of Section A(4) of this Revised Plan, which, if eventually implemented would require commercial zoning ("F" or "H" classification). Specifically, portions of Action Areas 5 and 7 may require such rezoning, and if approved by the Developer on a case-by-case basis, such rezonings are consistent with this Revised Development Plan.

The Developer requests the option to submit applications for planned residential development zoning, where appropriate, to the Community Development Agency and Board of Aldermen as provided for in City Ordinance 55803. Assuming that said applications are compatible with the Revised Development Plan, the required reviewing agents shall act with due diligence in processing and approving said applications.

It is proposed that those areas indicated on the Land Use Plan (Exhibit 2) and in Action Area 24 of the Planned Development Actions (Exhibit 3) for future expansion of the WUMC which are not presently included in the Medical Center's Community Unit Plan area (on record with the City of St. Louis) be included in the Community Unit Plan area at an appropriate time in the future.

TABLE OF PROPOSED ZONING CHANGES
 (these properties are listed individually in Appendix A)

<u>Action Area</u>	<u>City Block</u>	<u>Address</u>	<u>Parcel No.</u>	<u>From District</u>	<u>To District</u>
2	3900	4425 through 4449 West Pine	150 through 200	E	F
7	3892	4561 Laclede 4567 Laclede	200 210	E E	E/Alt. H E/Alt. H
9	3891	4527 F.P. Blvd.	190	E	E/Alt. H
19	3905	4311 through 4371 F.P. Blvd.	280 through 415	E	E/Alt. H
20	3902	4401 through 4425 F.P. Blvd.	300 through 320	E	E/Alt. H
21	3890	Lot 2 in Forest West Subdivision	-not yet assigned	E	E/Alt. H
Conservation Area 3891 (The entire Wexford Condo site)		4536 through 4560 Laclede	2501-2731 2800-3030 (Westernmost building not yet numbered)	H	E

K. Streets

The following transportation-related proposals reflect the fact that many public improvements and street changes from the 1974 Plan have already been implemented. Our Revised Plan proposals are as follows:

1. Taylor and Boyle Avenue Improvements - The Taylor Avenue improvements are virtually completed to the east of the Medical Center, and will effectively serve the increased movements of vehicles via a loop formed by Kingshighway, Forest Park Boulevard, Taylor and Clayton Avenues to and from the Washington University Medical Center.

In accordance with its major street system planning, the City has long planned to improve Boyle Avenue as it passes adjacent to the planning area between Duncan Avenue and Lindell Boulevard.

2. General Street Improvements - Although many street improvements were accomplished by the City during the past years of this project, the Developer expects that the City will, where necessary, and as sufficient public monies become available for allocation to these purposes, resurface, construct, pave or reconstruct public streets and alleys within the project area. The needed street and alley improvements are presented in detail in Appendix C of this Plan.
3. Street Closures - Several of the street closures called for in the original Development Plan have been implemented, enhancing the privacy, safety and sense of control of residential areas within the planning area.

Pending further analysis and neighborhood discussion, as well as subsequent City approval, a closure of West Pine just in the 4300 Block may be requested in the future.

During the next ten years, other closures may be requested within the Washington University Medical Center (Parkview, Audubon, McKinley and Euclid Avenues), as defined by U.S. 40, Kingshighway, Forest Park Boulevard and Taylor Avenue, in the event there is joint agreement by the City and the Developer that such action is to the benefit of the City and WUMC.

4. Controlled Streets - In addition to the physical closure of streets proposed in paragraph 3 above, certain streets may be requested for conversion from public to private status, including:

--Laclede Place from Boyle to Taylor Avenues;

--Internal Medical Center Streets, including:

Parkview Place

Audubon Avenue

Scott Avenue

McKinley Avenue

Euclid Avenue, south of Forest Park Blvd.

Any such conversions will depend upon the arrival at a satisfactory arrangement for control and maintenance among abutting property owners and will be in accordance with accepted City procedures to accomplish such a purpose.

5. A Residential Parking Zone is hereby established as specified in Section X and Appendix D. of this Revised Plan.
6. Public Transportation - It is planned that through bus transit will remain concentrated on the major street grid bounding and passing through the planning area--Kingshighway and Taylor in a north-south direction and Lindell Boulevard and Forest Park Boulevard in an east-west direction. Boyle Avenue should also be included among the north-south major streets.

L. Quality and Character of Existing Residential Dwellings

From 1975 through 1984 under the WUMCRC Development Plan, a total of 1206 dwelling units have been, or are now being, newly constructed or substantially rehabilitated. However, a number of buildings originally slated for rehabilitation, or so designated in amendments to the original plan, have yet to be upgraded. These properties are shown in Exhibit 3, "Planned Development Actions," and are indicated in the tables in Appendix A as buildings requiring rehabilitation. In the Exhibit, buildings colored black have already been upgraded, while buildings contained in Action Areas requiring rehabilitation, but which are not colored black, are in need of varying degrees of substantial or moderate rehabilitation.

As a general overview, the following tables show census data and 1984 extrapolations regarding housing and socio-economic characteristics of the WUMCRC area.

POPULATION AND HOUSING: WUMC Development Planning Area

	1950	1960	1970	1980
Total No. of Units	3,152	3,860	3,877	4,230
% Owner Occupied	13.3%	10.1%	7.2%	10.2%
% Renter Occupied	84.0%	86.7%	83.0%	77.8%
% Black Occupied	.4%	1.0%	1.0%	29.7%
Average Value*	\$11,500	\$17,340	\$12,600	\$53,700
Average Rent*	\$54.00	\$97.00	\$139.00	\$183.00
Total Population		7,675	7,249	6,050
over 62 years			26.1%	29.6%
under 18 years			14.7%	15.4%

SOURCES: U.S. Census of Population and Housing
U.S. Department of Labor Statistics

*Dollar values are for year shown.

The following basic information about the existing area was also obtained from the Census and extrapolated for 1974 and 1984:

A. <u>Existing Population</u>	1974		1984	
	Number	% of Total	Number	% of Total
Total Population	7,249	----	6,350	----
Total Population under 18 yrs.	1,065	15%	950	15%
Total Population over 62 yrs.	1,890	26%	1,900	30%
B. <u>Existing Housing</u>				
Total Dwelling Units	3,877	--	4,400	--
Single Family Dwellings	184	6%	265	6%
Units in Buildings of over 10 units	1,832	47%	NA	--
Total Vacant Dwellings	378	10%	350	8%
Owner Occupied Dwellings	281	7%	570	13%
Renter Occupied Dwellings	3,218	83%	3,480	79%
One person Households	1,941	56%	2,600	64%
Average Value	\$13,800	--	\$66,000	--

M. Relocation

This Revised Development Plan will necessitate, due to redevelopment actions, the relocation of about 100 to 125 households (about 200 people) over a six-year period. Thus, we expect about 20 households per year to require relocation through 1990.

WUMCRC's experience to date and our familiarity with the structures yet to be upgraded leads us to estimate that about 60% of the households requiring relocation are elderly or middle-age, and the great majority of these households consist of one person only. Also from our experience, we do not expect more than 5% of the persons to be relocated to be under 18 years of age. There will be very few, if any, families with children required to relocate.

Regarding elderly residents requiring relocation, every effort will be made to insure that they can relocate within the project area and preferably in new or rehabilitated apartments provided especially for elderly occupants and at rents they can afford. There are more than 800 subsidized units in our redevelopment area for elderly persons, and an additional 450 such units in the surrounding neighborhood. In addition there are 86 subsidized units specially designed for handicapped persons (The Boulevard Apartments). Finally, there are still a number of apartment buildings in or near our area whose rents are reasonable enough to provide a relocation resource for displaced households.

Regarding non-elderly households requiring relocation, almost all of which are one- or two-person households, it has always been possible to locate satisfactory relocation opportunities within or near the project area. Such households ordinarily have sufficient income to take advantage of vacancies in nearby moderate-income units.

As has been the case during the redevelopment to date, the Developer will maintain an office in the project neighborhood during the period of relocation, with staff specially qualified to deal with any relocation problems that may be caused by this project. This staff shall assist households in finding replacement housing as well as assisting them with the problems of moving. Every effort will be made and emphasis will be placed on providing relocation opportunities within the project area or the immediately surrounding neighborhood. In addition, the Developer will pay the direct moving expenses incurred by families to be relocated within the City of St. Louis (or the surrounding portions of the St. Louis Standard Metropolitan Statistical Area) and preferably within the project area as a result of action taken by the WUMCRC under the proposed plan. These payments will be made on a case by case basis after review by the WUMCRC staff. In lieu of payment of direct moving expenses, the Developer may provide moving service where appropriate. No household will be evicted until suitable dwelling accommodations are located elsewhere and are offered to the household. The WUMCRC will cooperate with all appropriate City Departments, particularly the Central Relocation Service, in the relocation of displaced persons and families.

N. New Residential Units

Since the original Development Plan was approved in 1975, a total of 468 new residential units have been completed in the WUMCRC area. Of these, 242 units are subsidized units for elderly persons in the Park Place Development. The balance are primarily condominium units in a variety of separate projects.

While it is impossible to know in advance the numbers of units which will be produced on a given site, we can estimate these in light of current negotiations or the probable type of development to which a given site best lends itself. On that basis the following range of new residential units is projected.

<u>Action Area</u>	<u>Number of Units</u>	
	<u>Low</u>	<u>High</u>
1	24	24*
4	18	18*
11	0 (retail scheduled)	80 (alternate)
13	3*	3*
21	<u>120</u>	<u>120*</u>
	<u>165</u>	<u>245</u>

*These are units scheduled or now under construction to complete ongoing projects.

0. Project Financing

Since 1975, a total of 97.7 million of private redevelopment investment has been expended or is firmly planned in the WUMCRC area. During the coming years the same project financing procedures will be followed-- that is, the various redevelopment and rehabilitation projects in the project area will be financed in most cases with mortgage financing obtained from conventional lenders such as insurance companies, savings and loan associations and commercial banks. In certain other instances projects may be totally or partially financed through programs offered by such entities as the Missouri Housing Development Commission, the U.S. Department of Housing and Urban Development, the City of St. Louis Community Development Agency and other governmental agencies.

Equity financing for various development and rehabilitation projects will be provided by participating Urban Redevelopment Corporations, including partnerships consisting of individual and corporate investors, corporate and individual owners, and, in some instances possibly, the Developer. The Developer shall encourage to the extent feasible the implementation of the total Development Plan as proposed herein by other public and private developers, though the Developer may, in a few projects, have a direct financial participation.

For purposes of financing, each separate parcel of real property in the project area shall be treated as a separate redevelopment project provided that the Developer or its assigns will have the option of combining several parcels into one project. It is contemplated that the development of new construction will be handled by Urban Redevelopment Corporations organized under Chapter 353 of Missouri Revised Statutes, 1978, and that rehabilitation projects will be handled either by such corporations or by individual owners.

P. Persons Associated with Developer

The following persons and corporations will be active in the management of the development corporation for at least one year after approval of the Revised Development Plan:

The Washington University Medical Center (WUMC)
660 S. Euclid Avenue
St. Louis, MO 63110

WUMC is a not-for-profit corporation organized under Missouri law for the purpose of establishing a mechanism for cooperation on planning, maintenance and operation of facilities under the control of the following organizations:

Barnard Free Skin and Cancer Hospital
Barnes Hospital
Central Institute for the Deaf
Jewish Hospital of St. Louis
St. Louis Children's Hospital
Washington University School of Medicine

The Board of Directors of WUMC is composed of representatives from the above named organizations.

The Washington University Medical Center Redevelopment Corporation is a Missouri corporation organized under and pursuant to the requirements of the Urban Redevelopment Corporation Law (Chapter 353 of the Missouri Revised Statutes of 1949, as amended) for the purpose of preparing and implementing this plan. All stock in this redevelopment corporation is owned by WUMC. The Board of Directors of the WUMC Redevelopment Corporation is as follows:

Mr. Harold E. Thayer Barnes Hospital 4949 Barnes Hospital Plaza St. Louis, Missouri 63110	Chairman
Dr. William H. Danforth Chancellor, Washington University Lindell and Skinker Boulevards St. Louis, Missouri 63130	Vice-Chairman
Mr. James S. McDonnell, III McDonnell Douglas Corporation P.O. Box 516 St. Louis, Missouri 63166	Vice-Chairman
Mr. Raymond Wittcoff Transurban Investment Corporation One Memorial Drive St. Louis, Missouri 63102	Vice-Chairman

Dr. Samuel B. Guze
President
Washington University School
of Medicine
660 S. Euclid
St. Louis, Missouri 63110

Mr. Stanley Hollander
8000 Maryland Avenue
Suite 1000
St. Louis, Missouri 63105

Mr. Lee Liberman
Laclede Gas Company
720 Olive Street
St. Louis, Missouri 63101

Mr. Edwin B. Meissner
408 Olive
Suite 806
St. Louis, MO 63102

Mr. Donald O. Schnuck
Schnucks Markets
12921 Enterprise Way
Bridgeton, MO 63044

The following other corporations are associated with the implementation and management of the project:

Forest West Properties, Inc.*
4397a Laclede Avenue
St. Louis, Missouri 63108

Laclede Avenue Real Estate, Inc.*
4397a Laclede Avenue
St. Louis, Missouri 63108

Capitol Land Company
8825 Page Blvd.
St. Louis, Missouri 63114

Development Consultants

Team Four, Inc.
14 N. Newstead
St. Louis, Missouri 63108

Planning and Design
Consultants

Bryan, Cave, McPheeters & McRoberts
500 North Broadway
St. Louis, Missouri 63102

Attorneys

*Wholly owned subsidiary corporation of WUMC.

Q. Property Held or to be Acquired by Developer

The following properties within the development area are presently held by Washington University Medical Center Redevelopment Corporation, by Laclede Avenue Real Estate, Inc., or by Forest West Properties, Inc., all wholly owned subsidiaries of the Washington University Medical Center, within the development area:

4340 West Pine	221 S. Taylor	4511 Parkview
4529 Arco	225 S. Taylor	4300 Laclede
4502 Forest Park Blvd.	215 S. Taylor	11-19 S. Boyle
4510 Forest Park Blvd.	4506 Forest Park Blvd.	
4517 Parkview	4507 Parkview	

The Washington Univeristy Medical Center and related institutions presently own a number of properties adjacent to their present complex within the area described by Forest Park Boulevard, Kingshighway, Taylor Avenue and Highway 40. A list of these parcels and their ownership can be made available upon request.

All property within the development area as identified in Appendix A, exclusive of streets and alleys, may be acquired by the Developer if acquisition is necessary to meet the objectives of the Development Plan.

R. Property to be Acquired by the City

This Revised Development Plan does not propose that the City of St. Louis acquire any additional property within the redevelopment area.

S. City Owned Property

The Developer requests for the City the option to vacate a number of streets, each of which is described in Section K, Streets, Paragraphs 3 and 4.

T. Employment Practices

The Developer, for itself, its successors, assigns and heirs, admits the language, intent and purpose regarding fair employment practices contained in Ordinance 47957 of the City of St. Louis and admits and agrees that said language, intent and purpose apply to this Revised Development Plan and that the Developer will be bound thereby, and Developer agrees that it will comply with the terms and spirit of said Ordinance.

U. Non-Discrimination

The Developer, for itself, its successors, assigns and heirs, will at all times make all facilities in the development area available to the general public without regard to race, religion, color or national origin. This

section shall not be construed as depriving the Developer or any Owner thereof of the customary rights of ownership, including the rights of management and the rights to establish rules and regulations for the use of the property or charges of rents therefor, but the Developer or Owner shall not discriminate in the exercise of such rights on the basis of race, creed, color or national origin.

Rehabilitation agreements under Section F shall expressly contain this section of the Plan.

V. Length of Plan

This Revised Development Plan shall remain in full force and effect and shall be binding on the Developer and all land owners in the development area from the effective date of the ordinance approving this Revised Development Plan to a date 25 years after the date set for commencement of construction or rehabilitation with respect to any project within the project area. This section shall not be construed as a limitation on the period tax abatement under Chapter 353 R.S.Mo. so long as the property continues to be used in compliance with this Plan.

W. Taxes

All parcels of real property in the project area acquired by Developer pursuant hereto and developed pursuant to the Development Plan shall be taxed in the manner provided by Section 353.110 Missouri Revised Statutes, 1969, and said section is incorporated herein by reference. All parcels of real property in the project area acquired by the Developer or by any other Urban Redevelopment Corporation pursuant to an agreement with the Developer and developed pursuant to the Development Plan shall be taxed in the manner provided by Section 353.110 Missouri Revised Statutes, 1969.

The Developer's position relative to making in-lieu-of tax payments remains the same during the redevelopment program to date. The following sections are quoted from the Agreement between WUMCRC and the City in 1975 (as contained in Ordinance 56908) and constitute the Developer's position relative to this Revised Development Plan.

Section 11 of the Agreement contained in Ordinance 56908

"Upon compliance with the terms and conditions of Section 29.320 of the Revised Code of the City of St. Louis of 1960:

- a. Real property acquired by the Developer shall not be subject to assessment or payment of general ad valorem property taxes imposed by the City or State or any political subdivision thereof for a period of ten (10) years after the date when the Developer acquires such property by purchase, lease or condemnation, except to such extent and in such amount as may be imposed upon such real property during such period measured solely by the amount of the assessed

valuation of the land, exclusive of improvements, as was determined by the Assessor of the City of St. Louis, for taxes due and payable thereon during the calendar year preceding the calendar year during which the corporation acquires such real property; and the amounts of such tax assessments shall not be increased by the City Assessor during said ten (10) year period so long as the real property is owned by or under lease to the Developer and said Developer undertakes new construction or rehabilitation (at a cost equal to or exceeding 30% of the present assessed valuation of said real property) in accordance with the Development Plan and this Agreement.

b. In the event that any such real property was tax exempt immediately prior to its acquisition by the Developer, the Assessor of the City of St. Louis shall promptly assess such land, exclusive of improvements, at such valuation as shall conform to but not exceed the assessed valuation made during the preceding calendar year of other land, exclusive of improvements, adjacent thereto. The amount of such assessed valuation so fixed by the City Assessor during the ten (10) year period next following the date upon which the Developer acquired such property so long as such real property is used in accordance with the Development Plan.

c. For the next ensuing period of fifteen (15) years, ad valorem taxes upon such real property shall be measured by the assessed valuation thereof as determined by the City Assessor upon the basis of not to exceed fifty percent (50%) of the true value of such real property, including any improvements thereon (i.e., fifty percent (50%) of the assessed valuation of like property equal value), nor shall such valuation be increased over fifty percent (50%) of the true value of such real property from year to year during said period of fifteen (15) years, so long as said property is used in accordance with the Development Plan.

d. In the event of the sale or other disposition of any real property of the Developer, its successors or assigns, by reason of the foreclosure of any mortgage or other lien, through insolvency or bankruptcy proceedings, or by order of any court of competent jurisdiction, or by voluntary transfer or conveyance, the partial tax relief provided for in subsections (a), (b) and (c) of this paragraph shall inure to the benefit of any purchaser or purchasers of such real property so long as such purchaser or purchasers shall continue to use, operate and maintain such real property in accordance with the provisions of the Development Plan."

Section 12

"Notwithstanding the tax abatement provisions of 353.110 R.S.Mo 1969, the Developer, its successors and assigns agree that with respect to all real property, with the exception of the real property hereinafter described in Section 13 owned by it or its subsidiaries or nominees and taxed pursuant to 353.110 R.S.Mo, 1969, it, its subsidiaries and nominees will pay to the City with respect to each such property in addition to the ad valorem taxes computed under

353.110, an amount annually equal to the amount by which the actual tax on such property computed pursuant to 353.110 is less than the tax which would have resulted in such taxable year against such property had the assessed value of such property and improvements thereon remained the same as the assessed thereon at January 1 of the year in which the Developer took title to such general real estate taxes, but neither the Developer nor its subsidiaries or assigns shall have any personal responsibility with respect thereto."

Section 13

"The agreement of the Developer, its successors and assigns, as expressly stated in Section 12, shall not be applicable, however, to the following properties located anywhere within the project area: institutional property, new residential property, and property otherwise exempt."

Each parcel of real property acquired by the Developer or any Urban Redevelopment Corporation pursuant to an agreement with the Developer shall be treated as a separate redevelopment project for purposes of assessment of taxes (for loss of tax abatement, relief for non-compliance with the plan or other causes) provided that the Developer or any such Urban Redevelopment Corporation may combine any number of such parcels into one project for such purposes by recording an instrument evidencing such intent with the Recorder of Deeds for the City of St. Louis, Missouri.

X. Land Use, Building Requirements and Controls

Effective enforcement by the City of land use and building requirements constitutes a vital complement to the Developer's efforts to maximize investment and redevelopment quality in the project area. The following four categories of control are important to the objectives of this Plan.

1. Building Code

All new and converted structures in the project shall comply with all applicable requirements of the Building Code of the City of St. Louis and other applicable City Ordinances.

2. Restrictions on Commercial Land Use Within the Redevelopment Area Boundaries

Several types of commercial land uses shall not be allowed within the boundaries of the redevelopment area, or shall be allowed only under certain specified conditions.

a. Liquor Licenses

- 1) The City shall not issue a "Full Package," a "Twenty-Two Percent Package" or a "Five Percent Package" liquor license

to any establishment which derives fifty percent (50%) or less of its gross receipts from the sale of goods other than intoxicating liquors if at the time of such license application there are already existing two or more establishments possessing any of said liquor licenses.

2) The City shall not issue a "Full Drink," a "5% Drink" or a "C.O.L." liquor license to any establishment fifty percent (50%) or less of whose gross receipts are derived from the sale of non-intoxicating beverages or food if at the time of such license application there are already existing four or more establishments possess any of said liquor licenses.

3) The City shall not issue a liquor license which permits a "Full Drink" licensee to sell intoxicating liquor for off-premise consumption.

b. Other Prohibited Licenses and Uses

The City of St. Louis shall not issue the following types of licenses or permits, and shall not permit the following types of establishments:

1) A Billiard or Pool Table permit, as defined in Section 8.26.010 of the Revised Code of the City of St. Louis;

2) A Public Dance Hall or Ballroom license, as defined in Section 8.32.010 of the Revised Code of the City of St. Louis, except a hotel containing not less than 100 rooms;

3) An Arcade, as defined in Section 8.16.010 of the Revised Code of the City of St. Louis;

4) An Adult Bookstore, Adult Motion Picture Theater, Adult Peep Show or Massage Parlor, as defined in Chapter 26.08 of the Revised Code of the City of St. Louis;

5) A Tattoo Parlor;

6) Any establishment selling paraphernalia related to the illegal use of controlled substances.

3. Certificate of Use and Occupancy

During the first two years following the date of approval of this Revised Development Plan, the Developer will draft an ordinance requiring that whenever there is a change in ownership of any residential or commercial building, a Certificate of Use and Occupancy, issued by the City's Building Commissioner, shall be required for occupancy of that building.

The specific procedure and criteria for the issuance of said Certificate shall be developed in close consultation with the

Alderman of the 17th Ward, the proper City agencies, the WUMCRC Citizens' Advisory Committee and the Block Unit Five Neighborhood Improvement Association. This ordinance shall not be submitted to the Board of Aldermen without prior approval of the WUMCRC Citizens' Advisory Committee.

4. Resident Parking Program

Appendix D hereto sets forth an amendment to the Traffic Code of the City of St. Louis, creating a new section thereto entitled "Residential Parking Zone." The creation of this zone and the parking regulations governing it have as their purpose the provision of a number of on-street parking spaces exclusively for residents in a specified area who have been issued parking permits by the City. This program must be strongly supported by strict enforcement of all of its parking regulations. The Buckingham Court Area, defined in Appendix D hereto, shall be the zone in which these parking regulations are established.

In adopting the Ordinance and Agreement which incorporates this Revised Development Plan, the City of St. Louis hereby authorizes the Traffic and Transportation Administration and the License Collector of the City of St. Louis to enact the parking program set forth in Appendix D and to provide for their effective enforcement as with other traffic and parking violations.

Y. City Action

The City will, upon request by the Developer, adopt necessary ordinances, resolutions or appropriate orders to carry out the dedications and encroachments provided in this Plan at such times as necessary and appropriate for the redevelopment period.

Z. Exhibits

All exhibits and drawings submitted herewith are incorporated herein by reference as a part of this Development Plan.

APPENDIX A

INTRODUCTION	A-1
ACTION AREAS 1 through 25	A-2
CONSERVATION	A-46
CONSERVATION/ REDEVELOPMENT	A-59

Introduction to the Use of Appendix A:

Each parcel in the Washington University Medical Center redevelopment area is catalogued herein by City block and parcel number, and street address. Three sets of information are provided for each parcel. They include:

USE - Existing and proposed land uses are identified by abbreviations for the general types of land use, which are defined in Section A(2) of this Plan. Abbreviations used are as follows:

- R Residential
- M Mixed Use (includes Retail, Office, R & D and Residential)
- O Office (includes Financial Institutions and R & D)
- I Institutional (includes the Washington University Medical Center)
- Ind Light Industrial (includes Office, Warehouse and R & D)
- NH Nursing Home
- (●) Major Accessory Parking Resource
- M(P) Mixed Use with Major public or semi-public parking resource
- V Vacant Lot

ZONING - Letters used to identify the existing and proposed zoning categories correspond with the established zoning districts in the City of St. Louis. The zoning districts which apply to this Plan are summarized below:

- | | | | |
|-----|-----------------------------------|---|---------------------|
| B | Two Family Dwelling District | G | Commercial District |
| C,D | Multiple Family Dwelling District | H | Commercial District |
| E | Multiple Family Dwelling District | J | Industrial District |
| F | Local Business District | K | Industrial District |

PROPOSED ACTION AND STAGING - The Plan proposes 3 general types of action: Rehabilitation, New Construction, and Conservation. A fourth category, Conservation/Redevelopment, is a variation on the Conservation category. These categories are clearly defined in Section A(3) of this Plan and briefly summarized as follows:

- Rehabilitation: The preservation and significant improvement of properties within the redevelopment area.
- New Construction: Construction of new improvements and related demolition of existing structures as necessary.
- Conservation: Conservation of existing sound properties through continued regular maintenance.
- Conservation/Redevelopment: Conservation properties for which an alternative of rehabilitation or new construction is appropriate if the owner so chooses, in accord with existing use and zoning classifications.

The Plan is staged over three periods.

- | | |
|---|-----------------------------|
| Stage 1 1985-1989
for initiation | Stage 2 1985-1994 |
| 1985-1994
for completion | Stage 3 1985-2009 |

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 1
Type of Action
NEW CONSTRUCTION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Rehabili- tation	New Construc- tion	Other
---------------------	--------------------------	-------

Use Exist- ing	Propo- sed	Zoning Exist- ing	Propo- sed	Action Stage
----------------------	---------------	-------------------------	---------------	-----------------

Block No.	Parcel No.	Address	Use Exist- ing	Propo- sed	Zoning Exist- ing	Propo- sed	Action Stage	Rehabili- tation	New Construc- tion	Other
3900	210	4451 West Pine	V	R	E	Same	1		X	
	220	4459 West Pine	V	R	E	Same	1		X	
	230	4465 West Pine	V	R	E	Same	1		X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 2
Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	Rehabilitation	New Construction	Other
			Existing	Proposed	Existing	Proposed				
3900	150	4425 West Pine	0	Same	E	F	1			Conservation
	160	4429 West Pine	R	O/Alt R	E	F	1	X		
	170	4435 West Pine	R	O/Alt R	E	F	1	X		
	180	4439 West Pine	R	O/Alt R	E	F	1	X		
	190	4443 West Pine	R	O/Alt R	E	F	1	X		
	200	4449 West Pine	R	O/Alt R	E	F	1	X		

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 3

Type of Action

REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Use Existing Proposed Zoning Existing Proposed Action Stage Rehabilitation New Construction Other

Block No.	Parcel No.	Address	Use	Zoning	Action Stage	Other
3900	120	101-111 N. Newstead and				
		4401-09 West Pine	M	E	Same	I X

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 4
Type of Action
NEW CONSTRUCTION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	New Construc- tion	Other
3907	361	4393 West Pine	V	R	E	Same	I		X	
	370	4395-99 West Pine	V	R	E	Same	I		X	
	380	112 N. Newstead	V	R	E	Same	I		X	
	390	116-118 N. Newstead	V	R	E	Same	I		X	
	400	120 N. Newstead	V	R	E	Same	I		X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 5
Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	Construc- tion	Other
3901	020	4390 Lindell	0	Same	E	Same	2		X	
	030	4386 Lindell	0	Same	E	Same	2		X	
	040	4378 Lindell	0	Same	E	Same	2		X	
	050	4372-79 Lindell	R	Same	E	Same	2		X	
	060	4356 Lindell	M	Same	E	Same	2		X	
	070	4348-54 Lindell	V	M(o)	E	Same	2		X	Alt Conservation

WUMCRC DEVELOPMENT PLAN

AS REVISED, April 11, 1985

Action Area 6

Type of Action
REHABILITATION

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

New

Construc-
tion

Rehabili-
tation

Action
Stage

Zoning
Pro-
posed

Exist-
ing

Use
Pro-
posed

Block No. Parcel No. Address

Block No.	Parcel No.	Address	Use Pro-posed	Exist- ing	Zoning Pro- posed	Action Stage	Rehabili- tation	Other
3384	020	4954 West Pine	R Same	E	Same	2	X	Conservation
	030	4942 West Pine	R Same	E	Same	2		Conservation
	040	4936 West Pine	R Same	E	Same	2	X	
	050	4930 West Pine	R Same	E	Same	2	X	
	090	4947 Laclede	R Same	E	Same	2		Conservation
	100	4951 Laclede	R Same	E	Same	2	X	
	190	4961-67 Laclede	R Same	E	Same	2	X	
	110	4946 Buckingham	R Same	E	Same	2	X	
	120	4934 Buckingham	R Same	E	Same	2		Conservation
	130	4928 Buckingham	R Same	E	Same	2	X	
	140	4924 Buckingham	R Same	E	Same	2	X	
	150	4912 Buckingham	R Same	E	Same	2	X	
	170	4933 Buckingham	R Same	E	Same	2	X	
	180	4947 Buckingham	R Same	E	Same	1	X of Parking	Conservation
	190	4961-67 Laclede	R Same	E	Same		Garage	of Ellington

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 7
Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION		Other
			Exist- ing	Pro- posed			Rehabili- tation	New Construc- tion	
3884	070	1 N. Euclid	M	Same	H	Same	2	X	
	060	4910 West Pine	M	Same	H	Same	2	X	
	160	Southern corner of Euclid and Buckingham Court	M(P)	Same	H	Same	2		Conservation/ Redevelopment
3885	050	4932 Laclede	R	M(P)	H	Same	2	X	
	060	4924-26 Laclede	M(P)	Same	H	Same	---		Conservation/ Redevelopment
	070	4920-22 Laclede	M(P)	Same	H	Same	---		Conservation/ Redevelopment
	080	4914-16 Laclede	M(P)	Same	H	Same	---		Conservation/ Redevelopment
	090	4908 Laclede	M	Same	H	Same	2	X	Alt X
	100	4900 Laclede	M	Same	H	Same	2	X	
	110	11-19 S. Euclid	M	Same	H	Same	2	X	Alt X
	120	21-31 S. Euclid and							
		4901-05 Forest Park Blvd.	M	Same	H	Same	---		Conservation/ Redevelopment
	130	4919 Forest Park Blvd.	O	Same	H	Same	---		Conservation/ Redevelopment
	140	4933 Forest Park Blvd.	M(P)	Same	H	Same	---		Conservation/ Redevelopment
3891	010	4578-90 Laclede and							
		2-16 S. Euclid	M	Same	H	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area _____
 Type of Action _____
 REHABILITATION

REDEVELOPMENT CORPORATION
 AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

New

Use Existing Proposed Existing Proposed Zoning Existing Proposed Action Stage

Rehabilitation Construction Other

Block No.	Parcel No.	Address	Use Existing	Proposed	Zoning Existing	Proposed	Action Stage	Rehabilitation	Construction	Other
3892	185	4551 Laclede Parcel A	(P)	Same	F	Same	1			Conservation
	195	4555 Laclede	O	Same	F	Same	---			
	200	4561 Laclede	R	Alt R/M	E	E/Alt H	1	X		Conservation/ Redevelopment
	210	4567 Laclede	M(P)	Same	E	E/Alt H	2			
	220	4571-81 Laclede	M	Same	H	Same	1	X		
	230	2-10 N. Euclid	M	Same	H	Same	1	X		(rear of property)
	271+	22 N. Euclid	M	Same	H	Same	1	X		Conservation
	2711	" " Condo Unit 101	"	"	"	"	---			"
	2721	" " 102	"	"	"	"	---			"
	2731	" " 103	"	"	"	"	---			"
	2741	" " 104	"	"	"	"	---			"
	2751	" " 105	"	"	"	"	---			"
	2761	" " 214	"	"	"	"	---			"
	2771	" " 215	"	"	"	"	---			Conservation
	010	32-44 N. Euclid	M	Same	H	Same	---			

WUMCRC DEVELOPMENT PLAN

Action Area
Type of Action
NEW CONSTRUCTION

CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		PROPOSED ACTION			
			Existing	Proposed	Existing	Proposed	Rehabilitation	Construction	Other	
3902	430	4475-85 Forest Park Blvd.	V	M and/or R	H	Same	I		X	
	440	4489 Forest Park Blvd.	R	M and/or R	H	Same	I		X	
	450	4493 Forest Park Blvd.	V	M and/or R	H	Same	I		X	
	470	4497 Forest Park Blvd.	V	M and/or R	H	Same	I		X	
	480	26 S. Taylor	R	M and/or R	H	Same	I		X	
	490	20 S. Taylor	V	M and/or R	H	Same	I		X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 12

Type of Action

REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	Rehabilitation	New Construction	Other
			Existing	Proposed	Existing	Proposed				
3901	240	4411 Laclede	R	Same	E	Same	1	X		
	251+	4415-17 Laclede	R	Same	E	Same	---			Conservation
	2511	" Condo Unit 4415-front	"	"	"	"	---			"
	2521	" 4415-rear	"	"	"	"	---			"
	2531	" 4417-front	"	"	"	"	---			"
	2541	" 4417-rear	"	"	"	"	---			"
	260	4421 Laclede	R	Same	B	Same	---			Conservation
	270	4425 Laclede	R	Same	B	Same	1	X		
	280	4429 Laclede	R	Same	B	Same	---			Conservation
	290	4433 Laclede	R	Same	B	Same	1	X		
	300	4437 Laclede	R	Same	B	Same	---			Conservation
	310	4441 Laclede	R	Same	B	Same	---			Conservation
	320	4445 Laclede	R	Same	B	Same	---			Conservation
	330	4449 Laclede	R	Same	B	Same	2	X		
	340	4453 Laclede	R	Same	B	Same	---			Conservation
	350	4459 Laclede	R	Same	B	Same	---			Conservation
	360	4461 Laclede	R	Same	B	Same	1	X		
	370	4465 Laclede	R	Same	B	Same	1	X		

**DEVELOPMENT
PLAN**

**Type of Action
REHABILITATION**

AS REVISED, April, 1985

PROPOSED ACTION

New

Construc-

tion

Other

Zoning

Pro-

posed

Use

Exist-

ing

Pro-

posed

Exist-

ing

Rehabili-

tation

Action

Stage

Conservation

Block No.	Parcel No.	Address	Use	Exist- ing	Pro- posed	Zoning	Pro- posed	Action Stage	Rehabili- tation	Construc- tion	Other
3901	380	4471 Laclede	R	Same	B	Same	Same	---			Conservation
(cont.)	390	4475 Laclede	R	Same	B	Same	Same	---			Conservation
	400	4479 Laclede	R	Same	B	Same	Same	---			Conservation
	410	4483 Laclede	R	Same	B	Same	Same	---			Conservation
	420	4487 Laclede	R	Same	B	Same	Same	---			Conservation
3902	040	4484 Laclede	R	Same	B	Same	Same	---			Conservation
	050	4480 Laclede	R	Same	B	Same	Same	---			Conservation
	060	4478 Laclede	R	Same	B	Same	Same	---			Conservation
	070	4474 Laclede	R	Same	B	Same	Same	---			Conservation
	080	4470 Laclede	R	Same	B	Same	Same	2	X		Conservation
	090	4468 Laclede	R	Same	B	Same	Same	---			Conservation
	100	4464 Laclede	R	Same	B	Same	Same	---			Conservation
	110	4462 Laclede	R	Same	B	Same	Same	1	X		Conservation
	120	4460 Laclede	R	Same	B	Same	Same	---			Conservation
	130	4456 Laclede	R	Same	B	Same	Same	---			Conservation
	140	4454 Laclede	R	Same	B	Same	Same	---			Conservation
	150	4452 Laclede	R	Same	B	Same	Same	1	X		Conservation

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 12 cont.

Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION	
			Existing	Proposed			Rehabilitation	New Construction
3902	160	4450 Laclede	V	R	B	Same	1	X
(cont.)	170	4446 Laclede	R	Same	B	Same	---	Conservation
	180	4444 Laclede	R	Same	B	Same	---	Conservation
	190	4440 Laclede	R	Same	B	Same	---	Conservation
	200	4438 Laclede	R	Same	B	Same	---	Conservation
	210	4434 Laclede	R	Same	B	Same	2	X
	240	4428-32 Laclede	R	Same	B	Same	---	Conservation
	250	4424 Laclede	R	Same	B	Same	---	Conservation
	260	4420-22 Laclede	R	Same	B	Same	---	Conservation

DEVELOPMENT PLAN

AS REVISED, April, 1985

Type of Action

REHABILITATION/NEW CONSTRUCTION

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

[Rehabili- tation	-	Construc- tion	Other

Use	[Exist- ing	Pro- posed	Zoning	[Exist- ing	Pro- posed	Action Stage]

Block No.	Parcel No.	Address	Use	Exist- ing	Pro- posed	Zoning	Exist- ing	Pro- posed	Action Stage	Rehabili- tation	Construc- tion	Other
-----------	------------	---------	-----	---------------	---------------	--------	---------------	---------------	-----------------	---------------------	-------------------	-------

3901	140	4414 West Pine	R	E	Same	E	Same	1	1	X		
	150	4410 West Pine	R	E	Same	E	Same	1	1	X		
	160	4400 West Pine	R	E	Same	E	Same	1	1		X	
		" Condo Unit	"	"	"	"	"	1	1		X	
		" 1	"	"	"	"	"	1	1		X	
		" 2	"	"	"	"	"	1	1		X	
		" 3	"	"	"	"	"	1	1		X	
	170	31 N. Newstead	R	E	Same	E	Same	1	1	X		
	180	27 N. Newstead	R	E	Same	E	Same	1	1	X		
	190	25 N. Newstead	R	E	Same	E	Same	1	1	X		

DEVELOPMENT PLAN

AS REVISED, April, 1985

Type of Action

REHABILITATION/NEW CONSTRUCTION

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Rehabilitation New Construction Other

Use Existing Proposed Zoning Existing Proposed Action Stage

Block No.	Parcel No.	Address	Use Existing	Proposed	Zoning Existing	Proposed	Action Stage	Rehabilitation	New Construction	Other
3901	200	19 N. Newstead	R	R/Alt or I	F	Same	I	X	Alt X	
	210	15 N. Newstead	O(●)	Alt R/O or I	F	Same	I		X	
	230 rear pt.	4409 Laclede	M	M(●)	F	Same	I		X	

WUMCRC DEVELOPMENT PLAN

Type of Action REHABILITATION

CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist-ing	Pro-posed	Exist-ing	Pro-posed		Rehabili-tation	Construc-tion	Other
3901	220	4403 LaClede	M	Same	F	Same	I	X		Alt X
	230	4409 LaClede	M	Same	F	Same	I	X		Alt X
		front pt.								
3902	295	4400 LaClede/S. Newstead	M	Same	F	Same	I	X		Alt X
3906	520	4383-89 LaClede	M	Same	F	Same	I	X		Alt X
	530	4393-95 LaClede	M	Same	F	Same	I	X		Alt X
	540	4397-99 LaClede	M	Same	F	Same	I	X		Alt X
	550	10 N. Newstead	M	Same	F	Same	I	X		Alt X
	560	14 N. Newstead	M	Same	F	Same	I	X		Alt X

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 16
Type of Action
REHABILITATION

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Exist-ing	Pro-posed	Exist-ing	Pro-posed		Rehabili-tation	New Construc-tion
3906	010	4398 West Pine	R	Same	C	Same	2	X	
	020	4394 West Pine	R	Same	C	Same	2	X	
	030	4390 West Pine	R	Same	C	Same	---		Conservation
	040	4386 West Pine	R	Same	C	Same	1	X	
	050	4380-82 West Pine	I	R	C	Same	2	X	
	060	4374-76 West Pine	R	Same	C	Same	2	X	
	070	4372 West Pine	R	Same	C	Same	---		Conservation
	080	4364-66 West Pine	R	Same	C	Same	1	X	
	090	4362 West Pine	R	Same	C	Same	1	X	
	100	4356 West Pine	R	Same	C	Same	---		Conservation
	110	4350 West Pine	R	Same	C	Same	2	X	
	120	4346 West Pine	R	Same	C	Same	1	X	
	130	4344 West Pine	R	Same	C	Same			
	140	4340 West Pine	R	Same	C	Same	1	X	
	150	4336-38 West Pine	R	Same	C	Same	1	X	
	160	4330 West Pine	R	Same	C	Same	---		Conservation
	170	4326 West Pine	R	Same	C	Same	1	X	
	180	4320-24 West Pine	R	Same	C	Same	---		Conservation

WUMCRC DEVELOPMENT PLAN

Action Area TO BUILD

Type of Action
REHABILITATION

REHABILITATION CENTER CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	New Construc- tion	Other
3906	190	4318 West Pine	R	Same	C	Same	1		X	
(cont.)	200	4314 West Pine	R	Same	C	Same	---			Conservation
	210	4310 West Pine	R	Same	C	Same	---			Conservation
	220	4305 West Pine	R	Same	C	Same	---			Conservation
	230	4302 West Pine	R	Same	C	Same	---			Conservation

WUMCRC DEVELOPMENT PLAN

Action Area 17
 Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction
3906	450	4368 Laclede	R	Same	E	Same	I	X	
	440	4361 Laclede	R	Same	E	Same	I	X	
	431	4355 Laclede	R	Same	E	Same	I	X	
	421	4351 Laclede	R	Same	E	Same	I	X	
3905	090	4368 Laclede	R	Same	E	Same	---		Conservator
	100	4366 Laclede	R	Same	E	Same	I	X	
	110	4362-64 Laclede	R	Same	E	Same	---		Conservator
	120	4356-58 Laclede	R	Same	E	Same	I	X	
	130	4352-54 Laclede	R	Same	E	Same	I	X	
	140	4348-50 Laclede	R	Same	E	Same	I	X	
	150	4344-46 Laclede	R	Same	E	Same	I	X	
	160	4342 Laclede	V	R	E	Same	I		X
	170	4338-40 Laclede	R	Same	E	Same	I	X	
	180	4334-36 Laclede	R	Same	E	Same	I	X	
	190	4330-32 Laclede	R	Same	E	Same	I	X	
	195	4328 Laclede	R	Same	E	Same	---		Conservati.
	196	4326 Laclede	R	Same	E	Same	---		Conservati

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area REHABILITATION
Type of Action REHABILITATION

INDEPENDENT DEVELOPMENT CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Use Existing Proposed Existing Proposed Zoning Existing Proposed
 Existing Proposed Existing Proposed Existing Proposed

Rehabilitation Construction Other

Block No.	Parcel No.	Address	Use Existing	Use Proposed	Zoning Existing	Zoning Proposed	Action Stage	Rehabilitation	Construction	Other
3905	197	4324 Laclede	R	Same	E	Same	---			Conservation
(cont.)	200	4322 Laclede	R	Same	E	Same	---			Conservation
	420+	4320 Laclede	R	Same	E	Same	---			Conservation
	4200	"	"	"	"	"	---			"
	4210	"	"	"	"	"	---			"
	210	4318 Laclede	R	Same	E	Same	---			Conservation
	220	4316 Laclede	R	Same	E	Same	---			Conservation
	230	4312 Laclede	R	Same	E	Same	1	X		
	240	4308 Laclede	R	Same	E	Same	1	X		

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 18
Type of Action
NEW CONSTRUCTION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	Construc- tion	Other
3905	250	4300-04 Laclede	M	0 and/or R	F	Same	1	Alt X	X	
	260	11-19 S. Boyle	R	M(o)	F	Same	1	Alt X	X	
	270	4905 Forest Park Blvd.	M	Same	G	Same	1	Alt X	X	

DEVELOPMENT PLAN

Type of Action

REHABILITATION/NEW CONSTRUCTION

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION	
			Existing	Proposed			Rehabilitation	New Construction
3905	280	4311 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment
	290	4317 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment
	300	4323 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	310	4329 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	320	4333 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	330	4339 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment
	340	4341-43 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	350	4347 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	360	4349 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	370	4553 Forest Park Blvd.	R	R/Alt 0	E/Alt H	2	Alt	Conservation/ Redevelopment
	380	4359 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment
	400	4365 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment
	415	4371 Forest Park Blvd.	R	R/Alt 0	E/Alt H	---	Alt	Conservation/ Redevelopment

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 20
 Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Use		Zoning		PROPOSED ACTION			Conservation/ Redevelopment
			Existing	Proposed	Existing	Proposed	Rehabilitation	Construction	Other	
3902	300	4401-11 Forest Park Blvd.	R	Same	E	Same/ Alt F	2			
	310	4417 Forest Park Blvd.	R	Same	E	Same/ Alt F	2	X		Alt X
	320	4423-25 Forest Park Blvd.	R	Same	E	Same/ Alt F	2	X		Alt X

DEVELOPMENT PLAN

AS REVISED, April, 1985

Type of Action NEW CONSTRUCTION

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION			
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction	Other	
3890	080	4510 Forest Park Blvd.	V	R/M	E	E/Alt	F	1		X	
	090	4506 Forest Park Blvd.	V	R/M	E	E/Alt	F	1		X	
	100	4502 Forest Park Blvd.	V	R/M	E	E/Alt	F	1		X	
	110	215 S. Taylor	V	R/M	E	E/Alt	F	1		X	
	120	221 S. Taylor	V	R/M	E	E/Alt	F	1		X	
	130	225 S. Taylor	V	R/M	E	E/Alt	F	1		X	
	140	4503 Parkyview	V	R/M	E	E/Alt	F	1		X	
	150	4507 Parkyview	V	R/M	E	E/Alt	F	1		X	
	160	4511 Parkyview	V	R/M	E	E/Alt	F	1		X	
	170	4517 Parkyview	V	R/M	E	E/Alt	F	1		X	
	185	(pt.) 4525 Parkyview	V	R/M	E	E/Alt	F	1		X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

(St. Louis College of Pharmacy Campus)

Block No. Parcel No. Address

Action Area 22

Type of Action

CONSERVATION/REDEVELOPMENT

Use Existing Proposed Zoning Existing Proposed Action Stage

PROPOSED ACTION

New

Rehabilitation Construction Other

3890	185 pt.	4525 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
"	"	4529 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
200		4533 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
210		4537 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
220		4539 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
230		4541 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
060		4520 Forest Park Blvd.	I	Same	E	Same	3	Conservation

4781-N	240	4588 Parkview	I	Same	H	Same	3	Conservation
010		4572-76 Parkview	I	Same	E	Same	3	Conservation
050		4556 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
060		4550 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
070		4548 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
080		4544 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
090		4542 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
100		4540 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
110		4538 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment
120		4534 Parkview	I(●)	Same/Alt I	E	Same	3	Conservation/Redevelopment

DEVELOPMENT PLAN

AS REVISED, April, 1985

Type of Action CONSERVATION/REDEVELOPMENT

CORPORATION AT WASHINGTON UNIVERSITY MEDICAL CENTER

(St. Louis College of Pharmacy Campus)

PROPOSED ACTION

Use Zoning

Rehabili-
tation

New
Construc-
tion

Block No.	Parcel No.	Address	Existing	Proposed	Existing	Proposed	Action Stage	Other
4781-N	130	4532 Parkview	I(●)	Same/ Alt I	E	Same	3	Conservation/ Redevelopment
(cont.)	140	4530 Parkview	I(●)	Same/ Alt I	E	Same	3	Conservation/ Redevelopment
	190	4545 Audubon	I	Same	J	Same	3	Conservation/ Redevelopment
	210	4555-73 Audubon	I(●)	Same/ Alt I	E	Same	3	Conservation/ Redevelopment
	230	310 S. Euclid	I	Same	---	---	3	Conservation/ Redevelopment

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 23

Type of Action

NEW CONSTRUCTION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	Rehabilitation	New Construction	Other
			Existing	Proposed	Existing	Proposed				
3904	240	4301-15 Duncan	Ind	Same	J	Same	2	X	X	Alt
	250	4317 Duncan	Ind	Same	J	Same	2	X	X	Alt
	260	4319-25 Duncan	Ind	Same	J	Same	2	X	X	Alt
	270	4327 Duncan	Ind	Same	J	Same	2	X	X	Alt
	275	4333 Duncan	Ind	Same	J	Same	2	X	X	Alt
	280	4339 Duncan	Ind	Same	J	Same	2	X	X	Alt
	285	4343 Duncan	Ind	Same	J	Same	2	X	X	Alt
	290	4347 Duncan	Ind	Same	J	Same	2	X	X	Alt
	295	4353 Duncan	Ind	Same	J	Same	2	X	X	Alt
	300	4359-63 Duncan	Ind	Same	J	Same	2	X	X	Alt
	305	4367-75 Duncan	Ind	Same	J	Same	2	X	X	Alt
	310	4377 Duncan	Ind	Same	J	Same	2			Alt X
	320	4379 Duncan	Ind	Same	J	Same	2			Alt X
	330	4389 Duncan	Ind	Same	J	Same	2			Alt X
										Conservation

DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

(WUMC Action Area)

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION		Conservation/Redevelopment
			Existing	Proposed			Rehabilitation	New Construction	
3887	080	East pt. 301-399 S. Euclid	I	Same	E	Inst. Expan.			Conservation/Redevelopment
4781 N.	220	390 S. Euclid	I	Same	H	Inst. Expan.			Conservation/Redevelopment
	150	4510 Parkview	I	Same	J	Inst. Expan.		X	
	170	4500 Parkview	I	Same	J	Inst. Expan.		X	
3970	041	300-326 S. Taylor	I	Same	J	---			Conservation/Redevelopment
	051	4440-64 Duncan	I	Same	K	Inst. Expan.			Conservation/Redevelopment
	097	633 S. Newstead	I	Same	K	Inst. Expan.			Conservation/Redevelopment
	120	4455 Clayton	I	Same	K	Inst. Expan.			Conservation/Redevelopment
	140	4487 Clayton	Ind	I	K	Inst. Expan.		X	
	020/ 010	600 S. Taylor	Ind	I	K	Inst. Expan.	Alt X	X	
	095	(pt.) Wabash Railroad Right-of-Way				Inst. Expan.		X	
4781 S.	080	408 S. Euclid	I	Same	H	Inst. Expan.			Conservation/Redevelopment
	090	"	"	"	"	"	"	"	"
	010	4556-70 Audubon	I	Same	J	Inst. Expan.			Conservation
	020	4500 Audubon	Ind	I	J	Inst. Expan.		X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 24: cont.

Type of Action

CONSERVATION/REDEVELOPMENT

(WUMC Action Area)

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		Conservation/Redevelopment
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction	
4781 S.	040	4325 Scott	I	Same	J	Same	---			Conservation/Redevelopment
	070	Wabash Railroad Right-of-Way					---			Conservation/Redevelopment
4782	020	45-- Scott	I	Same	E	Same	Inst. Expan.			Conservation/Redevelopment
	030	"	"	"	"	"	"			"
	040	"	"	"	"	"	"			"
	050	"	"	"	"	"	"			"
	060	"	"	"	"	"	"			"
	070	"	"	"	"	"	"			"
	080	"	"	"	"	"	"			"
	090	601-03 S. Taylor	I	Same	F	Same	Inst. Expan.			Conservation/Redevelopment
	100	"	"	"	"	"	"			"
	110	4501 McKinley	I	Same	E	Same	Inst. Expan.			Conservation/Redevelopment
	120	45-- McKinley	I	Same	E	Same	Inst. Expan.			Conservation/Redevelopment
	130	"	"	"	"	"	"			"
	140	"	"	"	"	"	"			"
	150	"	"	"	"	"	"			"
	160	"	"	"	"	"	"			"

DEVELOPMENT PLAN

AS REVISED, April, 1985

Type of Action

CONSERVATION/REDEVELOPMENT

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

(WUMC Action Area)

PROPOSED ACTION

Use Zoning

New

Rehabili-
tation

Construc-
tion

Other

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	Conservation/ Redevelopment
			Exist- ing	Pro- posed			
4782	170	45-- McKinley	I	Same	E	Same	Inst. Expan.
	180	"	"	"	"	"	"
	190	"	"	"	"	"	"
	200	"	"	"	"	"	"
	pt.	4555 McKinley	I	Same	E	Same	Inst. Expan.

4783	021	4550-52 McKinley	I	Same	E	Same	Inst. Expan.	Conservation/ Redevelopment
	040	4500-42 McKinley	I	Same	E	Same	Inst. Expan.	Conservation/ Redevelopment

	050	"	"	"	"	"	"	"
	060	"	"	"	"	"	"	"
	070	"	"	"	"	"	"	"
	080	"	"	"	"	"	"	"
	090	"	"	"	"	"	"	"
	100	"	"	"	"	"	"	"
	110	"	"	"	"	"	"	"
	120	"	"	"	"	"	"	"
	130	4501 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/ Redevelopment
	140	"	"	"	"	"	"	"
	150	"	"	"	"	"	"	"

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 24 cont.

Type of Action

CONSERVATION/REDEVELOPMENT

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

(WUMC Action Area)

Use Zoning
 Existing Proposed Existing Proposed

Action Stage

Rehabilitation
 New Construction
 Other

Block No.	Parcel No.	Address	Use	Zoning	Action Stage	Rehabilitation	Other	Conservation/Redevelopment
4783	160	4501-27 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/Redevelopment
(cont.)	170	"	"	"	"	"	"	"
	180	"	"	"	"	"	"	"
	190	"	"	"	"	"	"	"
	200	"	"	"	"	"	"	"
	210	4533 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/Redevelopment
	220	4543 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/Redevelopment
	230	4547 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/Redevelopment
	240	4549 Clayton	I	Same	E	Same	Inst. Expan.	Conservation/Redevelopment
5234	030	4572 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	040	4570 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	050	4566 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	060	4564 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	070	4560 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	080	4556 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	090	4554 Clayton	R	I	E	Same	Inst. Expan.	Alt. X
	100	4552 Clayton	R	I	E	Same	Inst. Expan.	Alt. X

WUMCRC DEVELOPMENT PLAN

Action Area ST. CLAIR

Type of Action CONSERVATION/REDEVELOPMENT

AS REVISED, April, 1985

(WUMC Action Area)

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION	
			Exist-ing	Pro-posed			Rehabili-tation	New Construc-tion
5234	110	4548-50 Clayton	R	I	E	Same	Alt	X
	120	4536 Clayton	R	I	E	Same	Alt	X
	130	4534 Clayton	R	I	E	Same	Alt	X
	140	4532 Clayton	R	I	E	Same	Alt	X
	150	4530 Clayton	I	Same	E	Same	Alt	X
	160	4528 Clayton	I	Same	E	Same	Alt	X
	170	4522 Clayton	I	Same	E	Same	Alt	X
	180	4518 Clayton	I	Same	E	Same	Alt	X
	190	4514-16 Clayton	I	Same	E	Same	Alt	X
	200	4512 Clayton	I	Same	E	Same	Alt	X
	210	4508-10 Clayton	I	Same	E	Same	Alt	X
	220	4502-04 Clayton	I	Same	E	Same	Alt	X
3903	020	4488 Forest Park Blvd.	0	Same/I	E	Same	Inst. Expan.	Conservation/ Redevelopment
	010	4498 Forest Park Blvd.	0(●)	Same/I	E	Same	Inst. Expan.	Conservation/ Redevelopment
	230	4483 Duncan	Ind.	I	J	Same	Inst. Expan.	Alt
	240	"	"	"	"	"	"	"
	250	"	"	"	"	"	"	"

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 25
Type of Action
REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction
5233	060	919 S. Taylor	R	Same	C	Same	2	X	
	070	923-25 S. Taylor	R	Same	C	Same	2	X	
	080	4501 Chouteau	M	R	D	Same	2	X	
	090	4509 Chouteau	R	Same	D	Same	2	X	
	100	4515 Chouteau	R	Same	D	Same	2	X	
	110	4517-21 Chouteau	R	Same	D	Same	2	X	
	120	4521-23 Chouteau	R	Same	D	Same	---		Conservation
	130	4525 Chouteau	R	Same	D	Same	---		Conservation
	140	4527 Chouteau	R	Same	D	Same	2	X	
	150	4529 Chouteau	R	Same	D	Same	2	X	
	160	4531-39 Chouteau	R	Same	D	Same	2	X	
	170	4541 Chouteau	R	Same	D	Same	2	X	
	180	4545 Chouteau	R	Same	D	Same	2	X	
	190	4547 Chouteau	R	Same	D	Same	2	X	
	200	4551 Chouteau	R	Same	D	Same	2		Conservation
	210	4553 Chouteau	R	Same	D	Same	2	X	
	220	4557 Chouteau	R	Same	D	Same	2	X	
	230	4559 Chouteau	R	Same	D	Same	2	X	

WUMCRC DEVELOPMENT PLAN

Action Area Z5 CONTL.

Type of Action REHABILITATION

REHABILITATION CORPORATION
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction
5233	240	4563 Chouteau	R	Same	D	Same	2	X	
(cont.)									
5073	200	4500 Chouteau	R	M	F	Same	2	X	
	190	4504 Chouteau	R	Same	D	Same	2	X	
	180	4508 Chouteau	R	Same	D	Same	2	X	
	170	4512 Chouteau	R	Same	D	Same	2	X	
	150	4514-20 Chouteau	R	Same	D	Same	---		Conservation
	140	4522 Chouteau	R	Same	D	Same	2	X	
	130	4524 Chouteau	R	Same	D	Same	2	X	
	120	4528 Chouteau	R	Same	D	Same	2	X	
	110	4532 Chouteau	R	Same	D	Same	2	X	
	100	4534-36 Chouteau	R	Same	D	Same	2	X	
	090	4540 Chouteau	R	Same	D	Same	2	X	
	080	4544 Chouteau	R	Same	D	Same	2	X	
	070	4546 Chouteau	R	Same	D	Same	2	X	
	060	4550 Chouteau	R	Same	D	Same	2	X	
	050	4552 Chouteau	R	Same	D	Same	2	X	
	040	4554-56 Chouteau	R	Same	D	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 25 cont.

Type of Action REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	New Construc- tion
5073	030	4558 Chouteau	R	Same	D	Same	---		Conservation
(cont.)	020	4560 Chouteau	R	Same	D	Same	2	X	
	010	4564 Chouteau	R	Same	D	Same	2	X	
	210	4501-03 Gibson	R	Same	B	Same	2	X	
	220	4509 Gibson	R	Same	B	Same	2	X	
	230	4513 Gibson	R	Same	B	Same	2	X	
	240	4515 Gibson	R	Same	B	Same	2	X	
	250	4517 Gibson	R	Same	B	Same	2	X	
	260	4519 Gibson	R	Same	B	Same	2	X	
	270	4521 Gibson	R	Same	B	Same	2	X	
	280	4523 Gibson	R	Same	B	Same	2	X	
	290	4525 Gibson	R	Same	B	Same	2	X	
	300	4529 Gibson	R	Same	B	Same	2	X	
	310	4535 Gibson	R	Same	B	Same	2	X	
	320	4539 Gibson	R	Same	B	Same	2	X	
	330	4541 Gibson	R	Same	B	Same	2	X	
	340	4547 Gibson	R	Same	B	Same	2	X	
	350	4549 Gibson	R	Same	B	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist-ing	Pro-posed	Exist-ing	Pro-posed		Rehabili-tation	New Construction	Other
5073	360	4551 Gibson	R	Same	B	Same	2			X
(cont.)	370	4553 Gibson	R	Same	B	Same	2			X
	380	4559 Gibson	R	Same	B	Same	2			X
	390	4563 Gibson	R	Same	B	Same	2			X
	400	4565 Gibson	R	Same	B	Same	2			X
	410	4571 Gibson	R	Same	B	Same	2			X
	420	4575 Gibson	R	Same	B	Same	---			Conservation
	430	4577 Gibson	R	Same	B	Same	2			X
	440	4579-81 Gibson	R	Same	E	Same	2			X
	450	4583 Gibson	V	Same	E	Same	---			Conservation
5042	010	4570 Gibson	V	Alt V/R	B	Same	---			Conservation/ Redevelopment
	020	4566 Gibson	R	Same	B	Same	2			X
	030	4564 Gibson	R	Same	B	Same	2			X
	040	4558-60 Gibson	R	Same	B	Same	2			X
	050	4554 Gibson	R	Same	B	Same	2			X
	060	4552 Gibson	R	Same	B	Same	2			X
	070	4550 Gibson	R	Same	B	Same	2			X

WUMCRC DEVELOPMENT PLAN

Action Area 25 cont.

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Exist-ing	Pro-posed	Exist-ing	Pro-posed		Rehabili-tation	New Construc-tion
5042	080	4548 Gibson	R	Same	B	Same	2	X	
(cont.)	090	4546 Gibson	R	Same	B	Same	2	X	
	100	4542 Gibson	R	Same	B	Same	2	X	
	110	4536 Gibson	R	Same	B	Same	2	X	
	120	4534 Gibson	R	Same	B	Same	2	X	
	130	4532 Gibson	R	Same	B	Same	2	X	
	140	4530 Gibson	R	Same	B	Same	2	X	
	150	4528 Gibson	R	Same	B	Same	2	X	
	160	4526 Gibson	R	Same	B	Same	---		Conservation
	170	4522-24 Gibson	R	Same	B	Same	2	X	
	180	4520 Gibson	R	Same	B	Same	2	X	
	190	4518 Gibson	R	Same	B	Same	2	X	
	200	4514 Gibson	R	Same	B	Same	2	X	
	210	1035-37 S. Taylor	R	Same	B	Same	2	X	
	220	1041-43 S. Taylor	R	Same	B	Same	2	X	
	230	1045 S. Taylor	R	Same	B	Same	2	X	
	240	1047 S. Taylor	R	Same	B	Same	2	X	
	250	1049 S. Taylor	R	Same	B	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 25 cont.

Type of Action REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION		
			Exist-ing	Prop-osed	Exist-ing	Prop-osed		Rehabili-tation	New Construc-tion	Other
5042	260	1053-55 S. Taylor	R	Same	B	Same	2		X	
(cont.)	270	4503-11 Arco	R	Same	B	Same	---			Conservation
	280	4517 Arco	R	Same	B	Same	2		X	
	290	4521 Arco	R	Same	B	Same	2		X	
	300	4523 Arco	R	Same	B	Same	2		X	
	310	4525 Arco	R	Same	B	Same	2		X	
	320	4529 Arco	R	Same	B	Same	2		X	
	330	4531 Arco	R	Same	B	Same	2		X	
	340	4533 Arco	R	Same	B	Same	2		X	
	350	4537 Arco	R	Same	B	Same	2		X	
	360	4539 Arco	R	Same	B	Same	2		X	
	370	4541 Arco	R	Same	B	Same	2		X	
	380	4545 Arco	R	Same	B	Same	2		X	
	390	4547 Arco	R	Same	B	Same	2		X	
	400	4549 Arco	R	Same	B	Same	2		X	
	410	4551-53 Arco	R	Same	B	Same	2		X	
	420	4557 Arco	R	Same	B	Same	---			Conservation
	430	4561 Arco	R	Same	B	Same	2		X	

WUMCRO DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 25 cont.

Type of Action REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION		
			Existing	Proposed			Rehabilitation	New Construction	Other
5042	440	4565 Arco	R	Same	B	Same	2	X	
(cont.)	450	4567 Arco	R	Same	B	Same	2	X	
	460	4571 Arco	R	Same	E	Same	2		Conservation
	470	1060 S. Kingshighway	R	Same	E	Same	2	X	
	480	1052-56 S. Kingshighway	I	Alt I/O or R	E	Same	2	X	
	490	1048-50 S. Kingshighway	R	Same	E	Same	2	X	
	500	1034 S. Kingshighway	I	Same	E	Same	2	X	
5043	010	4570 Arco	R	Same	B	Same	2	X	
	020	4568 Arco	R	Same	B	Same	2	X	
	030	4564 Arco	R	Same	B	Same	2	X	
	040	4562 Arco	R	Same	B	Same	2	X	
	050	4556-58 Arco	R	Same	B	Same	2	X	
	060	4552 Arco	R	Same	B	Same	2	X	
	070	4550 Arco	R	Same	B	Same	2	X	
	080	4548 Arco	R	Same	B	Same	2	X	
	090	4546 Arco	R	Same	B	Same	2	X	
	100	4544 Arco	R	Same	B	Same	2	X	
	110	4540 Arco	R	Same	B	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 2^b cont.

Type of Action REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning	Action Stage	PROPOSED ACTION		
			Existing	Proposed			Rehabilitation	New Construction	Other
5043	120	4538 Arco	R	Same	B	Same	2	X	
(cont.)	130	4536 Arco	R	Same	B	Same	2	X	
	140	4532 Arco	R	Same	B	Same	2	X	
	150	4530 Arco	R	Same	B	Same	2	X	
	160	4528 Arco	R	Same	B	Same	2	X	
	170	4526 Arco	R	Same	B	Same	2	X	
	180	4522 Arco	R	Same	B	Same	2	X	
	190	4520 Arco	R	Same	B	Same	2	X	
	200	4518 Arco	R	Same	B	Same	2	X	
	210	1075 S. Taylor	I	Same	B	Same	2	X	
	220	4510 Arco	R	I	B	Same	2	X	
	230	1077 S. Taylor	R	Same	B	Same	2	X	
	240	1079 S. Taylor	R	Same	B	Same	2	X	
	250	1083 S. Taylor	R	Same	B	Same	---		Conservation
	260	1085 S. Taylor	R	Same	B	Same	2	X	
	270	1087 S. Taylor	R	Same	B	Same	2	X	
	280	1089 S. Taylor	R	Same	B	Same	2	X	
	290	1091-93 S. Taylor	R	Same	B	Same	2	X	

WUMCRC DEVELOPMENT PLAN

AS REVISED, April, 1985

Action Area 25 cont.

Type of Action REHABILITATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Exist- ing	Pro- posed	Exist- ing	Pro- posed		Rehabili- tation	New Construc- tion
5043	300	4517 Oakland	R	Same	B	Same	2	X	
(cont.)	310	4519 Oakland	R	Same	B	Same	2	X	
	320	4521 Oakland	R	Same	B	Same	---		Conservation
	330	4525 Oakland	R	Same	B	Same	2	X	
	340	4527 Oakland	R	Same	B	Same	2	X	
	350	4529 Oakland	R	Same	B	Same	2	X	
	360	4533 Oakland	R	Same	B	Same	2	X	
	370	4535 Oakland	R	Same	B	Same	2	X	
	380	4537 Oakland	R	Same	B	Same	2	X	
	390	4539 Oakland	R	Same	B	Same	2	X	
	400	4541 Oakland	R	Same	B	Same	2	X	
	410	4545-47 Oakland	R	Same	B	Same	2	X	
	415	4549-51 Oakland	R	Same	B	Same	2	X	
	420	4553 Oakland	R	Same	B	Same	2	X	
	430	4555 Oakland	R	Same	B	Same	2	X	
	440	4557 Oakland	R	Same	B	Same	2	X	
	450	4559-61 Oakland	R	Same	B	Same	2	X	
	460	4565 Oakland	R	Same	B	Same	2	X	

WUMCRC DEVELOPMENT PLAN

Action Area 25 cont.

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, April, 1985

Type of Action REHABILITATION

PROPOSED ACTION

Block No.	Parcel No.	Address	Use		Zoning		Action Stage	PROPOSED ACTION	
			Existing	Proposed	Existing	Proposed		Rehabilitation	New Construction
5043	470	4569 Oakland	R	Same	B	Same	2	X	
	480	4571 Oakland	R	Same	B	Same	2	X	
	490	4575-77 Oakland	R	Same	B	Same	2	X	
	500	1092-94 S. Kingshighway	R	Same	E	Same	2	X	
	510	1086-88 S. Kingshighway	R	Same	E	Same	2	X	
	520	1084 S. Kingshighway	R	Same	E	Same	2	X	
	530	1080 S. Kingshighway	R	Same	E	Same	---		Conservation
	540	1076 S. Kingshighway	R	Same	E	Same	2	X	
	550	1074 S. Kingshighway	0	Same	F	Same	2	X	
	560	1070 S. Kingshighway	M	Same	F	Same	---		Conservation

CONSERVATION

UUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
393	080	4510 Lindell		I	E	Conservation
	090	4511-23 West Pine		I	E	"
	150+	4545 West Pine		R	E	"
	1511	"	1	"	"	"
	1521	"	2	"	"	"
	1531	"	3	"	"	"
	1541	"	4	"	"	"
	1551	"	5	"	"	"
	1561	"	6	"	"	"
	1571	"	7	"	"	"
	1581	"	8	"	"	"
	1591	"	9	"	"	"
	1611	"	10	"	"	"
	1621	"	11	"	"	"
	1631	"	12	"	"	"
1641	"	13	"	"	"	
1651	"	14	"	"	"	
3900	130	4415 West Pine		R(●)	E	"
	140	4419 West Pine		R(●)	E	"
	250	4491 West Pine		O	E	"
	260	4495 West Pine		O	E	"
Lindell Place Condominiums	350+	4444-64 Lindell		R	E	"
	3661	"	17	"	"	"
	3671	"	18	"	"	"
	3681	"	19	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action

CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
3900	3691	4444-64 Lindell	20	R	E	Conservation
(cont.)	3701	"	21	"	"	"
	3711	"	22	"	"	"
	3721	"	23	"	"	"
	3731	"	24	"	"	"
	3741	"	25	"	"	"
	3751	"	26	"	"	"
	3761	"	27	"	"	"
	3771	"	28	"	"	"
	3781	"	29	"	"	"
	3791	"	30	"	"	"
	3801	"	31	"	"	"
	3811	"	32	"	"	"
	3501	"	9	"	"	"
	3511	"	10	"	"	"
	3521	"	11	"	"	"
	3531	"	12	"	"	"
	3541	"	13	"	"	"
	3551	"	14	"	"	"
	3561	"	15	"	"	"
	3571	"	16	"	"	"
	3581	"	1	"	"	"
	3591	"	2	"	"	"
	3601	"	3	"	"	"
	3611	"	4	"	"	"
	3621	"	5	"	"	"

**IUMCRC
EVELOPMENT
LAN**

Type of Action

CONSERVATION

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
900	3631	4444-64 Lindell	6	R	E	Conservation
	3641	"	7	"	"	"
	3651	"	8	"	"	"
907	180	4304-08 Lindell		R	E	"
	220	4319 West Pine		NH	E	"
	230	4323 West Pine		NH	E	"
	280	4335 West Pine		NH	E	"
	330	4381 West Pine		I	E	"
	340	4385 West Pine		R	E	"
	350	4389 West Pine		I	E	"
			4394-98 Lindell		R	E
Cathedral Court Condominiums		"	1	"	"	"
		"	2	"	"	"
		"	3	"	"	"
		"	4	"	"	"
		"	5	"	"	"
		"	6	"	"	"
		"	7	"	"	"
		"	8	"	"	"
3884	280+	4927-43 Laclede		R	E	"
	2800	"	1	"	"	"
	2810	"	2	"	"	"
	2820	"	3	"	"	"
	2830	"	4	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3884	2840	4927-43 Laclede	5	R	E	Conservation
(cont.)	2850	"	6	"	"	"
	2860	"	7	"	"	"
	2870	"	8	"	"	"
	2880	"	9	"	"	"
	2890	"	10	"	"	"
	2900	"	11	"	"	"
	2910	"	12	"	"	"
	2920	"	13	"	"	"
	2930	"	14	"	"	"
	2940	"	15	"	"	"
	2950	"	16	"	"	"
3892	251+	17-19 N. Taylor		R	E	"
	2511	"	1	"	"	"
	2521	"	2	"	"	"
	2531	"	3	"	"	"
	2541	"	4	"	"	"
	2550	"	5	"	"	"
	2560	"	6	"	"	"
	260+	4501-09 Laclede		C	F	"
	2611	"	A	"	"	"
	2621	"	B	"	"	"
	2631	"	C	"	"	"
	2641	"	D	"	"	"
	2651	"	E	"	"	"
	2661	"	F	"	"	"

**UMCRC
DEVELOPMENT
LAN**

**Type of Action
CONSERVATION**

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment	
				Existing Use	Existing Zoning		
92	110-120 pt.	4525 Laclede		R	E	Conservation	
	(A parcel number and individual condo unit parcel numbers will soon be assigned to this building.)						
101	251+	4415-17 Laclede		R	E	"	
	Condominium	2511	"	4415 front	"	"	"
		2521	"	4415 rear	"	"	"
		2531	"	4417 front	"	"	"
		2541	"	4417 rear	"	"	"
Laclede Mews Condominiums	431+	8-18 N. Taylor and 4489 Laclede		R	E	"	
	4310	"	A	"	"	"	
	4320	"	B	"	"	"	
	4330	"	C	"	"	"	
	4340	"	D	"	"	"	
	4350	"	E	"	"	"	
	4360	"	F	"	"	"	
	4370	"	G	"	"	"	
	4380	"	H	"	"	"	
	4390	"	I	"	"	"	
	4410	"	J	"	"	"	
	4420	"	K	"	"	"	
	4430	"	L	"	"	"	
	4440	"	M	"	"	"	
	4450	"	N	"	"	"	
4460	"	O	"	"	"		
4470	"	P	"	"	"		

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
3901	120	4422 West Pine		R	E	Conservation
(cont.)	130	4418 West Pine		R	E	"
3906	570+	4367-75 Laclede		R	E	"
		4375 Laclede		"	"	"
	5701	"	A	"	"	"
	5711	"	B	"	"	"
	5721	"	C	"	"	"
	5731	"	D	"	"	"
	5741	"	E	"	"	"
	5751	"	F	"	"	"
	5761	"	G	"	"	"
	5771	"	H	"	"	"
	5781	"	I	"	"	"
		4376 Laclede		R	E	"
	5791	"	A	"	"	"
	5801	"	B	"	"	"
	5811	"	C	"	"	"
	5821	"	D	"	"	"
	5831	"	E	"	"	"
	5841	"	F	"	"	"
	5851	"	G	"	"	"
	5861	"	H	"	"	"
	5871	"	I	"	"	"
		4371 Laclede		R	E	"
	5881	"	A	"	"	"

JUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
106 cont.	5891	4371 Laclede	B	R	E	Conservation
	5901	"	C	"	"	"
	5911	"	D	"	"	"
	5921	"	E	"	"	"
	5931	"	F	"	"	"
		Front 500	Front of 4377 Laclede		M(P)	E
	385/365 plus number to be determined	4301-47 Laclede (Manhattan Townhouses)		R	E	"
Manhattan Townhouses	600	4343 Laclede	Condo Unit H	"	"	"
	605	"	G	"	"	"
	610	"	F	"	"	"
	615	"	E	"	"	"
	620	"	D	"	"	"
	625	"	C	"	"	"
	630	"	B	"	"	"
	635	"	A	"	"	"
	640	"	11	"	"	"
	645	"	13	"	"	"
	650	"	15	"	"	"
	655	"	17	"	"	"
	660	"	19	"	"	"
	665	"	21	"	"	"
670	"	23	"	"	"	
675	4333 Laclede	22	"	"	"	
680	"	20	"	"	"	

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3906	685	4333 Laclede	Condo Unit 18	R	E	Conservation
(cont.)	690	"	16	"	"	"
	695	"	14	"	"	"
	700	"	12	"	"	"
	705	"	10	"	"	"
	710	"	F	"	"	"
	715	"	E	"	"	"
	720	"	D	"	"	"
	725	"	C	"	"	"
	730	"	B	"	"	"
	735	"	A	"	"	"
Manhattan Townhouses	740	4323 Laclede	G	"	"	"
	745	"	F	"	"	"
	750	"	E	"	"	"
	755	"	D	"	"	"
	760	"	C	"	"	"
	765	"	B	"	"	"
	770	"	A	"	"	"
	775	4303 Laclede	F	"	"	"
	780	"	E	"	"	"
	785	"	D	"	"	"
	790	"	C	"	"	"
	795	"	B	"	"	"
	800	"	A	"	"	"
	805	N. Boyle	11	"	"	"
	810	"	13	"	"	"

VUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
806	815	N. Boyle	Condo Unit 15	R	E	Conservation
(cont.)	820	"	17	"	"	"
	825	"	19	"	"	"
	830	"	21	"	"	"
	835	"	23	"	"	"
Manhattan Townhouses						
891	250+	4536 Laclede		R	E	"
	2501	"	101	"	"	"
	2511	"	102	"	"	"
	2521	"	103	"	"	"
	2531	"	104	"	"	"
	2541	"	105	"	"	"
	2551	"	106	"	"	"
	2561	"	107	"	"	"
	2571	"	108	"	"	"
	2581	"	201	"	"	"
	2591	"	202	"	"	"
	2601	"	203	"	"	"
	2611	"	204	"	"	"
	2621	"	205	"	"	"
	2631	"	206	"	"	"
	2641	"	207	"	"	"
	2651	"	208	"	"	"
	2661	"	301	"	"	"
	2671	"	302	"	"	"
Mexford Condominiums						

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
3891	2681	4536 Laclede	303	R	E	Conservation
	2691	"	304	"	"	"
	2701	"	305	"	"	"
	2711	"	306	"	"	"
	2721	"	307	"	"	"
	2731	"	308	"	"	"
	280+	4544 Laclede		R	H Change to E	"
	2800	"	101	"	"	"
	2810	"	102	"	"	"
Wexford Condominiums	2820	"	103	"	"	"
	2830	"	104	"	"	"
	2840	"	105	"	"	"
	2850	"	106	"	"	"
	2860	"	107	"	"	"
	2870	"	108	"	"	"
	2880	"	201	"	"	"
	2890	"	202	"	"	"
	2900	"	203	"	"	"
	2910	"	204	"	"	"
	2920	"	205	"	"	"
	2930	"	206	"	"	"
	2940	"	207	"	"	"
2950	"	208	"	"	"	
2960	"	301	"	"	"	
2970	"	302	"	"	"	
2980	"	303	"	"	"	

MUMCRC DEVELOPMENT PLAN

Type of Action

CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
891	2990	4544 Laclede	304	R	H Change to E	Conservation
	3000	"	305	"	"	"
	3010	"	306	"	"	"
	3020	"	307	"	"	"
	3030	"	308	"	"	"
		4564 Laclede		R	H Change to E	"
	3041	"	101	"	"	"
	3051	"	102	"	"	"
	3061	"	103	"	"	"
	3071	"	104	"	"	"
Wexford Condominiums	3081	"	105	"	"	"
	3091	"	106	"	"	"
	3101	"	107	"	"	"
	3111	"	108	"	"	"
	3121	"	201	"	"	"
	3131	"	202	"	"	"
	3141	"	203	"	"	"
	3151	"	204	"	"	"
	3161	"	205	"	"	"
	3171	"	206	"	"	"
	3181	"	207	"	"	"
	3191	"	208	"	"	"
	3201	"	301	"	"	"
	3211	"	302	"	"	"
	3221	"	303	"	"	"
	3231	"	304	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3891	3241	4564 Laclede	305	R	H Change to E	Conservation
	3251	"	306	"	"	"
	3261	"	307	"	"	"
	3271	"	308	"	"	"
Wexford Condominiums	022	4490 Laclede	A	R	E	"
	021	4492 Laclede	B	R	E	"
	012	4496 Laclede	C	R	E	"
	011	4498 Laclede	D	R	E	"
	502+	14 S. Taylor		R	E	"
	5021	"	LLS	"	"	"
	5031	"	LLN	"	"	"
	5041	"	1S	"	"	"
	5051	"	1N	"	"	"
	5061	"	2S	"	"	"
	5071	"	2N	"	"	"
	5081	"	3S	"	"	"
	5091	"	3N	"	"	"
	330	4451 Forest Park		R	E	"
3905	010	4392 Laclede		R	E	"
3886	140	215-223 S. Euclid		I	E	"
3890	040	4524 Forest Park Blvd.		I	E	"
	050	"		"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3890	240	226 S. Euclid		I	E	Conservation
	010	4568 Forest Park Blvd.		I	E	"
	020	4536 Forest Park Blvd.		M	H	"
	025	"		"	"	"
	030	"		"	"	"
	050	4520 Forest Park Blvd.		R	E	"
	060	"		"	"	"
3887	010	400 S. Kingshighway		I	E	"
	050	400 S. Kingshighway		I	E	"
	055	Parkview		I	E portion Jewish Hosp. garage	"
	080	S. Euclid		I	E portion Clinical Sciences Lab Building	"
3970	100	4401 Clayton Ave.		Ind	K	"
5234	270	800-818 S. Euclid		I	E & C	"
	020	4576 Clayton Ave.		I	E	"
5233	040	905-11 S. Taylor		I	D	"

OTHER CONSERVATION PROPERTIES:

In addition to the preceding properties, a number of other properties which are located within Action Areas have been given the designation of "Conservation." Such properties are listed in this Appendix under the specific Action Area in which they are located.

**CONSERVATION/
REDEVELOPMENT**

NUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3893	010	4646 Lindell		M	E	Conservation/Redevelopment
	020	4630 Lindell		M	E	"
	030	4616 Lindell		R	E	"
	040	4600 Lindell		I	E	"
	050	4540 Lindell		I	E	"
	055	4532 Lindell		I	E	"
	060	4522 Lindell		I	E	"
	070	45-- Lindell		I	E	"
	130	4579 West Pine		O(●)	E	"
	140	4585 West Pine		O	E	"
3900	281+	4440 Lindell		R	E	"
	2810	"	1L	"	"	"
	2820	"	201	"	"	"
	2830	"	202	"	"	"
	2840	"	203	"	"	"
	2850	"	204	"	"	"
	2860	"	301	"	"	"
	2870	"	302	"	"	"
	2880	"	303	"	"	"
	2890	"	304	"	"	"
	2900	"	401	"	"	"
	2910	"	402	"	"	"
	2920	"	403	"	"	"
	2930	"	404	"	"	"
2940	"	501	"	"	"	

Pierre Chouteau Condominium

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3900	281+	4440 Lindell		R	E	Conservation/Redevelopment
(cont.)	2950	"	502	"	"	"
	2960	"	503	"	"	"
	2970	"	504	"	"	"
	2980	"	601	"	"	"
	2990	"	602	"	"	"
	3000	"	603	"	"	"
	3010	"	604	"	"	"
	3020	"	701	"	"	"
Pierre Chouteau Condominium	3030	"	702	"	"	"
	3040	"	703	"	"	"
	3050	"	704	"	"	"
	3060	"	801	"	"	"
	3070	"	802	"	"	"
	3080	"	803	"	"	"
	3090	"	804	"	"	"
	3100	"	901	"	"	"
	3110	"	902	"	"	"
	3120	"	903	"	"	"
	3130	"	904	"	"	"
	3140	"	1001	"	"	"
	3150	"	1002	"	"	"
	3160	"	1003	"	"	"
	3170	"	1004	"	"	"
	3180	"	1101	"	"	"
	3190	"	1102	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3900	281+	4440 Lindell		R	E	Conservation/ Redevelopment
(cont.)	3200	"	1103	"	"	"
	3210	"	1104	"	"	"
	3220	"	1201	"	"	"
	3230	"	1202	"	"	"
	3240	"	1203	"	"	"
	3250	"	1240	"	"	"
Pierre Chouteau Condominium	3260	"	1401	"	"	"
	3270	"	1402	"	"	"
	3280	"	1403	"	"	"
	3290	"	1404	"	"	"
	3300	"	1501	"	"	"
	3310	"	1502	"	"	"
	3320	"	1503	"	"	"
	3330	"	1504	"	"	"
	3340	"	1601	"	"	"
	3350	"	1602	"	"	"
	3360	"	1603	"	"	"
	3370	"	1604	"	"	"
	3380	"	1701	"	"	"
	3390	"	1702	"	"	"
	3400	"	1703	"	"	"
	3410	"	1704	"	"	"
3907	080	4344-46 Lindell		R	E	"
	090	4340-42 Lindell		R	E	"

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3907	100	4336-38 Lindell		R	E	Conservation/Redevelopment
(cont.)	110	4334 Lindell		R	E	"
	120	4332 Lindell		R	E	"
	130	4328 Lindell		R	E	"
	140	4322 Lindell		R	E	"
	150	4320 Lindell		R	E	"
	160	4316 Lindell		R	E	"
	170	4314 Lindell		R	E	"
	190	4301 West Pine		O(●)	E	"
	195	"		"	"	"
	200	"		"	"	"
	210	"		"	"	"
	290	4353 West Pine		R	E	"
	300	4355 West Pine		R	E	"
	310	4359 West Pine		R	E	"
	320	4373 West Pine		NH	E	"
3884	010	30-46 N. Kingshighway		R	E	"
	070	4900 Buckingham Court		M(●)	E	"
	201+	4-20 N. Kingshighway		R	E	"
A-B-C Condominium	2010	"	1-A-N	"	"	"
	2020	"	1-A-S	"	"	"
	2030	"	1-B-N	"	"	"
	2040	"	1-B-S	"	"	"
	2050	"	1-C-N	"	"	"
	2060	"	1-C-S	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action CONSERVATION/REDEVELOPMENT

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3884	2070	4-20 N. Kingshighway	1-D-N	R	E	Conservation/Redevelopment
(cont.)	2080	"	1-D-S	"	"	"
	2090	"	2-A-N	"	"	"
	2100	"	2-A-S	"	"	"
	2110	"	2-B-N	"	"	"
	2120	"	2-B-S	"	"	"
	2130	"	2-C-N	"	"	"
	2140	"	2-C-S	"	"	"
	2150	"	2-D-N	"	"	"
	2160	"	2-D-S	"	"	"
	2170	"	3-A-N	"	"	"
A-B-C Condominium	2180	"	3-A-S	"	"	"
	2190	"	3-B-N	"	"	"
	2200	"	3-B-S	"	"	"
	2210	"	3-C-N	"	"	"
	2220	"	3-C-S	"	"	"
	2230	"	3-D-N	"	"	"
	2240	"	3-D-S	"	"	"
	2250	"	4-A-N	"	"	"
	2260	"	4-A-S	"	"	"
	2270	"	4-B-N	"	"	"
	2280	"	4-B-S	"	"	"
	2290	"	4-C-N	"	"	"
	2300	"	4-C S	"	"	"
	2310	"	4-D-N	"	"	"
	2320	"	4-D-S	"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3884	201+	4-20 N. Kingshighway		R	E	Conservation/Redevelopment
(cont.)	2330	"	5-A-N	"	"	"
	2340	"	5-A-S	"	"	"
	2350	"	5-B-N	"	"	"
	2360	"	5-B-S	"	"	"
	2370	"	5-C-N	"	"	"
A-B-C Condominium	2380	"	5-C-S	"	"	"
	2390	"	5-D-N	"	"	"
	2400	"	5-D-S	"	"	"
	2410	"	6-A-N	"	"	"
	2420	"	6-A-S	"	"	"
	2430	"	6-B-N	"	"	"
	2440	"	6-B-S	"	"	"
	2450	"	6-C-N	"	"	"
	2460	"	6-C-S	"	"	"
	2470	"	6-D-N	"	"	"
	2480	"	6-D-S	"	"	"
3892	040	4542 West Pine		I	E	"
	050	4536 West Pine		NH(●)	E	"
	060	4530 West Pine		R	E	"
	070	4520 West Pine		V/ ^{Att} R	E	"
	080	4512 West Pine		I	E	"
	090	4500-08 West Pine		O	E	"
3885	010/ 090	18 S. Kingshighway		R	E	"

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE	PROPOSED	Treatment
				Existing Use	Existing Zoning	
3903	020	4488 Forest Park Blvd.		I	E (see also)	Conservation/Redevelopment
	010	4498 Forest Park Blvd.		0(●)	E (Action Area 24)	"
	030	4444 Forest Park Blvd.		0	H	"
3887	S. Part 080	311 S. Euclid	Jewish Hospital Parking Garage	I(●)	E	"
3970	070	Rear portion of Blue Cross site, between Duncan and N & W Railroad right-of-way.		0(●)	H	"

OTHER CONSERVATION/REDEVELOPMENT PROPERTIES:

In addition to the preceding properties, a number of other properties which are located within Action Areas have been given the designation of "Conservation/Redevelopment." Such properties are listed in this Appendix under the specific Action Area in which they are located.

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3885	020	4960 Laclede		NH	E	Conservation/Redevelopment
	150	4937 Forest Park Blvd.		I(●)	E	"
	160	4949 Forest Park Blvd.		I	E	"
	170	4957-67 Forest Park Blvd.		I	E	"
	180	"		"	"	"
3891	140	4518 Laclede		O(●)	E	"
	130	4522 Laclede		O(●)	E	"
	120	4526 Laclede		O(●)	E	"
	170	4503-11 Forest Park Blvd.		O(●)	H	"
	180	"		O	H	"
	200	4545 Forest Park Blvd.		R(●)	E	"
	210	"		R(●)	E	"
	220	"		R	E	"
	230	"		R	E	"
	240	"		M	H	"
3887		4900 Forest Park		I	H	"
3890	190	4529-39 Parkview		I	E	"
	200	"		"	"	"
	210	"		"	"	"
	220	"		"	"	"

WUMCRC DEVELOPMENT PLAN

Type of Action
CONSERVATION/REDEVELOPMENT

**REDEVELOPMENT
CORPORATION**
AT WASHINGTON UNIVERSITY MEDICAL CENTER

AS REVISED, August, 1984

Block No.	Parcel No.	Address	Condo or Townhouse Unit	NO CHANGE PROPOSED		Treatment
				Existing Use	Existing Zoning	
3903	020	4488 Forest Park Blvd.		I	E (see also)	Conservation/Redevelopment
	010	4498 Forest Park Blvd.		O(●)	E (Action Area 24)	"
	030	4444 Forest Park Blvd.		O	H	"
3887	S. Part 080	311 S. Euclid	Jewish Hospital Parking Garage	I(●)	E	"
3970	070	Rear portion of Blue Cross site, between Duncan and N & W Railroad right-of-way.		O(●)	H	"

OTHER CONSERVATION/REDEVELOPMENT PROPERTIES:

In addition to the preceding properties, a number of other properties which are located within Action Areas have been given the designation of "Conservation/Redevelopment." Such properties are listed in this Appendix under the specific Action Area in which they are located.

APPENDIX B

INTRODUCTION	B-1
SET A Standards	B-3
SET B Standards	B-12

MINIMUM PROPERTY STANDARDS
Washington University Medical Center Redevelopment Plan and Program

All properties, including residential, commercial and institutional properties, shall comply with all applicable municipal ordinances, codes, standards and regulations of the City of St. Louis, and with the provisions of this Revised Development Plan. In addition, the following two sets of minimum standards shall be used to determine the need for rehabilitation of such existing properties and to provide a common and consistent standard of compliance for rehabilitation. Set A Minimum Property Standards shall govern all portions of the redevelopment area north of U.S. Highway 40, while Set B which are the standards contained in the original Development Plan, shall apply to those properties in the redevelopment area south of Highway 40. Since both sets of standards have been written with typical properties in mind, the redevelopment corporation reserves the right to apply supplementary standards in the case of buildings or properties which are substantially atypical in size, configuration, use, location in relation to other structures, or architectural character.

The purpose of these standards is primarily to regulate the aesthetic and economic aspects of real estate development rather than to provide a complete set of building design and construction standards. Therefore, any references to the public health and safety are incidental. These aspects of construction are the responsibility of the ordinances, codes and regulations of the City of St. Louis, which, when in conflict, take precedent over these standards.

Set A Minimum Property Standards are significantly above and beyond the level of those contained in the applicable City building and property maintenance codes whose enforcement is the responsibility of the City. They describe the level of building and site conditions which are generally necessary in order that a property be deemed in compliance with the Revised Development Plan. Property which is, in any way, below these standards is judged to be detrimental to the achievement of the goals for the area by diminishing the desirability and marketability of surrounding properties or by discouraging investment in the area by those who would improve properties to the level of tax abatement. The standards are organized as follows:

- 1.0 Structure
- 2.0 Roofs
- 3.0 Exterior Walls
- 4.0 Windows, Doors and Trim
- 5.0 Exterior Stairs
- 6.0 Insulation
- 7.0 Heating, Ventilating and Air Conditioning (HVAC)
- 8.0 Plumbing
- 9.0 Electrical Systems
- 10.0 Kitchens
- 11.0 Baths
- 12.0 Interior Finishes
- 13.0 Basements
- 14.0 Site Development
- 15.0 Colors and Materials
- 16.0 Dwelling Unit Configuration

Set B Minimum Property Standards to be applied in the portion of the redevelopment area south of U.S. Highway 40, are not significantly beyond the City's building and property maintenance codes and regulations. However they will serve as a less complicated indicator of acceptable property condition. The Developer will look to the City to enforce the City codes vigorously and to follow through in prosecution of those who will not comply.

For all portions of the redevelopment area, additional and/or higher design criteria, guidelines and property standards shall be established to guide the granting of tax abatement for both new construction and rehabilitation, and such standards shall be formulated during 1985-86 in consultation with the WUMCRC Citizen Advisory Committee and the neighborhood improvement association which represents the area south of U.S. Highway 40. When such standards have been approved by these respective organizations, they shall be publicly disclosed. Until that time, the Developer shall continue to review proposed improvements as in the past and in doing so will consult with the Citizen Advisory Committee and with the improvement association for their advice and recommendations.

WUMCRC

SET A: MINIMUM PROPERTY STANDARDS . . .
FOR ALL PORTIONS OF THE
REDEVELOPMENT AREA NORTH OF U.S. HIGHWAY 40

1.0 Structure

- 1.1 All structural components of the building are to be physically sound. The above grade structure and foundation shall be safe and sound in all respects, and all conditions of settlement, dampness, leakage, decay, insect infestation and damage or other conditions impairing the safety or structural integrity of the building shall be corrected in a permanent way.
- 1.2 Floor and roof framing must be structurally sound, not noticeably deformed, broken or rotted; free of termite damage and performing in the way it was originally intended when the building was built.
- 1.3 In concealed areas particularly subject to damage, the redevelopment corporation may, where evidence of damage appears on the surface, require the temporary and partial removal of interior concealing surfaces so that an inspection can be made. These areas include bathroom and kitchen floor joists, roof framing at parapets and floor framing adjacent to or below any evidence of water leakage, deformation, fallen lath or plaster, or evidence of repeated repair.
- 1.4 All deteriorated structural members must be replaced or appropriately reinforced. A city building permit for this work must be obtained.

2.0 Roofs

- 2.1 Roofs of all types are to be water tight and where visible from below are to appear even and without substantial visible evidence of repair. Gutter and downspout systems shall be connected to the building drainage system and are to function as originally intended and to show no evidence of major repair.
- 2.2 Flat roofs which have not been re-roofed repeatedly or which show only minor incidence of surface separation must be repaired by an experienced and reputable roofing company. All others in worse condition must be stripped and re-roofed.
- 2.3 Sloped roofs may be repaired as long as virtually identical surface materials can be found and installed in the original manner and as long as the substructure of the roof is in good condition. Otherwise complete replacement will be required, including substructure if necessary, with materials of compatible scale and color.

- 2.4 All dead air spaces in roofs must be ventilated by means consistent with the city's building code as it governs new construction.
- 2.5 All flat roofs must be flashed with metal along all parapets or other elements projecting above the roof surface. Small diameter vents may employ pitch pockets for this purpose.
- 2.6 Deteriorated gutters, downspouts and their hangars and supports must be replaced in their entirety. No plain aluminum or unpainted galvanized steel shall show on the exterior of the building.

3.0 Exterior Walls

- 3.1 All changes in the exterior walls of buildings which involve shifting, leaning, bulging, slipping, or bowing of facade elements, such as wall surfaces, sills, parapets, cornices, eaves, small roofed areas or lintels shall have both the cause and the surface condition repaired in a permanent way.
- 3.2 The acceptability of sand/cement stucco wash or other covering or parging for masonry walls will be considered as acceptable only if it is in excellent condition without any cracks or spalled areas and has been in place for more than five years. Otherwise, the original wall material will have to be completely revealed and repaired for use as originally intended. Only if this original wall material is unrepairable, will the use of new covering material be allowed.
- 3.3 Exterior walls of all materials must be weathertight. All joints must be filled with the appropriate type of material. In the case of masonry, tuckpointing must be done in all areas where mortar is deteriorated to a depth of more than 1/4 of an inch. Tuckpointing materials, color and technique shall match the existing, as shall any bricks or other facade units used in repair or replacement.
- 3.4 Masonry infill of window openings is not acceptable on the principal facade of the building except for basement windows. When done, it shall not present an obtrusive appearance and shall use materials that match the original construction of the wall.

4.0 Windows, Doors and Trim

- 4.1 All windows must have fully-glazed operable sash, screens and storm windows. All window hardware, sash, rails, frames and sills must be in sound condition and smoothly finished.
- 4.2 Windows may be refurbished, replaced with windows similar to existing, or have wood or metal storm sash added to fulfill the above criteria.
- 4.3 Storm sash cannot be in plain or natural aluminum and must have a vinyl, anodic or paint finish which is compatible with other trim colors on the building. Wood window frame surrounds may be refinished or be covered with aluminum or vinyl to accomplish the above criteria.

- 4.4 No iron guards should be installed in windows on occupied floors.
- 4.5 On the primary facade, all windows must be treated in the same way to achieve the above criteria.
- 4.6 All exterior doors and frames must be physically sound. Surfaces must be smooth and well finished. Doors must be weather-stripped and have at least one locking device not requiring a key from the inside.
- 4.7 Dwelling units without central air conditioning must have screen doors on all exterior doors. Certain front entries may be exempt from the use of screen doors if they have architecturally significant front doors.
- 4.8 All exterior wood trim, fascias and soffits must be physically sound and smoothly finished with crisp edges. If trim cannot be reconditioned to this level, it must be replaced to match the original configuration and detail.
- 4.9 Storefronts and other commercial or institutional facades must fulfill the same criteria as other windows and doors with the exception of operable sash. All areas intended originally to be glazed shall be glazed with transparent glass.
- 5.0 Exterior Stairs
- 5.1 Stairs and handrails must be structurally sound, free of rust and smoothly finished. Plastic, epoxy or other means of repair, except steel, are not permitted on steel stairs.
- 5.2 Stone and masonry stairs must be structurally sound, level and have all mortar intact.
- 5.3 Replacement stairs and rails in wood must be architecturally compatible with the existing building in both style and color. Treated wood must be used.
- 6.0 Insulation
- 6.1 Top floor ceilings must be insulated to R-30 using any reasonable means.
- 6.2 Any new construction, renovation or equipment added to buildings to conform to these standards shall be energy efficient as per contemporary prevailing design, construction and equipment standards.

7.0 Heating, Ventilating and Air Conditioning (HVAC)

- 7.1 Existing steam or hot water heating systems may have their piping, radiators and valves retained if they are in fully functioning condition without any leaks. Furnaces or boilers must be in good operating condition, gas or oil fired or electric. Gravity fed warm air systems are not permitted although the duct runs may be reused if a contemporary forced air furnace is installed.
- 7.2 All components of HVAC systems must be concealed unless they have been planned to be part of a design theme. No exposed ducts, pipes, air handling units, or furnaces will be allowed in dwelling units unless they are specifically designed to integrate these elements in the overall visual design of the unit.
- 7.3 If window air conditioners remain in place throughout the year, they must be securely, attractively and permanently mounted. Their installation must not prevent the use or preclude the effectiveness of storm windows. Window units may not be used on the primary facade of a building with the exception of habitable rooms which have no other exposure.
- 7.4 Ventilation must be provided for kitchens and bathrooms by either natural or mechanical means.

8.0 Plumbing

- 8.1 Each dwelling unit shall have safe and adequate plumbing facilities and fixtures in good repair for the supply of both hot and cold water, and for the disposal of waste water to sinks, water closets, showers, tubs and appliances. All piping, joints and valves must be sound and show no evidence of leaking or corrosion. Adequate water pressure must be available at all fixtures.
- 8.2 Each unit shall contain at least one kitchen sink, one bathroom sink and, if the unit or building includes a basement, one basement sloop sink with full hookup for an automatic clothes washer and either a gas or electric hookup suitable for use by an automatic clothes dryer.
- 8.3 Each dwelling unit shall have an automatic water heater with storage capacity of 30 gallons (20 gallons per unit for additional units in multiple family buildings).

9.0 Electrical System

- 9.1 Each single family dwelling must have a 100 amp minimum electrical panel with adequate primary entry service to permit full panel utilization. Single family dwellings must have a minimum of 125 amp service if both electric range and air conditioners are to be used. Multiple family buildings must have 100 amp minimum electrical service available for each dwelling unit.

- 9.2 If existing wiring is in use, it must be circuited to conform to the building code. At least two convenience outlets must be available in each habitable room.
- 9.3 Two grounded appliance outlets must be provided in each kitchen and one outlet with ground fault interrupter must be provided in each bathroom.
- 9.4 If central air conditioning is not provided, grounded convenience outlets circuited for simultaneous window air conditioner use shall be provided in at least half of the habitable rooms. Outlets shall be located on an outside wall. Outside wired conduit must be painted to match the exterior wall color. No outside conduit may be used on the street facade of the building unless unfeasible to accomplish otherwise.

10.0 Kitchens

- 10.1 Each dwelling unit shall have a specific kitchen room containing a sink, adjacent counter work space, utensil and perishable food storage, and space and hookups for installing contemporary range and refrigerator.
- 10.2 The range location shall include either a natural gas or 220V appliance outlet.
- 10.3 Counter space shall be provided adjacent to both the sink and the range. Dish storage space shall be provided adjacent to the sink. Each counter area shall be served by at least one grounded appliance outlet.
- 10.4 Each kitchen shall contain ceiling mounted and wall switch operated electric lighting suitable for performing food preparation tasks.
- 10.5 Counter surfaces and floors shall be covered with permanently installed waterproof materials with tight seams and no evidence of cracking or loss of adhesion.
- 10.6 All wall surfaces must be covered with water resistant materials or semi-gloss paint in good condition and suitable for damp wiping as a cleaning method.

11.0 Baths

- 11.1 Complete bathing and sanitary facilities shall be provided within each dwelling unit. All fixtures and piping shall be in fully operating condition without any evidence of leaks or patching and repair.
- 11.2 Each unit shall have a built-in shower with full tub/shower surround of waterproof material with tight, caulked joints to a height of 6'-0" above the floor and a properly mounted shower curtain rod. Historically important fixtures such as claw foot tubs may be exempt from the use of full tub/shower surrounds. In these cases, shower curtain rings will be acceptable.

- 11.3 Bathroom fixtures and tub/shower surround shall be without cracks, chips or rust stains or may be repaired providing a smooth finished surface.
- 11.4 Each bathroom shall have a built-in counter surface or pedestal sink of waterproof material and a built-in cabinet for the storage of medicines located over 4'-0" from the floor and a permanently installed face height mirror.
- 11.5 Bathroom walls and ceiling shall be covered with waterproof material with tight or caulked joints or be painted with semi-gloss paint suitable for damp wiping as a cleaning method.
- 11.6 Bathroom floors shall be covered with waterproof material with tight or caulked joints.
- 11.7 Each bathroom shall have a ceiling or wall mounted light fixture controlled by a permanent wall switch.

12.0 Interior Finishes

- 12.1 Walls and ceilings must be smooth, sound, and visually attractive. Wall surfaces may only be patched if lath and plaster are firmly bonded to the wall structure with no bulges, sags, hollow spots or shifts which bring part of the wall out of place. No evidence of patching may exist after the repair is made. Walls must either be painted or skillfully covered with wall paper.
- 12.2 All areas showing interior water marks must have damaged plaster and lath removed and replaced or treated.
- 12.3 Walls which cannot be repaired as described above must be replaced by or covered with drywall shimmed to create a smooth and planar ceiling or wall. When new drywall is used, all wood trim must be replaced to appear as original including the addition of carefully fitted spacers.
- 12.4 All woodwork must be physically sound and firmly attached. Its surface must be smoothly finished and free of chips, cracks or evidence of patching, repair or numerous coats of paint. Woodwork in less than this condition must be replaced to match the original.
- 12.5 All doors shall have fully functioning hardware.
- 12.6 Wood floors must be in good condition without damage, looseness or surface degradation. Permanently installed carpeting shall be placed over tight subfloor with no evidence of looseness or give in either the carpet or floor.
- 12.7 Resilient flooring or other similar finishes will be permitted only in kitchens, bathrooms, informal family rooms, storage areas or entry halls. Other habitable rooms must have wood floors or permanently installed carpeting.

12.8 All interior stairs shall be in safe and sound condition without any loose treads, risers, balustrades or railings. Beneath all stairways there shall be a cover of non-combustible material with the exception of those stairways providing access to unimproved basements.

13.0 Basements

13.1 Basement must be free from leakage or any evidence of repeated water penetration or excessive moisture.

13.2 Basements must have at least one permanently mounted light fixture which is operated from a wall switch on the first floor of the building.

13.3 All basement windows and doors must have locking devices to prevent unauthorized access.

14.0 Site Development

14.1 General site appearance shall be clean, neat and functional while avoiding a barren or unlandscaped look.

14.2 All site areas shall be properly graded and provided with surface or subsurface drainage to carry storm water from the roof surfaces and the site. Such drainage shall not lead to adjacent properties.

14.3 Exterior elements such as fences, drives and retaining walls shall be in safe and attractive condition. All parking spaces shall be paved, lighted and well drained. No new chain link fence is permitted on residential properties. Where it currently exists, it may be retained only behind the front facade of the building and then only if painted or vinyl clad. This shall apply to chain link fence on commercial or institutional property as well. No fences will be allowed in front yards except at abrupt grade changes.

14.4 Walks and steps shall be provided for access to both front and rear of each building and for a connection between the front and rear yards.

14.5 All open areas and yards shall be properly landscaped and maintained to provide a visually attractive environment. All site surface shall either be paved as needed for walks, drives and patios or shall be planted with grass or some form of ground cover. Lawn areas shall be free of bare spots, large areas of dead grass, muddy areas, depressions or eroded areas.

14.6 Outbuildings and garage exteriors, car ports, porches and decks shall be improved or maintained in the same condition as the main building on the site. In the event of major renovation or new construction, all aesthetic issues such as roofing, exterior wall color, building shape and style, and window type and pattern shall reflect the architecture of the main building.

- 14.7 All garage door openings shall have functioning vehicle or person doors.
- 14.8 Existing plant materials shall be maintained in good, healthy condition. Any dead limbs or plants shall be removed. Tree branches overhanging the public sidewalk shall be kept trimmed at least 8'-0" above the sidewalk. Shrubbery adjacent the sidewalk shall not protrude beyond the sidewalk edge.
- 14.9 Landscape materials not permitted to show in front yards are plastic, fiberglass, aluminum, used railroad ties, and untreated wood.
- 15.0 Colors and Materials
- 15.1 Existing colors and materials must be appropriate to the use of a building, the architectural style, and they must be in harmony with other parts of the building and with the surrounding buildings.
- 15.2 Bright colors and bold patterns on large exterior areas of a building will not be permitted nor shall any painting of previously unpainted brick be allowed.
- 15.3 Materials used shall be those of the existing building. Generally, materials such as plastic, fiberglass, epoxy, stucco and sand-cement washes are not allowed.
- 16.0 Dwelling Unit Configuration
- 16.1 Access to all parts of a dwelling unit shall be possible without passage through any other dwelling unit or through a hall which is part of or which gives access to another dwelling unit.
- 16.2 Access to any sleeping room may not be through another sleeping room. Access to any habitable room for general dwelling unit use may not be through a sleeping room.
- 16.3 Closet space for clothes shall be provided in each dwelling unit and be sized for not less than twelve square feet of shelf space for the first bedroom, plus six square feet of shelf for each additional bedroom. Each clothes closet shall be equipped with an adequate clothes hanging rod. Clothes storage not within the bedroom itself must be accessible without passing into or through another sleeping room or habitable room except a hallway.

- 16.4 Additions to or reconstruction on the exterior of the building including but not limited to the porches, eaves, rooms, roofs, walls, parapets, cornices and outbuildings shall be architecturally compatible with the existing style of the buildings. When these additions exist on the street side of the building and they are not architecturally compatible in construction technique, form, detail or materials, they will have to be removed and the facade returned to its original condition including any patching or replacement of building elements or detail which is required to accomplish this.
- 16.5 Parts of the existing building such as porches, entrance canopies, stairs, roofs, parapets, or cornices or miscellaneous trim which have been removed from the building in the past will require replacement in their original configuration and detail if they are visible on the street side of the building.

1.0 INTERIOR ELEMENTS

- 1.1 General Structural Conditions - The structural members and foundation of each structure shall be safe and sound in all respects, and all conditions of continuing settlement, dampness, leakage, decay, termites or other conditions impairing the safety or sanitation of any structure shall be corrected.
- 1.2 Walls, Floors, and Ceiling Construction - Existing wall, floor and ceiling construction separating living units or separating a living unit from a public hallway or other party or lot line walls should be constructed in accordance with the BOCA Basic Building Code. These and all other partitions of interior walls shall be in safe and sound condition and shall be properly painted or decorated. All floors shall have a finish appropriate to the use of the space and shall provide reasonable durability and economy for maintenance.
- 1.3 Kitchen and Bathroom Walls and Floors - Wall surfaces in kitchen and bathroom areas where subject to splash or spillage of water shall be protected by waterproof covering to prevent the entrance of moisture into the wall. Kitchen and bathroom areas shall have floors of a durable and waterproof material. All other floors shall have a finish appropriate to the use of the space and provide reasonable durability and economy for maintenance.
- 1.4. Stairs - All interior stairs shall be in safe and sound condition, and the undersiding of all flights of wood stairs shall be covered by a non-combustible material.
- 1.5 Layout and Circulation - Access to all parts of a dwelling unit shall be possible without passage through any other dwelling unit or through a hall which is part of or which gives access to another dwelling unit.
- 1.6 Kitchen Facilities - Each dwelling unit shall have a specific kitchen space containing a sink with counter work space and having hot and cold running water and adequate space for installing cooking and refrigeration equipment for perishable foods and for the storage of cooking utensils and non-perishable foods.
- Ventilation shall be provided for kitchens by mechanical or natural means. Where a kitchen is not separated from the living room by partitions, door or permanent screen, or where kitchen does not have an operating window, mechanical ventilation shall be provided.
- 1.7 Bathing and Sanitary Facilities - Complete bathing and sanitary facilities shall be provided within each dwelling unit and shall comply with the applicable provisions of the municipal codes. Every bathroom shall have an operating window or shall be served by mechanical ventilation.

- 1.8 Closets and Storage - Closet space for clothes shall be provided in an appropriate and adequate enclosure within each dwelling unit and include storage space on the basis of not less than 12 square feet of shelf for the first bedroom, plus six square feet of shelf for each additional bedroom. Each clothes closet shall be equipped with a rod adequate for hanging clothes. Where separate closets for each existing bedroom are not possible, a closet elsewhere within the dwelling may be acceptable, providing the minimum area is obtained and is reasonably accessible to the bedroom. Provisions for storage of recreation, play and maintenance equipment shall be provided within the structure or in a protected exterior situation.

2.0 MECHANICAL SYSTEMS

- 2.1. Plumbing - Each dwelling unit shall have safe and adequate operating plumbing facilities for the supply of both hot and cold water, for the disposal of waste water for sinks, water closets, showers, tubs and appliances.
- 2.2 Electricity - Each dwelling unit shall be provided with electrical service and interior distribution lines which are both safe and adequate to meet reasonable contemporary standards of power usage and for the size and characteristics of each dwelling unit.
- 2.3 Gas - Gas service lines, connections and appliances shall meet all applicable contemporary safety standards.
- 2.4 Hot Water Storage - Each building or dwelling unit shall have water heating and storage equipment in servicable condition supplying hot water on the basis of 30 gallons of storage capacity for each additional dwelling unit. Where replacement or installation is required, automatic equipment shall be installed.
- 2.5 Ventilation - Openings providing ventilation in any habitable room shall have an area of not less than 5% of the floor area of the habitable space except for bathrooms and kitchens which may be served by mechanical ventilation.
- 2.6 Mechanical Circulation of Air - Air that is exhausted from or circulated within a dwelling unit by mechanical heating, cooling or ventilating equipment shall not be passed from that dwelling unit to any other dwelling unit except that such interconnection may remain in an existing system serving not more than two living units, provided that an air purifier shall be installed and operable at all times.

3.0 EXTERIOR CONDITIONS

All of the following shall apply to accessory or out-buildings on residential property as well as to the principal residential structures:

- 3.1 General Structure - All structural members, walls, foundations of each structure shall be safe and sound in all respects, and all conditions of continuing settlement, dampness, leakage, decay or termites or other conditions impairing the safety or sanitation of any structure shall be corrected.

- 3.2 Exterior Finish and Siding - All exterior walls shall be properly maintained, including cleaning, repairing and painting wood, metal or composition siding and trim, and tuckpointing shall be done on masonry walls and chimneys as necessary.
- 3.3 Eaves, Cornices, Parapets and Chimneys - All such projecting roof edge elements shall be maintained in a safe and functional condition for each structure.
- 3.4 Gutters and Downspouts - A complete and functioning roof drainage system shall be provided and maintained in a safe and functional condition for each structure.
- 3.5 Roof - All roofs shall be maintained in a sound condition both to protect the building interior and to prevent dangerous falling roof tiles or other materials.
- 3.6 Porches, Stairs and Fire Escapes - All such elements for building ingress and egress shall be maintained in a safe and sound condition.
- 3.7 Windows, Doors and Trim - All such elements shall be maintained in a safe and sound condition by painting, caulking and glazing, as appropriate, and all doors and windows shall be operable and provided with interior locking devices.
- 3.8 Walks, Driveways and Retaining Walls - All such exterior elements shall be maintained in a safe and attractive condition to avoid danger to pedestrians and vehicles and to be compatible with the surrounding neighborhood. All parking spaces shall be paved, landscaped, lighted and drained in a manner compatible with the development of the project as a whole.
- 3.9 Access to Building - Walks and steps shall be provided for safe, convenient, all-weather access to each structure.
- 3.10 Access to Exposed Walls - There shall be reasonable access to all exposed walls to enable proper maintenance of solid walls.
- 3.11 Landscaping - All open areas and yard shall be properly landscaped and maintained to provide a visually attractive environment, including lawn and ground covers, shrubbery, ornamental and flowering trees and shade trees, including those located within the tree lawns of adjacent public streets.
- 3.12 Grading and Drainage - All residential properties shall be properly graded and provided with surface or subsurface drainage to carry storm water from off of the roof surface of and away from the principal and any accessory structures and to avoid damage to any adjacent properties.
- 3.13 General Exterior Appearance - All structures shall be rehabilitated as necessary and maintained in a manner which is compatible with the general neighborhood environment, with adjacent structures and in accordance with any additional exterior design criteria, standards, or guidelines which are developed for the overall development area

4.0 EXTERIOR ALTERATIONS & DEMOLITION

Any major alteration to the exterior of a residential structure, including but not limited to the removal, addition, or reconstruction of porches, eaves, roofs, walls, chimneys, parapets or cornices shall be in accordance with all of the preceding standards.

APPENDIX C

NEEDED PUBLIC IMPROVEMENTS

The nearly \$400+ million invested in the redevelopment area by private investors and the Medical Center over the past decade, along with the further investment called for in this Revised Development Plan, will render the private property fully rejuvenated, as is the goal when a thoroughgoing redevelopment program is undertaken. The public right-of-way as well should reflect a thorough rejuvenation, and much has been done in this direction. However, other improvements are needed to complement the quality of adjacent private investment. This Appendix contains a specific list of what is still needed.

The Developer is aware that current Block Grant allocations for the City are shrinking and that there are numerous urgently needed improvements throughout the City. However, when sufficient public monies become available to accomplish the remaining needs in the WUMCRC area, the Developer assumes that the City will implement these improvements.

A rough estimate of the unit costs used for these end products are as follows:

Asphalt Overlay for Streets \$4.00/sq. yd.
 Curb/Gutter Construction \$25/l.f.
 Trees (planted) \$250/tree

--1/2 sidewalk cut \$38
 --1 sidewalk cut \$55

A. STREET WORK (including curbwork and alleys)

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
Newstead Avenue (between West Pine & Lindell)	Construct 500 l.f. new curb and gutters	\$8,200 construction \$4,300 trees (bid ready documents)
Euclid Avenue (from West Pine to Lindell)	Construct approx. 800 l.f. curb & gutter with associated resurfacing. Plant 22 trees.	\$17,700 construction (bid ready documents) \$6700 trees
Forest Park Blvd. (portion from Euclid to Taylor on south side only)	Construct approx. 600 l.f. curbs & gutters	\$16,400 construction (bid ready documents)
Laclede Avenue (between Euclid & Kingshighway)	Replace approx. 600 l.f. curb	\$1,100 design \$15,000 construction

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
Clayton Ave. (between Taylor and Newstead)	Construct approx. 900 l.f. curbs & gutters	\$31,820 construction (bid ready documents)
4500 Audubon	Resurface approx. 3,946 s.y. and construct approx. 1,586 l.f. curb	\$3,300 design \$55,500 construction
Euclid Avenue (South of Forest Park Blvd.)	Construct approx. 166 l.f. curbing and 660 s.y. sidewalk paving	\$6,800 construction
4500 Parkview	Construct 160 l.f. curbing	\$2,000 design \$4,000 construction
4500 Clayton	Resurface approx. 3,600 s.y. and construct approx. 1,500 l.f. curb & gutter	\$51,900 construction
Cadet (n.s. only) between Kingshighway and Manchester)	Construct approx. 560 l.f. new curbs & gutters	\$1,100 design \$14,000 construction
4300 Duncan	Reconstruct 728 l.f. curbing	\$1,100 design \$16,960 construction

B. ALLEYS (in some cases the resurfacing treatment requires techniques exceeding basic street resurfacing)

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
Between West Pine and Laclede (4300 block)	Apply approx. 2,333 s.y. resurfacing treatment	\$1,100 design \$12,700 construction
Between Lindell and West Pine from Euclid to Taylor	Apply approx. 2,267 s.y. resurfacing treatment	\$8,700 construction
Between West Pine and Laclede, from Newstead to Taylor	Apply approx. 2,333 s.y. resurfacing treatment	\$9,000 construction

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
Between Laclède and Forest Park Blvd. From Euclid to Taylor	Apply approx 1,340 s.y.	\$7,700 construction
From Taylor to Newstead	Apply approx. 2,080 s.y.	\$11,900 construction
From Elderly Housing to Boyle	Apply approx. 1,870 s.y.	\$6,400 construction
Between Oakland and Wichita, from Kingshighway to Taylor	Apply approx. 1,870 s.y.	\$7,200 construction
Between Wichita and Cadet, from Kingshighway to Taylor	Apply approx. 1,977 s.y	\$7,600 construction
Between Lindell and West Pine, from Taylor to Newstead, from Newstead to Boyle	Patching Patching	\$1,200 construction \$3,700 construction
Between West Pine and Laclède, from Euclid to Taylor	Patching	\$2,300 construction
Between Forest Park Blvd. and Duncan, from Blue Cross to Boyle	Patching	\$7,400 construction
Between Chouteau and Gibson, from Kingshighway to Taylor	Spot build-up and patching	\$3,100 construction
Between Gibson and Arco, from Kingshighway to Taylor	Spot build-up and patching	\$1,500 construction
Between Parkview and Audubon, from Euclid to Taylor	Resurface approx. 1,040 s.y.	\$4,000 construction
Between McKinley and Clayton, from Kingshighway to Taylor	Patch and repair	\$2,200 construction

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
Between U.S. Highway 40 and Chouteau, from Kingshighway to Taylor	Patch and repair	\$1,600 construction
CURBS, RESURFACING AND ALLEYS		
SUBTOTAL		\$357,180

C. TREE PLANTING

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
43-4400 West Pine	40 new trees @ \$250 each	\$10,000
Forest Park Blvd., from Kingshighway to Boyle (scattered)	40 trees @ \$250 each	\$10,000
Kingshighway, from West Pine to Forest Park Blvd. (scattered)	20 trees @ \$305 each (including sidewalk cuts)	\$6,100
Taylor, between Forest Park Blvd. and Laclede	13 trees @ \$290 each (several sidewalk cuts)	\$3,800
Newstead, between Forest Park Blvd. and Laclede	4 trees @ \$290 each (4 partial sidewalk cuts)	\$1,200
West Pine, between Kingshighway and Taylor	43 trees @ \$250 each	\$10,800
4500 Audubon	29 trees @ \$305 each 10 trees @ 250 each (29 sidewalk cuts)	\$11,300
4500 Parkview	31 trees @ \$305 each (all sidewalk cuts)	\$9,500
Kingshighway, between Parkview and Audubon	4 trees @ \$305 each (all sidewalk cuts)	\$1,200

<u>LOCATION</u>	<u>WORK DESCRIPTION</u>	<u>COST</u>
4400 Clayton	29 trees @ \$280 each (16 sidewalk cuts)	\$8,100
4900 Audubon	12 trees @ \$ 250 each	\$3,000
4300 Duncan	14 trees @ \$305 each (all sidewalk cuts)	\$4,200
4500 Scott	17 trees @ \$305 each (all sidewalk cuts)	\$5,200
4500 McKinley	25 trees @ \$305 each (all sidewalk cuts)	\$7,600
4500 Clayton	22 trees @ \$250 each	<u>\$5,500</u>
	TREE PLANTING	SUBTOTAL \$97,500
	STREET IMPROVEMENTS	TOTAL \$454,680
	Contingency (10%)	<u>\$45,468</u>
	GRAND TOTAL	\$597,648

SUMMARY -- Rough Cost of Needed Improvements

All Design Work ¹	\$ 9,700
All Street Work ²	347,480
All Tree Planting	97,500
Contingency (10%)	<u>45,468</u>
GRAND TOTAL	<u>\$597,648</u>

¹Final design (bid ready) documents have already been completed for four of the street projects as noted above, as well as for all tree planting.

²Includes trees from package items A-1-a, A-1-b, and A-1-c.

APPENDIX D

RESIDENTIAL PARKING ZONE
for the
Buckingham Court Residential Zone

An ordinance providing for the establishment of a Residential Parking Zone to be administered by the Traffic and Transportation Administrator and the License Collector of the City of St. Louis.

Section 1. The Traffic Code of the City of St. Louis is hereby amended as follows:

A. Definitions:

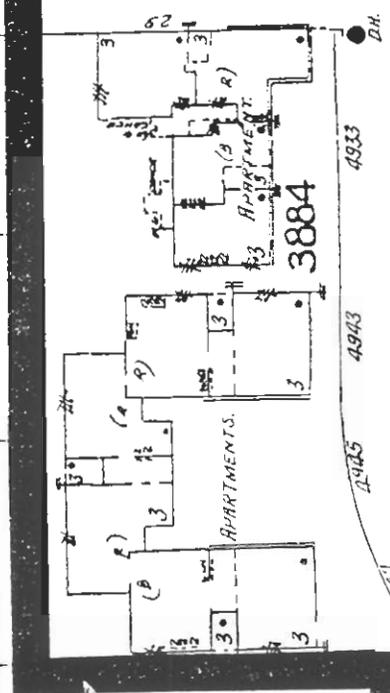
1. Residential Parking Zone. A Residential Parking Zone is any street or part thereof in the hereinafter defined Buckingham Court Residential Zone which is designated as such with a specified parking time limit.
2. Buckingham Court Residential Zone. The boundaries of the Buckingham Court Residential Zone are as follows:

"A tract of land in parts of City Blocks 3884, 3884a and 3884b more particularly described as follows: Beginning in City Block 3884 at a point of intersection 50' West of the West line of Buckingham Court with the Midline of Laclede Avenue, thence Eastwardly 450' along the Midline of Laclede Avenue to a point; thence Northwardly 140' along the East line of South Court to a point; thence Eastwardly 95' along a line 100' North of the North line of Laclede Avenue to a point; thence Northwardly 95' along a line 95' East of the East line of South Court; thence Eastwardly 75' along the South line of Buckingham Court to a point of intersection with the East line of Euclid Avenue; thence Northwardly 50' to a point of intersection with the North line of Buckingham Court; thence Eastwardly 267.5' along the North line of Buckingham Court to a point of intersection with the Midline of North Court; thence Northwardly 100' along the Midline of North Court to a point; thence Westwardly 242.5' along a line 100' South of the South line of West Pine Boulevard to a point; thence Southwardly 120' to a point; thence Westwardly 110' along a line 220' South of the South line of West Pine Boulevard to a point; thence Southwardly 265' to the point of beginning."

(See Map on the Following Page for Residential Zone Boundaries.)

3. Resident. A resident shall be any person living on property abutting a street designated as a residential parking zone and whose vehicle is registered at such address by the State of Missouri and the City of St. Louis.
4. Visitor. A visitor shall be any person who is a household guest of, a visitor to, a workman performing services for, or domestic help for a resident.

BUCKINGHAM COURT RESIDENTIAL ZONE



BUCKINGHAM CT

MEDICAL CENTER 1ST

FOREST PARK HOTEL

High-roof construction with a 5'00" partition walls, metal linoleum, PARTITIONS, HEAT, STEAM, LIGHTS, ELEC. S.

(Built 1926)

3884

3884A

W.P.P.E.

4900

4912

4915

4920

4925

4930

4935

4940

4945

4950

4955

4960

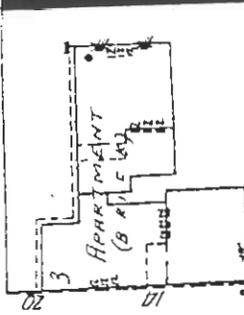
4965

4970

4975

4980

4985



3884B

OFF BLDG

RAMP TO R.F.

CONC. FLOOR & POSTS.

BR. WHEEL

STAIRS

4912

4915

4920

4925

4930



3884A

CONCRETE

APARTMENTS

CONSTR.

110' K

4931

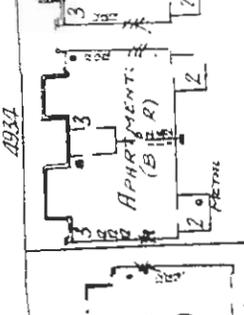
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4943

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4955

4961



3884A

CONCRETE

APARTMENTS

CONSTR.

110' K

4931

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4955

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3884A

CONCRETE

APARTMENTS

CONSTR.

110' K

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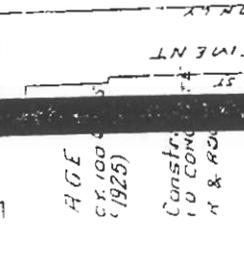
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4961



3884A

CONCRETE

APARTMENTS

CONSTR.

110' K

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SP

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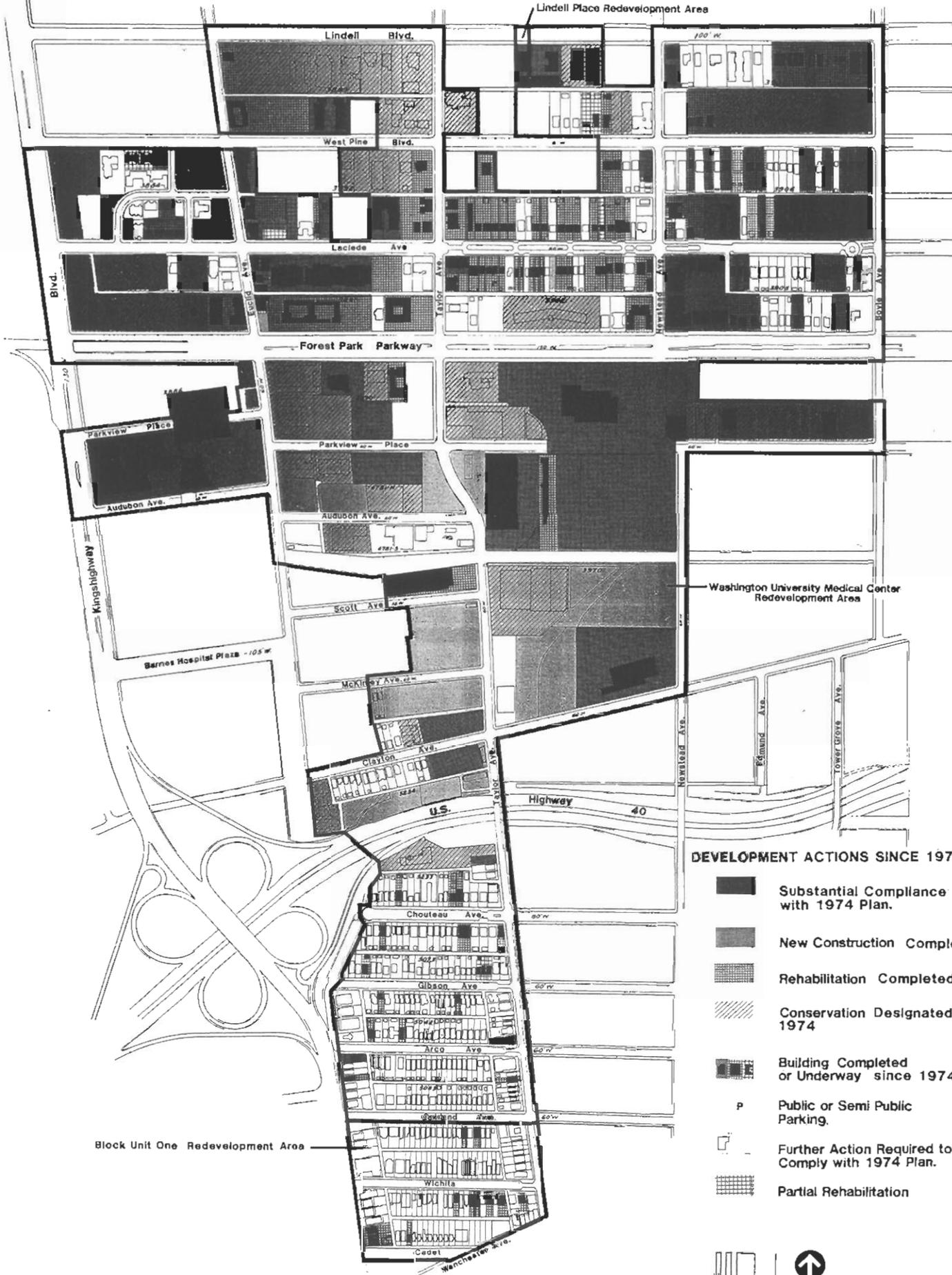
- B. Residential Parking Permit. On any street or portion thereof which is designated a residential parking zone, parking by a resident or a visitor with a valid resident or visitor parking permit in excess of the prescribed parking time limit will be permitted.
- C. Parking Permit. A resident or visitor parking permit issued in the Buckingham Court Residential Zone shall not be valid in any other residential zone.
- D. Issuance of Parking Permit. The License Collector of the City of St. Louis shall issue resident parking permits and visitor parking permits for the Buckingham Court Residential Zone to a resident of any building located within said residential zone.

Section 2. This ordinance shall be subject to the severability and emergency clauses as contained in Sections 7 and 9 respectively of the Agreement to the Ordinance which adopts this Revised WUMCRC Development Plan.

EXHIBITS

- 1 Development Status**
- 2 Land Use Plan**
- 3 Planned Development
Actions**

Lindell Place Redevelopment Area



DEVELOPMENT ACTIONS SINCE 1974

-  Substantial Compliance with 1974 Plan.
-  New Construction Comple.
-  Rehabilitation Completed
-  Conservation Designated in 1974
-  Building Completed or Underway since 1974
-  Public or Semi Public Parking.
-  Further Action Required to Comply with 1974 Plan.
-  Partial Rehabilitation



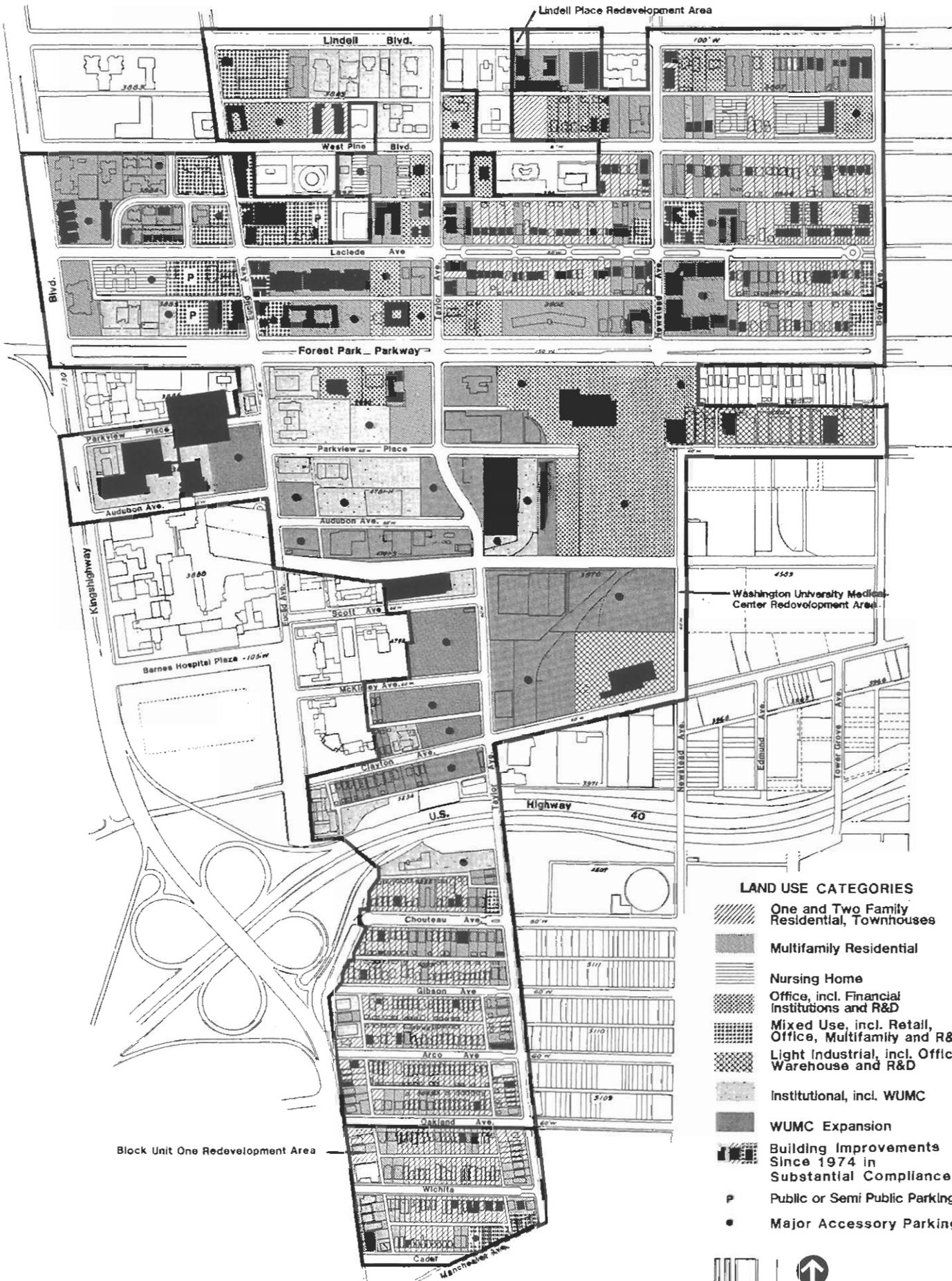
Exhibit 1

REDEVELOPMENT CORPORATION
 AT WASHINGTON UNIVERSITY MEDICAL CENTER
 4397 Leclade Avenue St. Louis, Missouri 63108

DEVELOPMENT STATUS

TeamFour
 Planning, Design and Development Consultants

April, 1985



LAND USE CATEGORIES

-  One and Two Family Residential, Townhouses
-  Multifamily Residential
-  Nursing Home
-  Office, incl. Financial Institutions and R&D
-  Mixed Use, incl. Retail, Office, Multifamily and R&D
-  Light Industrial, incl. Office, Warehouse and R&D
-  Institutional, incl. WUMC
-  WUMC Expansion
-  Building Improvements Since 1974 in Substantial Compliance
-  Public or Semi Public Parking
-  Major Accessory Parking

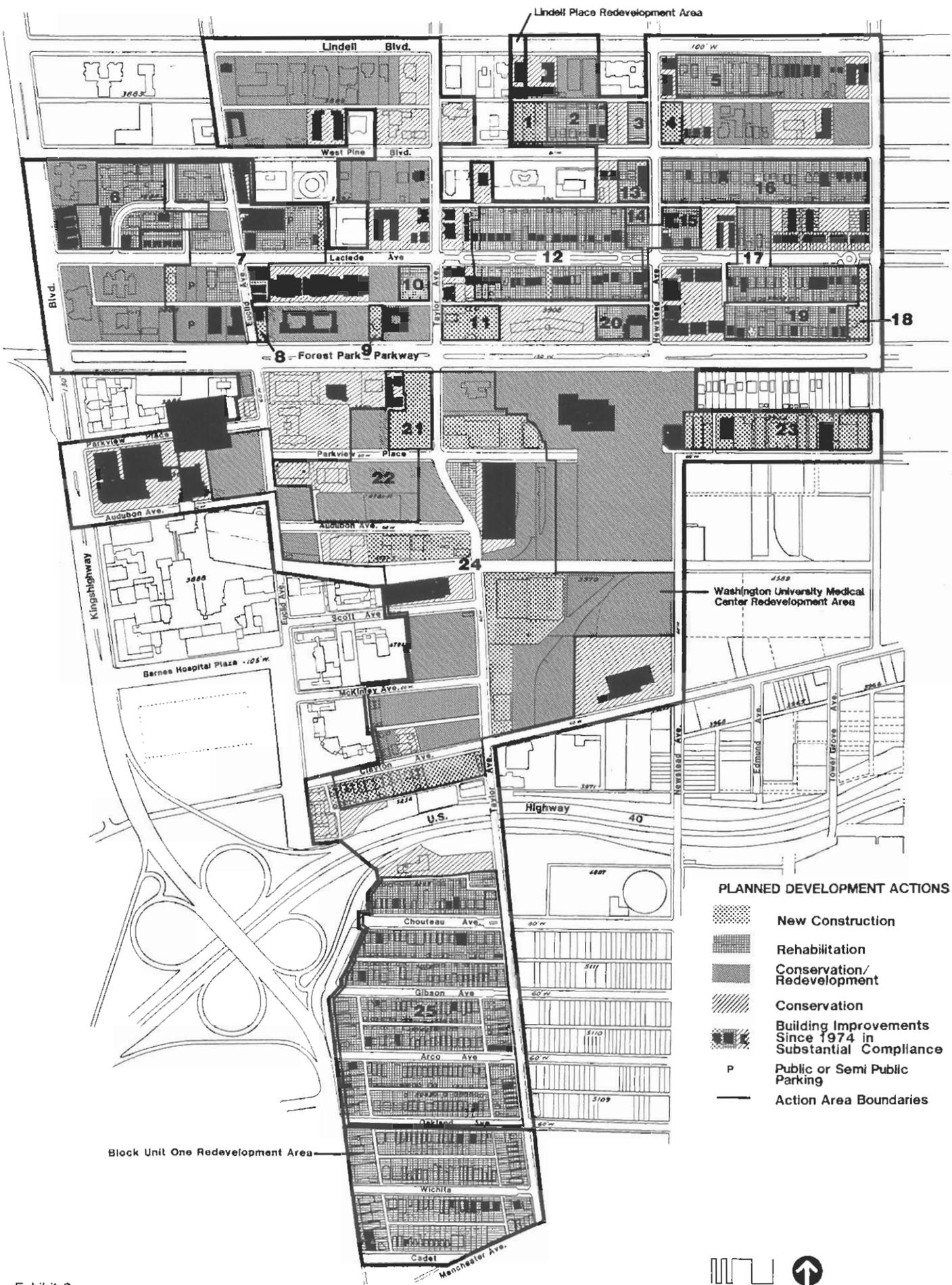


Exhibit 2

REDEVELOPMENT CORPORATION
 AT WASHINGTON UNIVERSITY MEDICAL CENTER
 4397A Leclade Avenue • St. Louis, Missouri 63108

LAND USE PLAN

TeamFour
 Planning, Design and Development Consultants



PLANNED DEVELOPMENT ACTIONS

-  New Construction
-  Rehabilitation
-  Conservation/Redevelopment
-  Conservation
-  Building Improvements Since 1974 in Substantial Compliance
-  Public or Semi Public Parking
-  Action Area Boundaries

Exhibit 3

REDEVELOPMENT CORPORATION

AT WASHINGTON UNIVERSITY MEDICAL CENTER
 4397A Laclede Avenue St. Louis, Missouri 63108

PLANNED DEVELOPMENT ACTIONS



TeamFour
 Planning, Design and Development Consultants