

BOARD BILL NO. 7 INTRODUCED BY ALDERMAN WILLIAM WATERHOUSE

1 An ordinance establishing and creating a Planned Unit Development District for a portion
2 of City Block 4613A (also known as City Block 4613.01) to be known as the "Dogtown Terrace
3 Townhomes Planned Unit Development District".

4 **Whereas**, the zoning ordinance of the City of St. Louis authorizes the establishment and
5 creation of Planned Unit Development Districts (PUD's), a special zoning "overlay" tool
6 authorizing the appropriate development of residential or commercial uses, or the combination
7 thereof, in the best interests of the City and to provide for a scale and flexibility of development
8 which could not otherwise be achieved through the existing single-use zoning districts, without
9 detriment to neighboring properties; and

10 **Whereas**, on April 5, 2006, at the regular April meeting of the Planning Commission of
11 the City of St. Louis, a Sketch Plan submitted as a request for Planned Unit Development District
12 designation by Dogtown Investments, LLC for property under their control in City Block 4613A
13 (as shown in Exhibit "A") was presented; and

14 **Whereas**, the Planning Commission has reviewed said Sketch Plan and determined
15 compatibility with the City's January 2005 Strategic Land Use Plan and other applicable zoning
16 and redevelopment regulations established for the proposed Planned Unit Development District
17 provided the subsequent Detailed Development Plan include documentation as to the details of
18 the development; and

19 **Whereas**, the Planning Commission made all requisite findings as required by 26.80.050
20 of the Revised Code of the City of St. Louis and approved and adopted said Sketch Plan by

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1 Resolution No. PDA-059-06-PUD on April 5, 2006 with conditions and has provided a copy of
2 the resolution to the Board of Aldermen;

3 **NOW THEREFORE BE IT RESOLVED BY THE CITY OF ST. LOUIS AS FOLLOWS:**

4 **SECTION ONE. Findings of Fact**

5 The Board of Aldermen of the City of St. Louis hereby find and determine that: (i) the
6 Dogtown Terrace Townhomes Planned Unit Development District, as submitted by Dogtown
7 Investments, LLC and recommended by the City of St. Louis Planning Commission with four
8 conditions, encourages appropriate development; (ii) the Dogtown Terrace Townhomes Sketch
9 Plan approved with four conditions by the Planning Commission on April 5, 2006 is in the best
10 interest of the City of St. Louis; (iii) the Dogtown Terrace Townhomes Sketch Plan with four
11 conditions recommended by the Planning Commission accomplishes the purposes set forth in
12 26.80.050.A of the Revised Code of the City of St. Louis; and (iv) the Dogtown Terrace
13 Townhomes Sketch Plan with four conditions recommended by the Planning Commission meets
14 the conditions set forth in 26.80.050.E of the Revised Code of the City of St. Louis.

15 **SECTION TWO. Requirements Regarding Detailed Development Plan.**

16 The Sketch Plan is the first step in the approval of a project seeking to be developed
17 within and in accordance with the rules pertaining to a Planned Unit Development District. At a
18 later time, the Developer submits for review by the Planning Commission a Detailed
19 Development Plan for a portion of, or all, of the area included in the Planned Unit Development
20 District. This Detailed Development Plan is compared for conformity with the approved Sketch
21 Plan by the Planning Commission. The Planning Commission on April 5, 2006, in making its

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1 recommendation to the developer and the Board of Aldermen regarding the Dogtown Terrace
2 Townhomes Sketch Plan, included four conditions within the recommendation regarding
3 modifications to the presented Sketch Plan that are recommended to be included in the Detailed
4 Development Plan. They are: 1) the widths of public sidewalk and tree lawn match widths of
5 adjacent sidewalks and tree lawns and that public sidewalks meet all ADA requirements; 2)
6 details of landscaping and service access in rear yards are included in subsequent Development
7 Plans; 3) side walls be redesigned so portions of the walls visible from the street have
8 appropriate articulation and 4) additional landscaping detail in the front yard are included in
9 subsequent Development Plans.

10 In addressing the requirements set forth in 26.80.050.H of the Revised Code of the City
11 of St. Louis pertaining to Detailed Development Plan Standards, the submittal of the Detailed
12 Development Plan for the Dogtown Terrace Townhomes Planned Unit Development District
13 shall include documentation showing a minimum of 20% of the site in open space, but none of
14 the open space shall be required to be public.

15 **SECTION THREE. Establishment and Creation of Dogtown Terrace**
16 **Townhomes Planned Unit Development District.**

17 The Dogtown Terrace Townhomes Planned Unit Development District, as proposed in
18 the Dogtown Terrace Townhomes Sketch Plan (attached hereto as Exhibit "B") is hereby
19 approved and adopted as recommended by the Planning Commission. There is hereby created a
20 Planned Unit Development District, containing approximately 17,325 square feet, to be known

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1 as the Dogtown Terrace Townhomes Planned Unit Development District for the real property
2 described below:

3 A tract of land being Lots 34, 35, 36, 37 and 38 in Block 1 of McDermott's
4 Addition to Benton, as per plat thereof recorded in Plat Book 17A Page 1 in the
5 Office of the Recorder of Deeds of the City of St. Louis, Missouri, and in City
6 Block 4613A of the City of St. Louis, Missouri, and said tract also described as
7 follows:

8 Commencing at the intersection of the southerly line of Dale Avenue, 50 feet
9 wide, with the easterly line of Fairmont Avenue, 50 feet wide; thence along said
10 easterly line, South 08 degrees 30 minutes 13 seconds West 425.92 feet to the
11 point of intersection with northerly line of said Lot 38; and said point being the
12 true point of beginning of the tract of land herein described; thence along said
13 northerly line of Lot 38, South 81 degrees 29 minutes 47 seconds East 115.44 feet
14 to the easterly line of said Lots 34-38; thence along said easterly line, South 08
15 degrees 30 minutes 13 seconds East 150.10 feet to the southerly line of said Lot
16 34; thence along said southerly line, North 81 degrees 29 minutes 47 seconds
17 West 115.44 feet to the easterly line of said Fairmont Avenue, thence along said
18 easterly line, North 08 degrees 30 minutes 13 seconds East 150.10 feet to the true
19 point of beginning, according to Survey No. 188100 executed by James
20 Engineering & Surveying Co., Inc., in July, 2005.

21 **SECTION FOUR. Severability Clause.**

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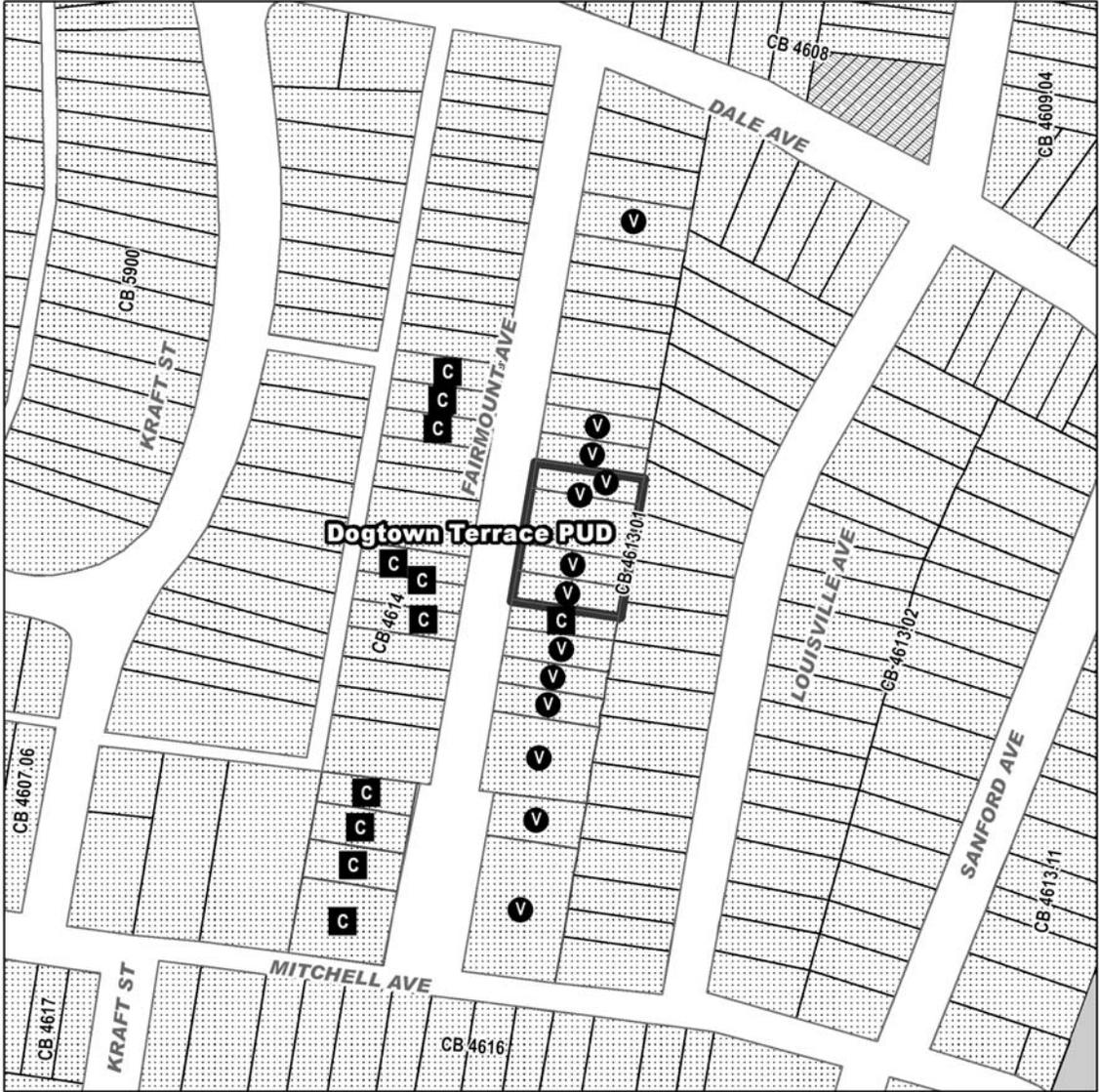
1 The provisions of this ordinance shall be severable. In the event that any provision of this
2 ordinance is found by a court of competent jurisdiction to be unconstitutional, the remaining
3 provisions of this ordinance are valid unless the court finds the valid provisions of this ordinance
4 are so essentially and inseparably connected with, and so dependent upon, the void provision that
5 it cannot be presumed that the Board of Aldermen would have enacted the valid provisions
6 without the void ones or unless the Court finds that the valid provisions, standing alone, are
7 incomplete and incapable of being executed in accordance with the legislative intent.

8 **SECTION FIVE. Emergency Clause.**

9 This being an ordinance for the preservation of public peace, health, and safety, it is
10 hereby declared to be an emergency measure within the meaning of Sections 19 and 20 of Article
11 IV of the Charter of the City of St. Louis and therefore shall become effective immediately upon
12 its passage and approval by the Mayor.

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EXHIBIT A



Current Zone

-  A Single Family Dwelling Dist
-  B Two Family Dwelling Dist
-  C Multiple Family Dwelling Dist
-  D Multiple Family Dwelling Dist
-  E Multiple Family Dwelling Dist
-  F Neighborhood Commercial Dist
-  G Local Commercial District
-  H Area Commercial District
-  I Central Business District
-  J Industrial District
-  K Unrestricted District
-  L Jefferson Memorial District

-  PUD Area
 -  Vacant Lots
 -  New Construction
- Vacant Lot and New Construction on 1500 Block of Fairmount

PDA-059-06-PUD

 CITY OF ST. LOUIS
 PLANNING & URBAN DESIGN AGENCY
 FRANCIS G. SLAY, Mayor

N 

Planned Unit Development District Sketch Plan

For

Dogtown Terrace Townhomes PUD

1544-56 Fairmount Avenue
City Block 4613.01

City of St. Louis Planning Commission

April 5, 2006

File No. PDA-059-06-PUD

Jeff Held
Dogtown Investments LLC

At its April 5, 2006 meeting, the Planning Commission, in making its recommendation to the developer and the Board of Aldermen regarding the Dogtown Terrace Townhomes Sketch Plan, included four conditions within the recommendation regarding modifications to the presented Sketch Plan that are recommended to be included in the Development Plan. They are: 1) the widths of public sidewalk and tree lawn match widths of adjacent sidewalks and tree lawns and that the public sidewalks meet all ADA requirements; 2) details of landscaping and service access to rear yards are included in subsequent Development Plans; 3) side wall be redesigned so portions of the walls visible from the street have appropriated articulation and 4) additional landscaping in the front yards are included in subsequent Development Plans.



TO THE CITY OF ST. LOUIS PLANNING COMMISSION
PETITION FOR
PLANNED UNIT DEVELOPMENT DISTRICT (PUD)

PETITIONER'S NAME JEFF HELD DOGTOWN INVESTMENTS L.L.C.
CONTACT NAME (If above is a firm/an organization) JEFF HELD
ADDRESS 703 NORTH 13TH STREET, ST. LOUIS, MO
ZIP CODE 63103 PHONE 314-581-1180
E-MAIL JEFFHELD@SBCGLOBAL.NET

Legal Description of Property Petitioned, including total acreage (use additional sheets if necessary) SEE ATTACHED SHEET

Parcel Number(s) (use additional sheets if necessary) SEE ATTACHED SHEET

Address(es) including street(s) and street number(s) SEE ATTACHED SHEET

The following can be listed or mapped on additional sheets:

Present Zoning is "A" SINGLE FAMILY District(s) or a change has been requested for zoning to _____ District(s).

The acreage of the property including streets and alleys except boundary streets (to nearest tenth of an acre) is 0.39

Present Use of the Property SINGLE FAMILY RESIDENCES

Proposed Use of the Property SINGLE FAMILY RESIDENCES

Are you the owner of the property described? YES

If not, what is your legal interest in the property? _____

The owner(s)-of-record of the petitioned property according to City of St. Louis

Assessor's Records is (are) known as DOGTOWN INVESTMENTS L.L.C.

[Signature]
Signature(s) of Petitioner(s)

Date Filed

Parties of Interest (Fill in if applicable):

Project Engineer and/or Architect (if applicable) Name CIVIL ENGINEER/RL DESIGN CONSULT.

Address 11402 GRAVOIS, ST. LOUIS, MO Phone 314-729-1400

Developer and/or Builder (if other than petitioner) Name _____

Address _____ Phone _____

Petition for Planned Unit Development District (PUD)

Dogtown Terrace Townhouse Subdivision

Legal Description of Property Petitioned:

Lots 34 through 38 of McDermott's Addition to Benton in City Block 4613-A of the City of St. Louis, Missouri.

Total Acreage:

0.39 Acres

Parcel Numbers and Addresses:

- | | | |
|----------------|--------------------|-----------------------|
| • Lot 34 | Loc. # 46130100600 | 1556 Fairmount Avenue |
| • Lot 35 | Loc. # 46130100700 | 1554 Fairmount Avenue |
| • Lots 36 & 37 | Loc. # 46130100800 | 1548 Fairmount Avenue |
| • Lot 38 | Loc. # 46130100900 | 1544 Fairmount Avenue |

Petition for Planned Unit Development District (PUD)

Dogtown Terrace Townhouse Subdivision

Description of PUD:

The proposed PUD will consist of five attached 2-1/2 story townhouse units on lots of 3,794 and 3,828 square feet for the end units and 3,234 square feet for each of the interior units. Each 2-1/2 story unit has a building footprint of 1,330 square feet and contains 2 floors and 2 bedrooms plus a penthouse. Each unit sits atop a 2-car front entry basement garage and has a driveway with 2 parking spaces.

The PUD process is being pursued to allow the following items not permitted in the "A" Single-Family Dwelling District:

- 1.) Attached townhouse type of residential units.
- 2.) The higher site density of 3,234 to 3,828 square foot lots as compared to 4,000 square foot minimum lots.
- 3.) A zero foot side yard toward all interior neighbors.

Development Team:

The development team consists of Jeff Held and John Carroll of Dogtown Investments L.L.C., and Joshua Foster of J.E. Foster Building Company. Financing is in place for this development through St. Louis Bank (see attached letter from St. Louis Bank). The development will consist of five for-sale townhouse units ranging in price from \$389,000 to \$475,000.

Ownership:

All of the land included in the PUD is currently owned by the petitioner, Dogtown Investments L.L.C.

Schedule of Development:

The owner is ready to break ground as soon as the necessary permits are in hand. The five units will be built at the same time.



March 15, 2006

Civil Engineering Design Consultants
Attn: Mike Elton

Dear Mr. Elton,

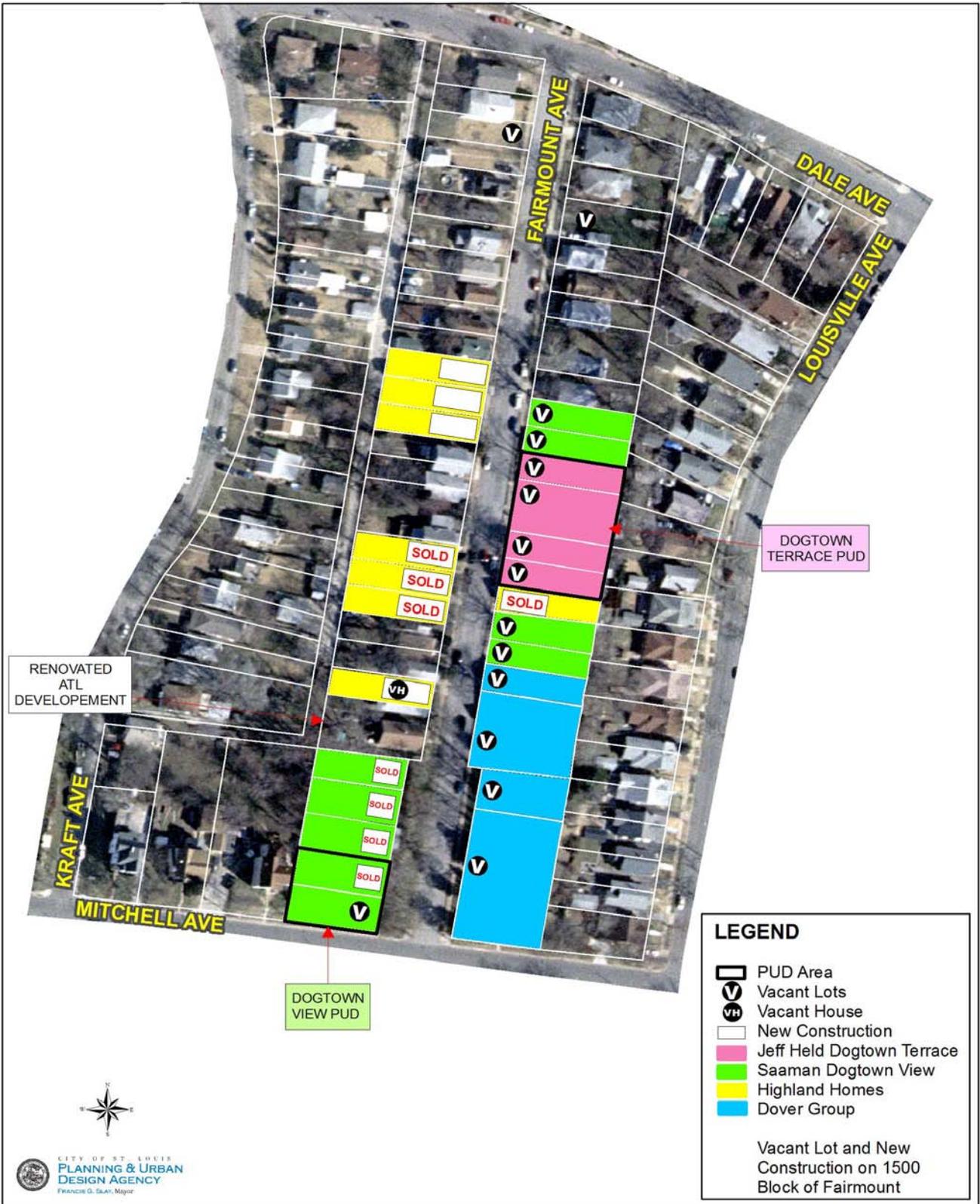
The purpose of this letter is to confirm St. Louis Bank's commitment to provide construction financing for Dogtown Investments, LLC, related to the proposed townhome project on Fairmont Ave.

Please feel free to call me with any questions you may have. I can be reached at office number (314) 853-3109.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jason L. Koelling', written over a large, faint, dotted watermark of the St. Louis Bank logo.

Jason L. Koelling
VP - Commercial Lending



RENOVATED
ATL
DEVELOPMENT

DOG TOWN
TERRACE PUD

DOG TOWN
VIEW PUD

LEGEND

- PUD Area
- Vacant Lots
- Vacant House
- New Construction
- Jeff Held Dogtown Terrace
- Saaman Dogtown View
- Highland Homes
- Dover Group

Vacant Lot and New Construction on 1500 Block of Fairmount

GENERAL NOTES

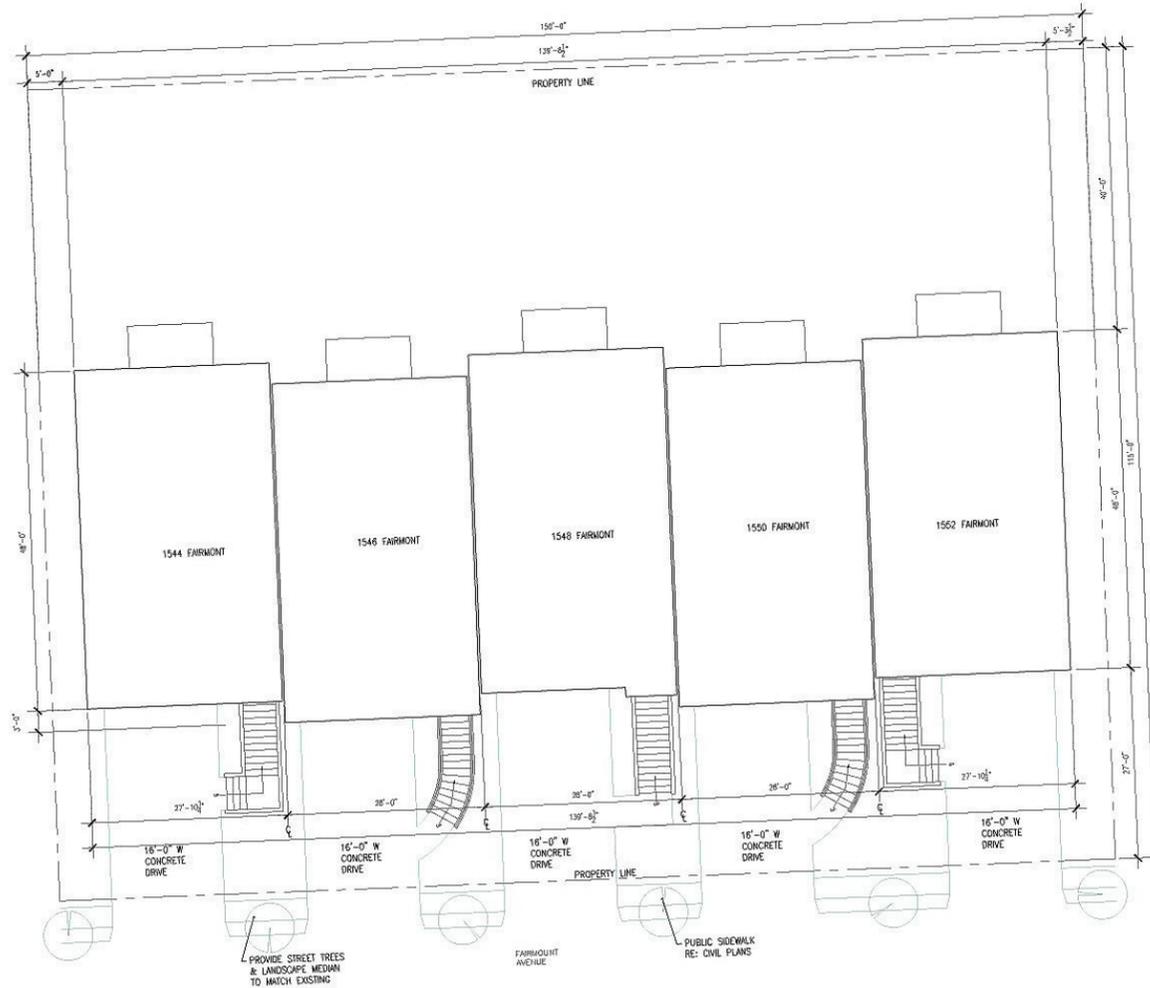
- CONTRACTOR SHALL FIELD VERIFY THAT NO BUILDINGS ENCR OACH ON THE BUILDING SETBACKS PRIOR TO THE START OF CONSTRUCTION. CONSTRUCTION CONSTITUTES VERIFICATION AND ACCEPTANCE OF THE SITE.
- VERIFY LOCATION OF CURBS, CURB AND GUTTER AND SIDEWALKS AS PER ARCHITECTURAL DRAWINGS. CURB AND GUTTERS TO BE CONCRETE. ALL PAVING ON SITE TO BE CONCRETE PER DRAWINGS AND SPECIFICATIONS. VERIFY OFF STREET PAVING IMPROVEMENTS WITH SITE GRADING AND STREET PAVING PLANS. (REFERENCE CIVIL PLANS)
- APPROACHES SHALL BE PER THE CITY OF ST. LOUIS, MISSOURI SPECIFICATIONS.
- REFERENCE SPECIFICATIONS AND CIVIL ENGINEERING DRAWINGS FOR PAVING REQUIREMENTS.
- ALL SIDEWALKS SHALL BE 4' WIDE CONCRETE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY MATERIAL DISCREPANCIES FOUND ON THE DRAWINGS OR ANY MATERIAL DISCREPANCIES FOUND ON SITE WHICH CONFLICT WITH CONDITIONS AS SHOWN IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL LAY OUT BUILDING AND IMPROVEMENTS FROM THE WEST PROPERTY LINE. A COORDINATE LINE SHALL BE CONSTRUCTED ASSUMING THE WEST PROPERTY LINE TO BE THE TRUE LAYOUT LINE. ALL DIMENSIONS AND LAYOUT OF BUILDING, STREETS, PARKING AND OTHER IMPROVEMENTS SHALL BE LOCATED FROM THIS LAYOUT LINE AND SHALL BE PARALLEL TO AND/OR PERPENDICULAR WITH THE NORTH WESTERN PROPERTY LINE UNLESS NOTED OTHERWISE.
- LANDSCAPE SHALL BE PROVIDED PER DESIGN BUILD CONTRACTOR. CONTRACTOR TO SUBMIT PROPOSED PLANS TO OWNER/ ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- WHERE DISCREPANCIES EXIST BETWEEN ARCHITECTURAL SITE PLAN AND DETAILS WITH THE ENGINEERED SITE GRADING AND SITE UTILITIES, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION AND INSTRUCTIONS PRIOR TO COMMENCING THE WORK. DO NOT PROCEED WITH CONSTRUCTION UNTIL RECEIVING WRITTEN CLARIFICATION OR INSTRUCTIONS.
- CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS WITH SITE GRADING PLAN. NOTIFY ARCHITECT OF ANY AREAS WHICH WILL EXCEED 5% GRADE AT WALKS PRIOR TO COMMENCING CONSTRUCTION OF WALKS.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LINES, ETC. ON THE SITE PRIOR TO COMMENCING ANY WORK. ALL ADJUSTMENTS AND GRADE AND ELEVATIONS OF EXISTING UTILITY LINES, MANHOLES, VALVES AND ANY OTHER EXISTING CONDITIONS ON THE SITE SHALL BE MADE TO COMPLY WITH THE CITY OF ST. LOUIS, MISSOURI BUILDING CODES AS REQUIRED TO COMPLETE THIS PROJECT. ALL SUCH COSTS FOR COMPLETION OF ADJUSTMENTS AND RELOCATION SHALL BE INCLUDED IN THE BID FOR COMPLETION OF THE WORK.
- VERIFY GRADING, PAVEMENT ELEVATIONS AND FINISH FLOOR ELEVATIONS WITH CIVIL ENGINEERING DRAWING.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL TREES TO REMAIN. CONTRACTOR SHALL MAKE EVERY EFFORT NOT TO DISTURB EXISTING TREES SCHEDULED TO REMAIN. ANY TREES REQUIRED TO BE REMOVED WHICH ARE NOT DESIGNATED ON THE SITE PLAN FOR REMOVAL MUST BE APPROVED BY ARCHITECT FIRST. ANY TREES WHICH ARE EITHER REQUIRED AND APPROVED BY ARCHITECT TO BE REMOVED SHALL NOT CONSTITUTE AN ADDITIONAL SERVICE OR COST TO THE PROJECT.
- CONTRACTOR SHALL OBTAIN AND PAY FOR SITE GRADING PERMIT AS ESTABLISHED BY THE CITY OF ST. LOUIS, MISSOURI.
- SUBCONTRACTOR SHALL CONTACT LOCAL TELEPHONE COMPANY AND LOCAL CABLE TV COMPANY CONCERNING THE REMOVAL, RELOCATION AND EXTENSION OF TELEPHONE SERVICE AND CABLE TV EQUIPMENT TO THE SITE. VERIFY AND PAY ALL COST TO TELEPHONE AND CABLE TV COMPANY.

PRINTS ISSUED 17 February 20

REVISIONS:



ROSEMANN & ASSOCIATES, P
ARCHITECTURE INTERIOR DESIGN
PLANNING CONSULTANTS
1221 WASHINGTON AVENUE
ST. LOUIS, MO 63103-1903
TEL: 314/298/1448
FAX: 314/621/1211
EMAIL: design @ rosemann.com
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**DOGTOWN TERRACE
TOWNHOUSES**
1544-1556 Fairmount Avenue
St. Louis, Missouri 63139
Dogtown Investments, LLC

SHEET TITLE
SITE PLAN

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

G102

DRAWN BY: CHECKED BY:

A SITE PLAN
SCALE: 1"=10'-0"



WALL TYPE SCHEDULE ALL UNMARKED INTERIOR PARTITIONS ARE PA UNLESS NOTED OTHERWISE

5/8"	1	TYPICAL EXTERIOR WALL - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED Gypsum BOARD ON INTERIOR SIDE OF 2x4 STUDS @ 16" O.C. 1 LAYER 1/2" GYPSUM BOARD ON EXTERIOR SIDE OF STUDS. 5/8" FRICITION BATT INSULATION W/ VAPOR BARRIER. UL RES U333
9 1/4"	2	DOUBLE STUD FIRE RATED WALL - 1 HR RATING 1 LAYER 5/8" FIRE RATED Gypsum BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O.C. STAGGERED ON SEPARATE PLANS AT 90 DEGREE. ATTACH WITH 1 1/4" PHILIPS HEAD STEEL SCREWS @ 12" O.C. 5/8" FRICITION BATT INSULATION W/ VAPOR BARRIER AT ONE SIDE. UL RES U333 STC=54
11 3/4"	3	DOUBLE STUD FIRE WALL - 2 HR RATING 2 LAYERS OF 1" THICK GYPSUM WALLBOARD LINER PANELS IN 2x4 METAL STUDS AND TRUCKS. PROVIDE 3/4" AIR SPACE BETWEEN LINER PANELS. ATTACH TO TRUCKS WITH 1" VAPOR BARRIER AND INSULATION WITH 1 1/2" FRICITION BATT INSULATION W/ VAPOR BARRIER. METAL STUDS - FIRE RATED SHEATHING DISTANCE OF 1/4" ON EACH SIDE OF TRUCKS. 5/8" FRICITION BATT INSULATION W/ VAPOR BARRIER TO BOTH WALL SIDES. 54 FILE NO ASM 1001 STC=54
3/4"	4	TYPICAL INT PARTITION 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILIPS HEAD STEEL SCREWS @ 12" O.C. UL RES U333
6 3/4"	5	TYPICAL PLUMBING WALL - 1 HOUR RATING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILIPS HEAD STEEL SCREWS @ 12" O.C. 5/8" FRICITION BATT INSULATION W/ VAPOR BARRIER. UL RES U333
3/4"	6	INTERIOR PARTITION - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED Gypsum BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILIPS HEAD STEEL SCREWS @ 12" O.C. 5/8" FRICITION BATT INSULATION W/ VAPOR BARRIER. UL RES U333

NOTE: CONCRETE BACKER BOARDS TO BE APPLIED BENEATH TILE. WATER-RESISTANT GYP. BS. TO BE USED IN BATHROOM AND LAUNDRY.

GENERAL NOTES

- Exterior walls shall be constructed of 2x4 studs at 16" on center with 1/2" OSB or 1/2" plywood sheathing on exterior face of wall with gypsum board on inside wall surface. Exterior wall shall be provided with 4" R-13 Batt insulation at all locations unless noted otherwise. Reference Partition schedule for fire rated assemblies and locations.
- Typical first floor finish floor elevation is referenced as 100'-0". Contractor shall verify building finish floor elevation with civil site drawings.
- Plumbing vent stacks, flues, fresh air intakes, etc. not shown for clarity. Verify location with Mechanical and Plumbing drawings.
- Provide attic ventilation to comply with Section 1209 of the 1999 BOCA National Building Code. Ventilation shall be provided into each attic compartment.
- Contractor shall provide attic access doors per detail J/A400 into attic compartment as indicated on the floor plan and/or roof plan sheets.
- All downspouts to be tied directly into storm sewer per the City of St. Louis requirements. See roof plan on Sheet A112 for locations.
- Contractor to provide fire blocking at party wall per detail K/A400 at 10" on center vertically. Typical. Contractor to provide fireblocking at party wall of all book to each electrical outlet. Contractor to provide roof sheathing constructed of approved non-combustible materials for a distance of 4'-0" on both sides of party wall.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Contractor shall provide single-wire shelf and rod at all closets, pantries, and laundry room. Reference Sheet C101 for installation details.
- Provide vertical blinds @ all rear sliding doors and horizontal blinds @ all exterior doors. Reference Sheet C101 for installation details.
- Reference details for typical exterior door threshold conditions.
- Reference Civil Site Plan for precise location of building.
- All new work to meet all applicable building, plumbing, mechanical, accessibility, and life safety code requirements of the local building authority.
- Do not scale drawings.
- Verify Architect of any discrepancies between project requirements and existing conditions. Any modifications due to dimensional changes should be part of the construction cost.
- Caulk all joints between dissimilar materials for weathertight, waterproof, etc. performance.
- Interior handrails at lavatories to be profile P/M231, stained color to be selected by owner/architect.
- Contractor may utilize choice of OSB or exterior grade plywood sheathing throughout per thickness indicated on drawings.
- Provide T-race or approved equal typical at all exterior partitions.
- Provide primed/painted exterior plywood panel for electrical equipment mounting. Plywood panel shall extend 6" minimum beyond top and side edges of mounted equipment. Bottom of plywood panel to be mounted at elevation 101'-0" typical where 100'-0" is typical finish floor elevation at first floor.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Contractor shall provide single-wire shelf and rod at all closets, pantries, and laundry room. Reference Sheet C101 for installation details.
- Provide vertical blinds @ all rear sliding doors and horizontal blinds @ all exterior doors. Reference Sheet C101 for installation details.
- Reference details for typical exterior door threshold conditions.
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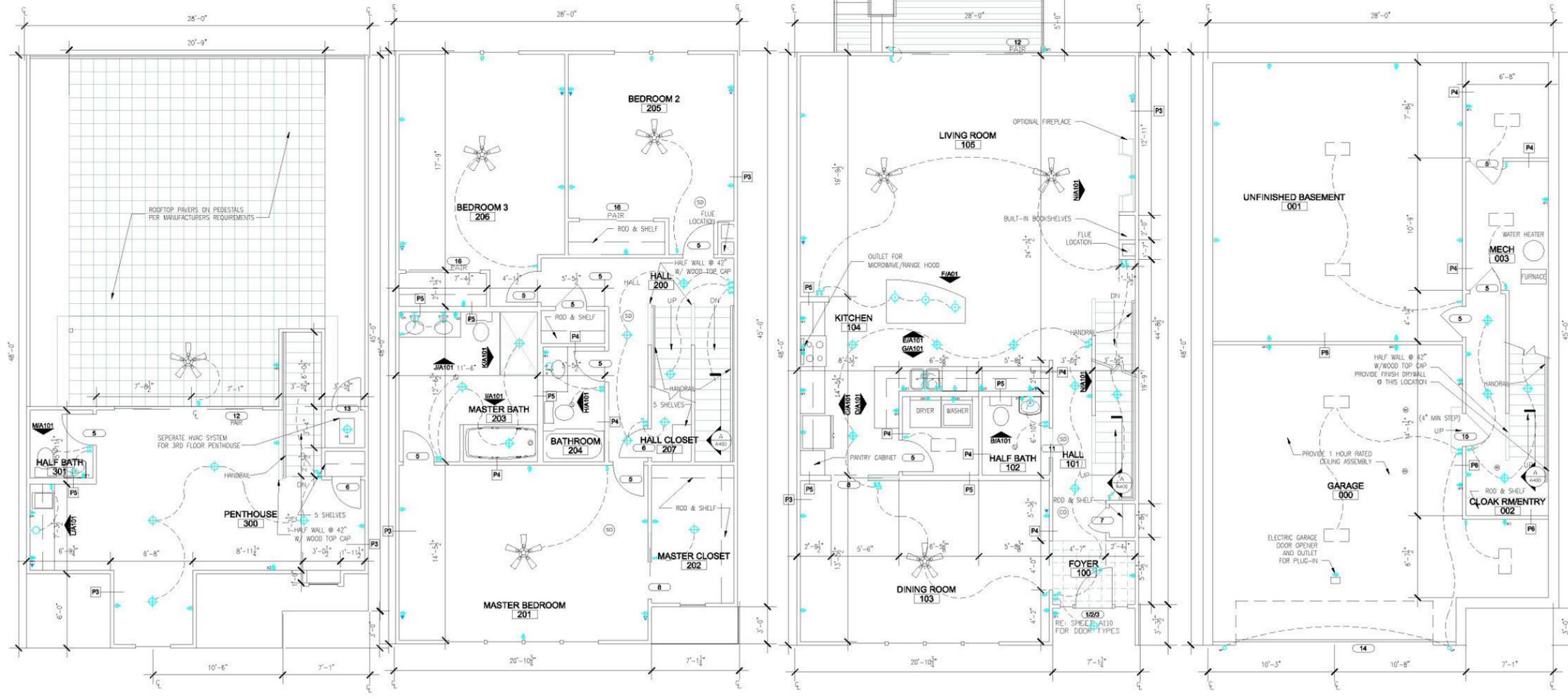
SYMBOLS LEGEND

	DUPLEX RECEPTACLE (UL = UNDERCOUNTER; INSTALL AT 15" AFF. UNLS)
	GFCI DUPLEX RECEPTACLE
	220V RECEPTACLE
	SWITCH
	THREE WAY SWITCH
	PHONE
	CABLE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	GARBAGE DISPOSAL
	EXHAUST FAN VENT TO EXTERIOR
	WALL MOUNTED LIGHT FIXTURE (WP = WATERPROOF)
	DECORATIVE PENDANT LIGHT FIXTURE
	SURFACE MOUNTED CEILING FAN w/ LIGHT KIT
	FAN & LIGHT SWITCHED SEPARATE
	CEILING MOUNTED LIGHT FIXTURE (WP = WATERPROOF)
	CEILING MOUNTED FLOURESCENT LIGHT FIXTURE

REVISIONS:

ROSEMANN & ASSOCIATES, P.A.
ARCHITECTURE INTERIOR DESIGN
PLANNING CONSULTANTS

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FAX: 314/621/1211
EMAIL: design@rosemann.com
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D THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

C SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

B FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

A BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

DOGTOWN TERRACE TOWNHOUSES
1544-1556 Fairmount Avenue
St. Louis, Missouri 63139
Dogtown Investments, LLC

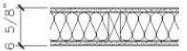
SHEET TITLE
UNIT PLANS

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

A-100

DRAWN BY: CHECKED BY:

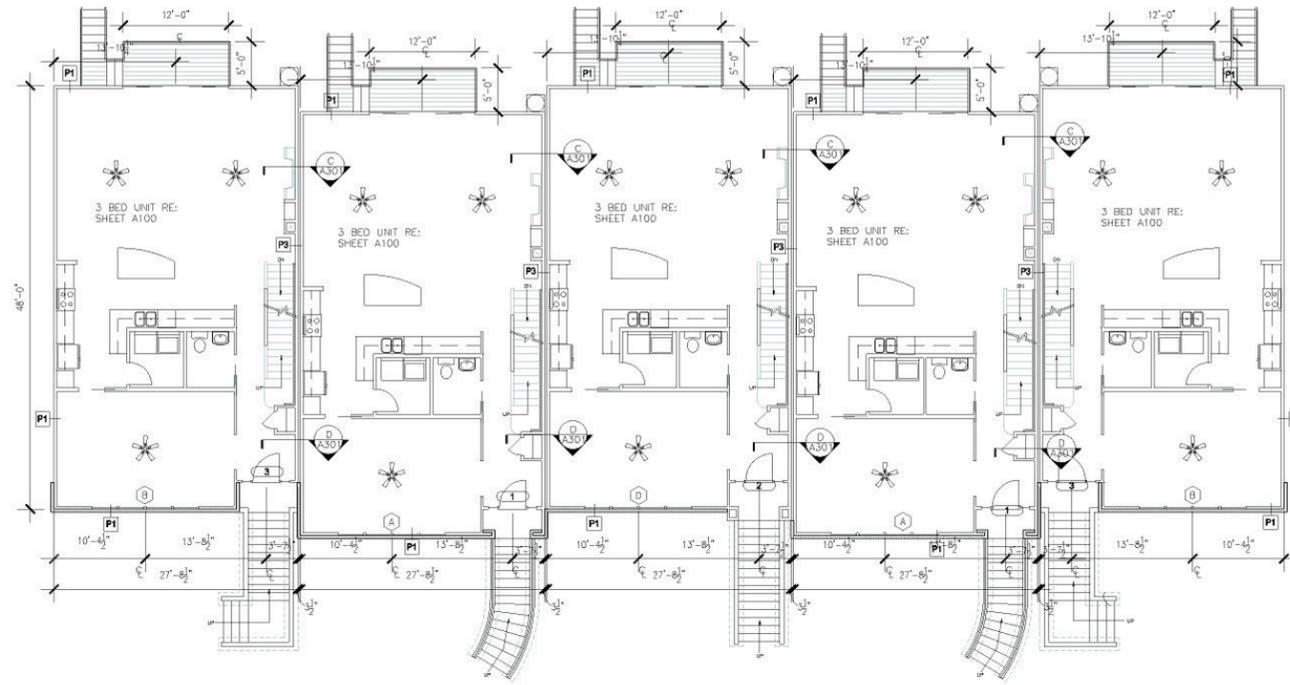
WALL TYPE SCHEDULE

ALL UNMARKED INTERIOR PARTITIONS ARE P4 UNLESS NOTED OTHERWISE	
	1 TYPICAL EXTERIOR WALL - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON INTERIOR SIDE OF 2x4 STUDS @ 16" O.C. LAYER 1/2" OSB OR PLYWOOD ON EXTERIOR SIDE OF STUDS. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION BATT INSULATION W/ VAPOR BARRIER. EXTERIOR FINISH Varies. UL DES. U333- U356 when O.S.B. occurs.
	2 DOUBLE STUD SEPARATION WALL - 1 HR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON EACH SIDE OF 2 ROWS OF 2x4 STUDS @ 16" O.C. STAGGERED ON SEPARATE PLATES AT 1" APART. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS AT 12" O.C. 3 1/2" FRICTION FIT BATT INSULATION W/O VAPOR BARRIER, AT ONE SIDE. UL DES. U333 STC= 54
	3 DOUBLE STUD FIRE WALL - 2 HR RATING (2) LAYERS OF 1" THICK GYPSUM WALLBOARD LINER PANELS IN 2x4 CA. METAL STUDS AND TRACK. PROVIDE 1/4" AIR SPACE BETWEEN LINER PANELS AND WOOD STUDS. 2 X 4 WOOD STUDS 24" O.C. ATTACH TO LINER PANELS WITH 1/2" LONG, 3/8" O.D. VERTICALLY BETWEEN WOOD FRAMING AND METAL STUDS. FIRE RATED ROOF SHEATHING DISTANCE OF 4'-0" ON EACH SIDE OF DOUBLE STUD WALL. R-13 FRICTION BATT INSULATION WITHOUT VAPOR BARRIER TO BOTH WALL CAVITIES. G.A. FILE NO. ASW 1001 STC= 54
	4 TYPICAL INT PARTITION 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. UL DES. U333
	5 TYPICAL PLUMBING WALL - 1 HOUR RATING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION BATT INSULATION W/O VAPOR BARRIER. UL DES. U333
	6 INTERIOR PARTITION - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION BATT INSULATION W/O VAPOR BARRIER. UL DES. U333

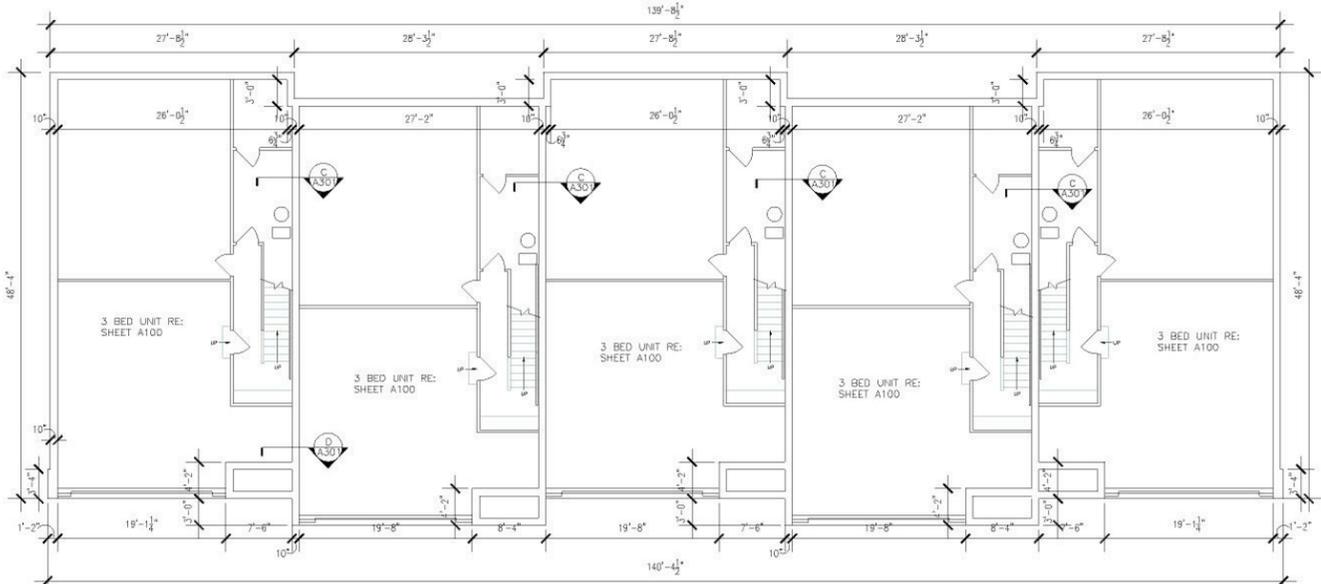
NOTE:
CONCRETE BACKER BOARD TO BE APPLIED BENEATH TILE.
WATER-RESISTANT GIP. BD. TO BE USED IN BATHROOM AND LAUNDRY.

GENERAL NOTES

- Exterior walls shall be constructed of 2x4 studs at 16" on center with 1/2" OSB or 1/2" plywood sheathing on exterior face of wall with gypsum board on inside wall surface. Exterior wall shall be provided with 4" R-13 Batt insulation at all locations unless noted otherwise. Reference partition schedule for fire rated assemblies and locations.
- Typical first floor finish floor elevation is referenced as 100'-0". Contractor shall verify building finish floor elevation with civil site drawings.
- Plumbing vent stacks, flues, fresh air intakes, etc. not shown for clarity. Verify location with mechanical and plumbing drawings.
- Provide attic ventilation to comply with Section 1209 of the 1999 BOCA National Building Code. Ventilation shall be provided into each attic compartment.
- Contractor shall provide attic access doors per detail J/A400 into attic compartment as indicated on the floor plan and/or roof plan sheets.
- All downspouts to be tied directly into storm sewer per the City of St. Louis requirements. See roof plan on Sheet A112 for locations.
- Contractor to provide fire blocking at party wall per detail K/A400 at 10' on center vertically. Typical. Contractor to provide fireblocking at party wall at all back to back electrical outlets. Contractor to provide roof sheathing constructed of approved non-combustible materials for a distance of 4'-0" on both sides of party wall.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Contractor shall provide single-wire shelf and rod at all closets, pantries, and laundry rooms. Reference Sheet G101 for installation height.
- Provide vertical blinds @ all rear sliding doors and horizontal blinds everywhere else.
- Reference Civil Site Plan for precise location of building.
- All new work to meet all applicable building, plumbing, mechanical, accessibility, and life safety code requirements of the local building authority.
- Do not scale drawings.
- Identify Architect of any discrepancies between project requirements and existing conditions. Any modifications due to dimensional changes should be part of the construction cost.
- Caulk all joints between dissimilar materials for weathertight, watertight, airtight, etc. performance.
- Provide door stops @ all doors, avoid "hinge stops" where possible, as selected by owner.
- Interior handrail at townhouse units to be profile #MK231, stained steel to be selected by owner/architect.
- Contractor may utilize choice of OSB or exterior grade plywood sheathing throughout per thickness indicated on drawings.
- Provide 1/2" w/c or approved equal typical of all exterior partitions.
- Provide drywall at 5/8" above exterior surface to eliminate potential moisture seeping.
- Provide primer/painted exterior plywood panel for electrical equipment mounting. Plywood panel shall extend 8" minimum beyond top and side edges of mounted equipment. Bottom of plywood panel to be mounted at elevation 101'-0" typical where 100'-0" is typical finish floor elevation at first floor.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Provide exterior signage and mailbox at unit entries.



B BUILDING FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



A BUILDING BASEMENT PLAN
SCALE: 1/8"=1'-0"

REVISIONS:



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**DOGTOWN TERRACE
TOWNHOUSES**
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Dogtown Investments, LLC

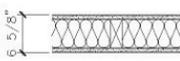
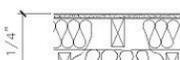
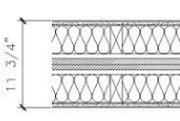
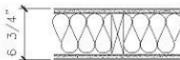
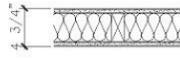
SHEET TITLE
BUILDING PLANS

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

A-110

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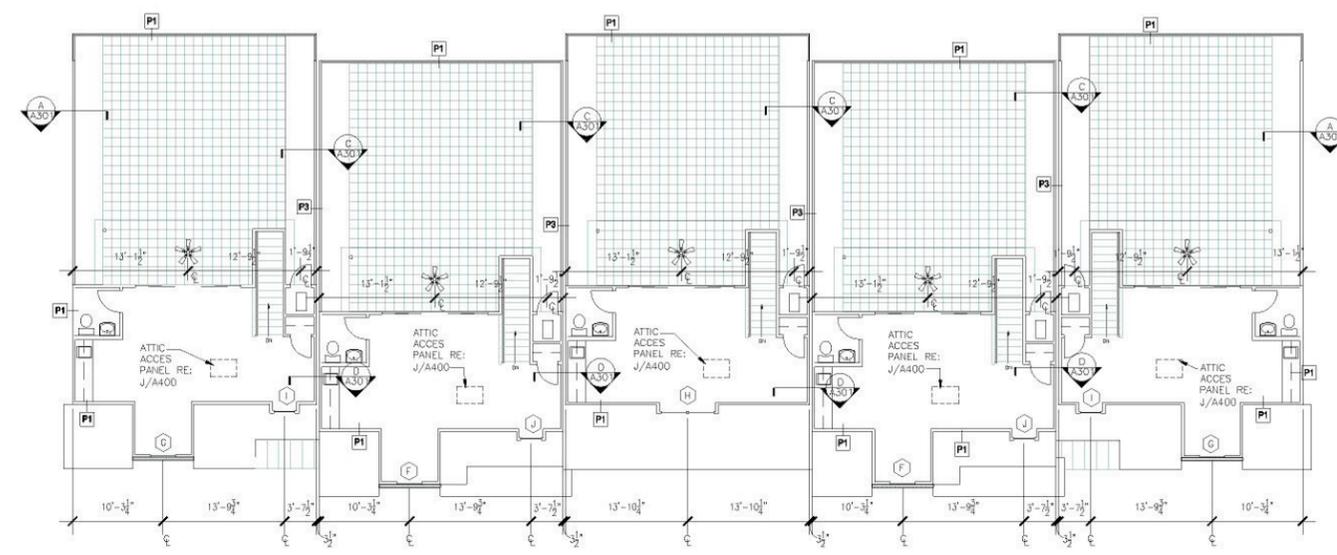
NOTE: 10" CONCRETE FOUNDATION WALL UNLESS OTHERWISE NOTED.

WALL TYPE SCHEDULE		ALL UNMARKED INTERIOR PARTITIONS ARE P4 UNLESS NOTED OTHERWISE
	1	TYPICAL EXTERIOR WALL - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON INTERIOR SIDE OF 2x4 STUDS @ 16" O.C. 1 LAYER 1/2" OSB OR PLYWOOD ON EXTERIOR SIDE OF STUDS. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION FIT BATT INSULATION W/ VAPOR BARRIER. EXTERIOR FINISH VARIES. UL DES. U333= U356 when O.S.B. occurs.
	2	DOUBLE STUD SEPARATION WALL - 1 HR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON EACH SIDE OF 2 ROWS OF 2x4 STUDS @ 16" O.C. STAGGERED ON SEPARATE PLATES AT 1" APART. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS AT 12" O.C. 3 1/2" FRICTION FIT BATT INSULATION W/O VAPOR BARRIER, AT ONE SIDE. UL DES. U333 STC= 54
	3	DOUBLE STUD FIRE WALL - 2 HR RATING (2) LAYERS OF 1" THICK GYPSUM WALLBOARD LINER PANELS IN 25 GA. METAL STUDS AND TRACK. PROVIDE 3/4" AIR SPACE BETWEEN LINER PANELS AND WOOD STUDS. 2" X 4" WOOD STUDS, 24" O.C. ATTACH TO LINER PANELS WITH ALUMINUM ANGLE. SECURED WITH TYPE 3 SCREWS 3/8" LONG, 5 FEET O.C. VERTICALLY BETWEEN WOOD FRAMING AND METAL STUDS. FIRE RATED ROOF SHEATHING DISTANCE OF 4"-0" ON EACH SIDE OF DOUBLE STUD WALL. R-13 FRICTION FIT BATT INSULATION WITHOUT VAPOR BARRIER TO BOTH WALL CAVITIES. G.A. FILE NO. ASW 1001 STC= 54
	4	TYPICAL INT. PARTITION 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. UL DES. U333
	5	TYPICAL PLUMBING WALL - 1 HOUR RATING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION FIT BATT INSULATION W/O VAPOR BARRIER. UL DES. U333
	6	INTERIOR PARTITION - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION FIT BATT INSULATION W/O VAPOR BARRIER. UL DES. U333

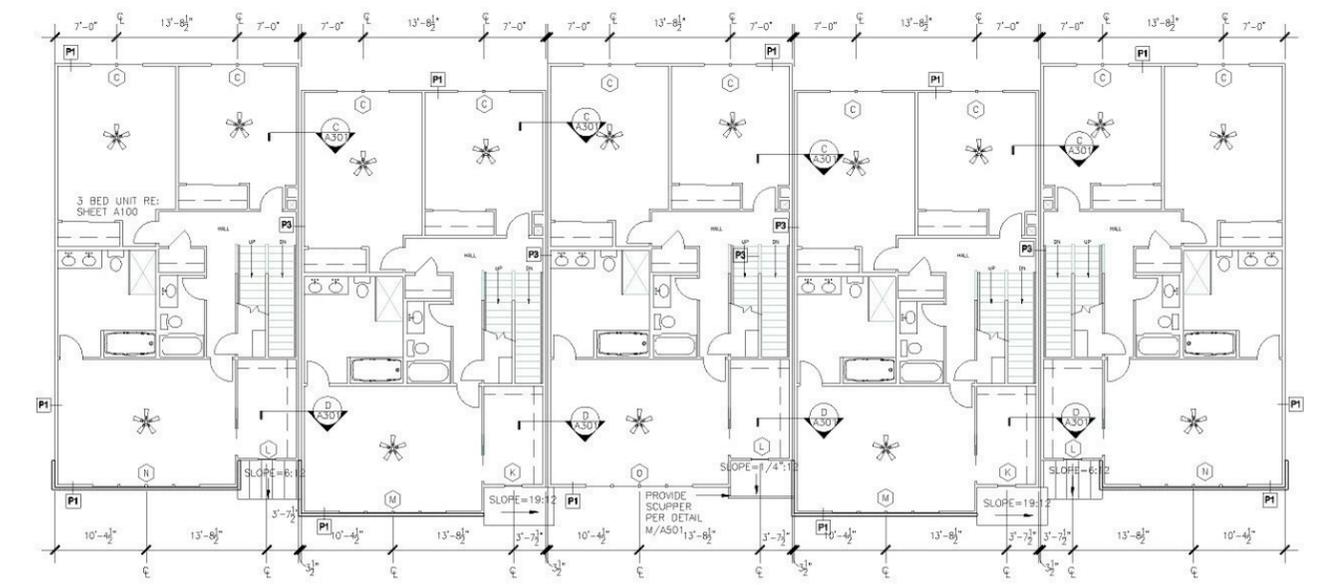
NOTE:
CONCRETE BACKER BOARD TO BE APPLIED BENEATH TILE.
WATER-RESISTANT GYP. BD. TO BE USED IN BATHROOM AND LAUNDRY.

GENERAL NOTES

- Exterior walls shall be constructed of 2x4 studs at 16" on center with 1/2" OSB or 1/2" plywood sheathing on exterior face of wall with gypsum board on inside wall surface. Exterior wall shall be provided with 4" R-13 Batt insulation at all locations unless noted otherwise. Reference Partition schedule for fire rated assemblies and locations.
- Typical first floor finish floor elevation is referenced as 100'-0". Contractor shall verify building finish floor elevation with civil site drawings.
- Plumbing vent stacks, flues, fresh air intakes, etc. not shown for clarity. Verify location with Mechanical and Plumbing drawings.
- Provide attic ventilation to comply with Section 1209 of the 1998 BOCA National Building Code. Ventilation shall be provided into each attic compartment.
- Contractor shall provide attic access doors per detail J/A400 into attic compartment as indicated on the floor plan and/or roof plan sheets.
- All downspouts to be tied directly into storm sewer per the City of St. Louis requirements. See roof plan on Sheet A112 for locations.
- Contractor to provide fire blocking at party wall per detail K/A400 at 10" on center vertically. Typical Contractor to provide fireblocking at party wall at all levels to block electrical outlets. Contractor to provide roof sheathing constructed of approved non-combustible materials for a distance of 4'-0" on both sides of party wall.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Contractor shall provide single-line shelf and rod at all closets, pantries, and laundry rooms. Reference Sheet G101 for installation height.
- Provide vertical blinds @ of rear sliding doors and horizontal blinds everywhere else.
- Reference details for typical exterior door threshold conditions.
- Reference Civil Site Plan for precise location of building.
- All new work to meet all applicable building, plumbing, mechanical, accessibility, and life safety code requirements of the local building authority.
- Do not scale drawings.
- Notify Architect of any discrepancies between project requirements and existing conditions. Any modifications due to dimensional changes should be part of the construction cost.
- Check all joints between dissimilar materials for weathertight, waterstop, airtight, etc. performance.
- Provide door steps @ all doors, avoid "hinge steps" where possible.
- Typical door hardware finish to be brushed aluminum/chrome as selected by owner.
- Interior handrail at townhouse units to be profile #M231, stained color to be selected by owner/architect.
- Contractor may utilize choice of OSB or exterior grade plywood sheathing throughout per thickness indicated on drawings.
- Provide 1/2" x 6" or approved equal typical at all exterior partitions.
- Provide gravel etc. 3/8" above subfloor surface to eliminate potential moisture leaching.
- Provide primed/painted exterior plywood panel for electrical equipment mounting. Plywood panel shall extend 6" minimum beyond top and side edges of mounted equipment. Bottom of plywood panel to be mounted at elevation 101'-0" typical where 100'-0" is typical finish floor elevation at first floor.
- Provide exterior signage and mailbox at unit entry.



B BUILDING THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



A BUILDING SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

REVISIONS:



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**DOGTOWN TERRACE
TOWNHOUSES**
1544-1556 Fairmount Avenue
St. Louis, Missouri 63139
Dogtown Investments, LLC

SHEET TITLE
BUILDING PLANS

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

A-111

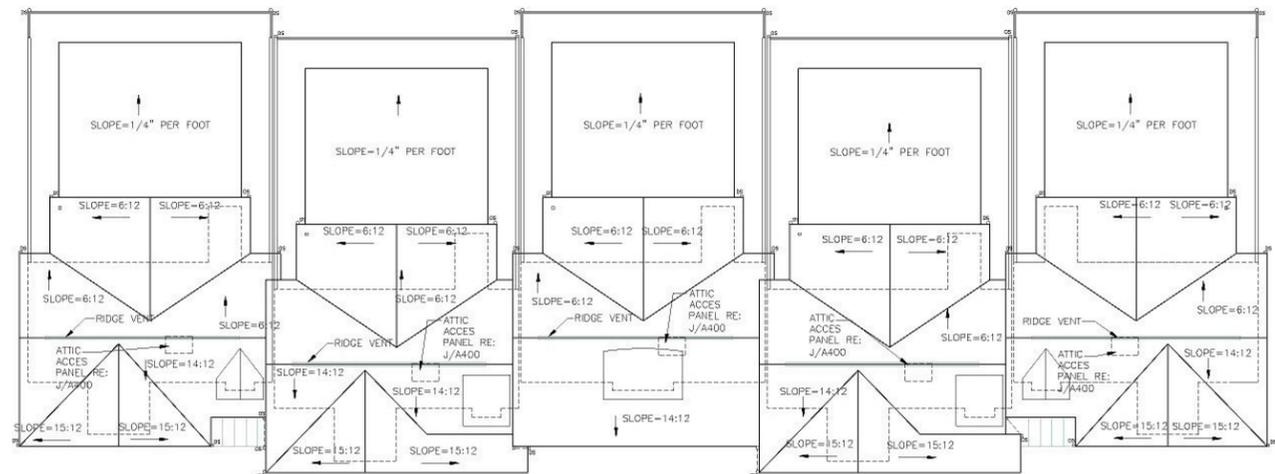
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WALL TYPE SCHEDULE		ALL UNMARKED INTERIOR PARTITIONS ARE P4 UNLESS NOTED OTHERWISE
	1	TYPICAL EXTERIOR WALL - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON INTERIOR SIDE OF 2x4 STUDS @ 16" O.C. 1 LAYER 1/2" OSB OR PLYWOOD ON EXTERIOR SIDE OF STUDS. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION BATT INSULATION W/ VAPOR BARRIER. EXTERIOR FINISH VARIES. UL DES. U333- U356 when O.S.B. occurs.
	2	DOUBLE STUD SEPARATION WALL - 1 HR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD ON EACH SIDE OF 2 ROWS OF 2x4 STUDS @ 16" O.C. STAGGERED ON SEPARATE PLATES AT 1" APART. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS AT 12" O.C. 3 1/2" FRICTION BATT INSULATION W/O VAPOR BARRIER, AT ONE SIDE. UL DES. U333 STC= 54
	3	DOUBLE STUD FIRE WALL - 2 HR RATING (2) LAYERS OF 1" THICK GYPSUM WALLBOARD LINER PANELS IN 25 GA. METAL STUDS AND TRACK. PROVIDE 3/4" AIR SPACE BETWEEN LINER PANELS AND WOOD STUDS. 2" X 4 WOOD STUDS, 24" O.C. ATTACH LINER PANELS WITH ALUMINUM ANGLES SECURED WITH TYPE 3 SCREWS 1/2" LONG. 2 FEET O.C. VERTICALLY BETWEEN WOOD FRAMING AND METAL STUDS. FIRE RATED ROOF SHEATHING DISTANCE OF 4"-0" ON EACH SIDE OF DOUBLE STUD WALL. R-13 FRICTION BATT INSULATION WITHOUT VAPOR BARRIER TO BOTH WALL CAVITIES. G.A. FILE NO. ASW 1001 STC= 54
	4	TYPICAL INT PARTITION 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. UL DES. U333
	5	TYPICAL PLUMBING WALL - 1 HOUR RATING 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OF 2x6 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. 1/2" BATT INSULATION W/O VAPOR BARRIER. UL DES. U333
	6	INTERIOR PARTITION - 1 HOUR RATING 1 LAYER 5/8" FIRE RATED GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. ATTACH WITH 1 1/4" PHILLIPS HEAD STEEL SCREWS 12" O.C. R-13 FRICTION BATT INSULATION W/O VAPOR BARRIER. UL DES. U333

NOTE:
CONCRETE BACKER BOARD TO BE APPLIED BENEATH TILE. WATER-RESISTANT GYP. BD. TO BE USED IN BATHROOM AND LAUNDRY.

GENERAL NOTES

- Exterior walls shall be constructed of 2x4 studs at 16" on center with 1/2" OSB or 1/2" plywood sheathing on exterior face of wall with gypsum board on inside wall surface. Exterior wall shall be provided with 4" R-13 Batt insulation at all locations unless noted otherwise. Reference Partition schedule for fire rated assemblies and locations.
- Typical first floor finish floor elevation is referenced as 100'-0". Contractor shall verify building finish floor elevation with civil site drawings.
- Plumbing vent stacks, flues, fresh air intakes, etc. not shown for clarity. Verify location with Mechanical and Plumbing drawings.
- Provide attic ventilation to comply with Section 1209 of the 1999 BOCA National Building Code. Ventilation shall be provided into each attic compartment.
- Contractor shall provide attic access doors per detail J/A400 into attic compartment as indicated on the floor plan and/or roof plan sheets.
- All downspouts to be tied directly into storm sewer per the City of St. Louis requirements. See roof plan on Sheet A-112 for locations.
- Contractor to provide fire blocking at party wall per detail K/A400 at 10" on center vertically. Typical. Contractor to provide fireblocking at party wall at all levels for back electrical outlets. Contractor to provide roof sheathing constructed of approved non-combustible materials for a distance of 4'-0" on both sides of party wall.
- Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
- Contractor shall provide single-line steel and roof at all closets, pantries, and laundry room. Reference Sheet G101 for installation heights.
- Provide vertical blinds @ of rear sliding doors and horizontal blinds eye-to-eye etc.
- Reference details for typical exterior door threshold conditions.
- Reference Civil Site Plan for precise location of building.
- All new work to meet all applicable building, plumbing, mechanical, accessibility, and fire safety code requirements of the local building authority.
- Do not scale drawings.
- Notify Architect of any discrepancies between project requirements and existing conditions. Any modifications due to dimensional changes should be part of the contractor cost.
- Close all joints between dissimilar materials for weathertight, watertight, airtight, etc. performance.
- Provide door stops @ all doors, avoid "hinge stops" where possible.
- Typical door hardware finish to be brushed aluminum/chrome as selected by owner.
- Interior handrail at townhouse units to be profile #M231, stained color to be selected by owner/architect.
- Contractor may utilize choice of OSB or exterior grade plywood sheathing throughout per thickness indicated on drawings.
- Provide 1/2" wet or approved equal typical at all exterior partitions.
- Provide drywall at 3/8" above subfloor surface to eliminate potential moisture seeping.
- Provide primes/painted exterior plywood panel for electrical equipment mounting. Plywood panel shall extend 6" minimum beyond top and side edges of mounted equipment. Bottom of plywood panel to be mounted at elevation 101'-0" typical where 100'-0" is typical finish floor elevation at first floor.
- Provide exterior signage and mailbox at unit entry.



NOTE: ALL DOWNSPOUTS TO BE DIRECT DRAINED TO SEWER PER THE CITY OF ST. LOUIS REQUIREMENTS.
NOTE: PROVIDE ICE & WATER SHIELD PROTECTION @ ROOF VALLEYS; 24" ON EACH SIDE

A BUILDING ROOF PLAN
SCALE: 1/8"=1'-0"

REVISIONS:

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**DOGTOWN TERRACE
TOWNHOUSES**
1544-1556 Fairmount Avenue
St. Louis, Missouri 63139
Dogtown Investments, LLC

SHEET TITLE
BUILDING PLANS

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

A-112

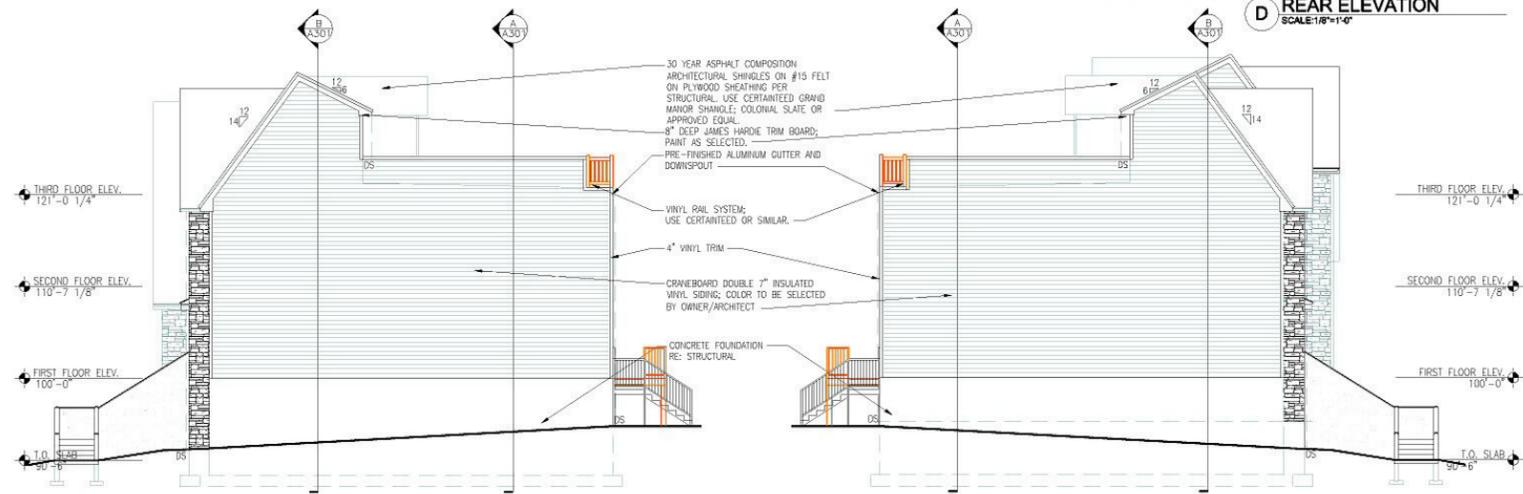
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GENERAL NOTES

1. Exterior walls shall be constructed of 2x4 studs at 16" on center with 1/2" OSB or 1/2" plywood sheathing on exterior face of wall with gypsum board on inside wall surface. Exterior wall shall be provided with 4" R-13 Batt insulation at all locations unless noted otherwise. Reference Partition schedule for fire rated assemblies and locations.
2. Typical first floor finish floor elevation is referenced as 100'-0". Contractor shall verify building finish floor elevation with civil site drawings.
3. Plumbing vent stacks, flues, fresh air intakes, etc. not shown for clarity. Verify location with Mechanical and Plumbing drawings.
4. Provide attic ventilation to comply with Section 1209 of the 1999 BOCA National Building Code. Ventilation shall be provided into each attic compartment as indicated on the floor plan and/or roof plan sheets.
5. Contractor shall provide attic access doors per detail J/A400 into attic compartment as indicated on the floor plan and/or roof plan sheets.
6. All downspouts to be tied directly into storm sewer per the City of St. Louis requirements. See roof plan on Sheet A112 for locations.
7. Contractor to provide fire blocking at party wall per detail K/A400 at 10' on center vertically. Typical. Contractor to provide fireblocking at party wall of all back to back electrical outlets. Contractor to provide roof sheathing constructed of approved non-combustible materials for a distance of 4'-0" on both sides of party wall.
8. Contractor shall provide all required blocking, anchor bolts and any required shear wall blocking as required by Structural Drawings.
9. Contractor shall provide galvanized steel roof on all closets, pantries, and laundry rooms. Reference Sheet C101 for installation.
10. Provide vertical blinds @ all rear sliding doors and horizontal blinds @ where else.
11. Reference details for typical exterior door threshold conditions.
12. Reference Civil Site Plan for precise location of building.
13. All new work to meet all applicable building, plumbing, mechanical, accessibility, and life safety code requirements of the local building authority.
14. Do not scale drawings.
15. Notify architect of any discrepancies between project requirements and existing conditions. Any modifications due to dimensional changes should be part of the construction cost.
16. Caulk all joints between dissimilar materials for weathertight, watertight, airtight, etc. performance.
17. Provide door stops @ all doors, avoid "hinge stops" where possible.
18. Typical door hardware finish to be brushed aluminum/chrome as selected by owner.
19. Interior handrail at stairhouse units to be profile #M251, stained color to be selected by owner/architect.
20. Contractor may utilize choice of OSB or exterior grade plywood sheathing throughout per thickness indicated on drawings.
21. Provide 7'-0" or approved equal typical of all exterior partitions.
22. Provide drywall one 1/4" above subfloor surface to eliminate potential moisture wicking.
23. Provide primer/painted exterior plywood panel for electrical equipment mounting. Plywood panel shall extend 5" minimum beyond top and side edges of mounted equipment. Bottom of plywood panel to be mounted at elevation 101'-0" typical where 100'-0" is typical finish floor elevation at first floor.
24. Provide exterior signage and mailbox at all unit entries.



D REAR ELEVATION
SCALE: 1/8"=1'-0"



C SIDE ELEVATION
SCALE: 1/8"=1'-0"

B SIDE ELEVATION
SCALE: 1/8"=1'-0"



A FRONT ELEVATION
SCALE: 1/8"=1'-0"

PRINTS ISSUED 17 February 200

REVISIONS:

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**DOGTOWN TERRACE
TOWNHOUSES**
1544-1556 Fairmount Avenue
St. Louis, Missouri 63139
Dogtown Investments, LLC

SHEET TITLE
BUILDING ELEVATIONS

FILENAME:
PROJECT NUMBER: 05040
SHEET NUMBER

A-200

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